



## REGULAR MEETING AGENDA

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### CITY OF HUNTINGTON PARK PLANNING COMMISSION

**Regular Meeting**  
**Wednesday, September 18, 2024, at 6:30 p.m.**

**Huntington Park City Hall  
City Council Chambers  
6550 Miles Avenue  
Huntington Park, California 90255**

Any person who requires a disability-related modification or accommodation, including auxiliary aids or services, in order to participate in the public meeting may request such modification, accommodation, aid or service by contacting the City Clerk's Office either in person at 6550 Miles Avenue, Huntington Park, California or by telephone at (323) 584-6230. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

**NOTE:** Any person who has a question concerning any agenda item may contact the Community Development Department at (323) 584-6210. Materials related to an item on this agenda are available for inspection in the office of the Community Development Department at 6550 Miles Avenue, Huntington Park, California during the hours of 7:00 a.m. to 5:30 p.m., Monday through Thursday.

Assembly Bill No. 2674 amended several provisions of the Ralph M. Brown Act (Section 54950 et seq. of the Government Code) effective January 1, 1987. This bill prohibits the legislative body from taking any action on any item, which did not appear on the agenda, which was posted 24 hours prior to the Planning Commission meeting. If action is necessary on subject matter, which the public presents, the matter should be presented in writing to the Planning Division for placement on the agenda by Thursday noon prior to the next Planning Commission meeting.

#### **CALL TO ORDER**

#### **ROLL CALL**

Commissioner Eduardo Carvajal  
Commissioner John Estrada  
Commissioner Graciela Ortiz  
Commissioner Adrian Tarango

#### **PLEDGE OF ALLEGIANCE**

#### **PUBLIC COMMENT**

*For both open and closed sessions, each speaker will be limited to three minutes per Huntington Park Municipal Code Section 2-1.207. Time limits may not be shared with other speakers and may not accumulate from one period of public comment to another or from one meeting to another. **This is the only opportunity for public input except for scheduled public hearing items.***

## **CONSENT ITEMS**

All matters listed under the Consent Calendar are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items before the time the Commission votes on the motion unless members of the Commission, staff, or the public request specific items to be discussed and/or removed from the Consent Calendar for separate action.

1. MINUTES APPROVAL FOR JULY 17, 2024, PLANNING COMMISSION MEETING

## **REGULAR AGENDA**

### **PUBLIC HEARINGS**

1. **CASE NO. 2024-06 CONDITIONAL USE PERMIT (CUP) – A REQUEST FOR A CONDITIONAL USE PERMIT TO OPERATE A COLD STORAGE FACILITY AT 6701 WILSON AVENUE WITHIN THE MANUFACTURING PLANNED DEVELOPMENT (MPD) ZONE.**

#### RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Receive a presentation of the Project from City staff
2. Open the public hearing and receive public testimony
3. Provide comments on the Project
4. Render a decision based on the Staff Report and Resolution

2. **ANALYSIS OF IMPEDIMENTS AND CONSOLIDATED PLAN PRESENTATION – A REQUEST FOR THE PLANNING COMMISSION TO PROVIDE FEEDBACK ON THE COMMUNITY NEEDS, ASSESSMENTS, GOALS, AND HOUSING PRIORITIES.**

#### RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Receive a presentation from City staff
2. Provide comments and feedback on the presentation

## **RECEIVE AND FILE**

1. No Items

## **STAFF COMMENTS**

## **PLANNING COMMISSION COMMENTS**

## **ADJOURNMENT**

The City of Huntington Park Planning Commission will adjourn until the next regular meeting on Wednesday, October 16, 2024, at 6:30 p.m.

I, Steve Forster, hereby certify under penalty of perjury under the laws of the State of California that the foregoing notice and agenda were posted at the City of Huntington Park City Hall and made available at [www.hpca.gov](http://www.hpca.gov) not less than 72 hours before the meeting.



Steve Forster  
Planning Commission Secretary/  
Community Development Director



## MINUTES

## **CITY OF HUNTINGTON PARK REGULAR PLANNING COMMISSION**

Wednesday, July 17th 2024, at 6:30 p.m.

**Huntington Park City Hall  
City Council Chambers  
6550 Miles Avenue  
Huntington Park, California 90255**

Chairperson Ricardo Barba-Ochoa called the meeting to order at 6:30 p.m.

**PRESENT IN PERSON:** Chairperson Ricardo Barba-Ochoa, Commissioner Adrian Tarango, Commissioner John Estrada, and Commissioner Eduardo Carvajal.

ABSENT: None

**STAFF PRESENT:** Community Development Director, Steve Forster, and Administrative Analyst, Areli Caballero.

## **PLEDGE OF ALLEGIANCE**

Chairperson Ricardo Barba-Ochoa led the Pledge of Allegiance.

## **PUBLIC COMMENT – None**

**CONSENT ITEMS – Approve Planning Commission Meeting Minutes:**

## 1. Regular Planning Commission Meeting held on June 19, 2024.

**MOTION:** Commissioner Eduardo Carvajal to approve the Minutes, seconded by Commissioner Adrian Tarango. Motion passed 4-0-0, by the following vote:

**AYES:** Commissioner(s): Chairperson Ricardo Barba-Ochoa  
Commissioner Eduardo Carvajal  
Commissioner Adrian Tarango  
Commissioner John Estrada

**NOES:** Commissioner(s): None

**ABSENT:** Commissioner(s): None

## PRESENTATIONS

1. **CASE NO. 2024-05 CONDITIONAL USE PERMIT (CUP) – A REQUEST FOR A CONDITIONAL USE PERMIT FOR THE ON-SALE OF BEER AND WINE IN CONJUNCTION WITH AN EXISTING RESTAURANT LOCATED AT 6480 SANTA FE AVENUE, WITHIN THE COMMERCIAL GENERAL (C-G) ZONE**

Areli Caballero, Administrative Analyst, presented a detailed PowerPoint presentation to the Commission requesting a conditional use permit (CUP) for the on-sale of beer and wine at an existing restaurant located at 6480 Santa Fe Avenue. She provided in-depth information about the site, zoning map, project details, and current conditions. After careful analysis, Ms. Caballero determined that all six necessary findings for CUP approval were met and recommended that the Planning Commission approve PC Case No. 2024-05 CUP.

## **PUBLIC COMMENT**

Victor Rosas, owner of Guajillo Restaurant, approached the stand to express that his family-run business would benefit significantly from the sale of alcohol.

John Nahas, owner of the AMPM Gas station located in the same lot as El Guajillo, submitted a written comment opposing the alcohol permit. He explained that the gas station's parking lot often overflows due to the popularity of the restaurant. Additionally, Mr. Nahas noted that his establishment already offers beer and wine, making it unreasonable to allow additional alcohol sales in the area. He expressed concerns about the potential for increased traffic congestion and drunk driving incidents, which could pose a serious safety hazard to those in the parking lot.

Steve Forster, Community Development Director, noted that the gas station currently sells alcohol without a conditional use permit (CUP). He highlighted the 50 conditions included in the proposed CUP for the business and suggested adding an additional requirement. Areli Caballero subsequently announced that the 51st condition would require the applicant to submit a comprehensive parking management plan within the next 60 days.

Commissioner Adrian Tarango motioned to **Approve CASE NO. 2024-05**  
**CONDITIONAL USE PERMIT (CUP) with the additional 51st condition**, seconded by  
Commissioner Eduardo Carvalai. Motion **passed 4-0-0**, by the following vote:

**NOES:** Commissioner(s): None

**ABSENT:** Commissioner(s): None

**RECEIVE AND FILE – None**

**STAFF COMMENTS**

Steve Forster, Community Development Director, commended Administrative Analyst Areli Caballero for her excellent presentation. He then provided updates on several ongoing projects:

- The Slauson Project, which has been under construction for several months, involves the replacement of intersections at Pacific and Slauson. To facilitate this work, the streets will be closed to sections. The project is being funded through various grants awarded to the City.

**PLANNING COMMISSION COMMENTS**

1. Commissioner Eduardo Carvajal expressed his appreciation for the staff's hard work and dedication, specifically recognizing Community Development Director Steve Forster.
2. Commissioner Adrian Tarango thanked Ms. Caballero for her informative presentation and inquired about the exact location of the Slauson Project. Mr. Forster responded that the entire section of Slauson Avenue, from the west to east city limits, is undergoing reconstruction.
3. Commissioner John Estrada asked about the anticipated timeline for the Slauson Project. Mr. Forster replied that the project is expected to be completed by the beginning of 2025. Mr. Estrada also expressed his gratitude to Ms. Caballero for her presentation.
4. Chairperson Barba-Ochoa commended the staff for their consistently high-quality work. He emphasized his confidence in the planning staff's ability to provide concise and valuable information at each meeting.

**ADJOURNMENT**

At 7:08 p.m. the City of Huntington Park Planning Commission adjourned to a Regular Meeting on Wednesday, August 21, 2024, at 6:30 p.m.

Respectfully Submitted,



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Steve Forster

Planning Commission Secretary  
Community Development Director



# CITY OF HUNTINGTON PARK

## PLANNING DIVISION AGENDA REPORT

**DATE:** SEPTEMBER 18, 2024

**TO:** CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

**ATTN:** STEVE FORSTER, COMMUNITY DEVELOPMENT DIRECTOR

**FROM:** LEMESSIS QUINTERO, ASSOCIATE PLANNER

**SUBJECT: CONDITIONAL USE PERMIT CASE NO. 2024-06**

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**REQUEST:** A REQUEST FOR A CONDITIONAL USE PERMIT TO OPERATE A COLD STORAGE FACILITY AT 6701 WILSON AVENUE WITHIN THE MANUFACTURING PLANNED DEVELOPMENT (MPD) ZONE.

**APPLICANT:** Sunrise Cold Storage Inc/ Georgina Murillo  
13822 Clearcrest Drive  
Baldwin Park, CA 91706

**PROPERTY OWNER:** Anhausner Properties

**PROPERTY OWNER'S MAILING ADDRESS:** 2430 E. 11<sup>th</sup> Street  
Los Angeles, CA 90021

**PROJECT LOCATION:** 6701 Wilson Avenue

**ASSESSOR'S PARCEL NUMBER:** 6009-038-042

**PRESENT USE:** Industrial Building

**LOT SIZE:** ± 1.78 Acres

**GENERAL PLAN:** Manufacturing Planned Development (MPD)

**ZONE:** Manufacturing Planned Development (MPD)

**SURROUNDING  
LAND USES:**

|       |   |
|-------|---|
| North | Manufacturing Planned Development<br>Current land use: Industrial |
| East  | Manufacturing Planned Development<br>Current land use: Industrial |
| South | Manufacturing Planned Development<br>Current land use: Industrial |
| West  | <i>County of Los Angeles<br/>Florence – Firestone</i>             |

**MUNICIPAL CODE  
APPLICABILITY OF  
REQUIREMENTS FOR  
CONDITIONAL USE PERMIT:**

In accordance with Title 9 Chapter 4, Article 3, Section 9-4.302; cold storage facilities are permissible in the Manufacturing Planned Development Zone subject to the approval of a Conditional Use Permit.

**REQUIRED FINDINGS  
FOR A CONDITIONAL  
USE PERMIT:**

Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Commission may approve and/or modify a Conditional Use Permit application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or

situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;

5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

**ENVIRONMENTAL  
REVIEW:**

The project is exempt from the California Environmental Quality Act (CEQA) in accordance with Article 19 (Categorical Exemptions), Section 15301(a) (Existing Facilities) of CEQA Guidelines. This project consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alterations of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

The project complies with the General Plan and zoning designations and is fully served by all required utilities. The site has no value for sensitive or endangered habitat. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission may find that the project is in compliance with the CEQA exemption. The Notice of Exemption is attached to this report as Exhibit G.

**PROJECT  
BACKGROUND:**

The applicant, Sunrise Cold Storage Inc, is requesting a Conditional Use Permit to operate a cold storage facility at 6701 Wilson Ave.

***Site Description***

The site is located on the westerly side of Wilson Ave between E 67<sup>th</sup> Street and E 69<sup>th</sup> Street. The subject lot is approximately ± 1.78 Acres. The existing building is approximately 48,092 square feet (46,292 square feet of ground floor and 1,800 square feet of second floor office

space). The subject site is surrounded by industrial buildings and industrial uses. Adjacent uses include produce wholesalers, and wholesale/ distribution.

## **ANALYSIS:**

### ***Project Proposal***

The project proposes no interior or exterior tenant improvements to facilitate the proposed use of cold storage facility. Interior tenant improvements to the building including the installation of walk-in cooler and freezer were approved in 2004 (MDP 04-60). Previous uses of the building include food distribution.

### ***Business Operation***

Pursuant to the business operation statement provided by the applicant dated June 4, 2024, the building will house a cold storage facility for frozen foods as the primary activity and use of space. A portion of the building will house dry items such as dry food and janitorial supplies. A second business (CPG) provides produce repacking in the evening hours which is delivered the next day during regular business hours.

During the day Sunshine Cold Storage receives shipments of items such as frozen food and fresh produce. During the night, CPG repackages items for shipment the next business day.

Neither Sunshine Cold Storage Inc nor CPG produces or manufactures on site.

### ***Hours of Operation***

Monday – Friday (Day Shift – receiving and shipping)  
8 am – 4 pm

Monday – Friday (Night Shift – repacking of produce)  
12 am – 8 am

### ***Number of Employees***

Day Shift – Eight Employees  
Night Shift – Ten Employees

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***Access/Circulation***

The subject site has two existing driveway approaches along Wilson Ave. All vehicular access will be provided through Wilson Ave. An existing loading dock is located along Wilson Ave adjacent to the two driveway approaches. No vehicular access is provided through Wilmington Ave.

***Off-Street Parking***

Pursuant to the HPMC Section 9-3.804, the parking requirement for industrial use is *1 space for each 800 square feet of gross floor area, plus 1 space for each vehicle used in connection with the use. Additional spaces required for office and retail uses exceeding 10 percent of the gross floor area to be calculated using standard office/retail parking ratios.*

In accordance with the City's off-street parking requirements, the total number of off-street parking spaces required for the proposed use is sixty (60) parking spaces. The subject site currently provides fifty-one (51) standard off-street parking spaces and two (2) ADA accessible parking spaces.

The subject site is deficient in the number of required off-street parking spaces by seven (7).

***Off-Street Loading***

The subject site has an existing loading/ unloading dock accessible via Wilson Ave. The applicant is not proposing any changes to the existing loading/ unloading dock.

Conditions of approval are in place to mitigate possible issues related to off-street parking and off-street loading.

**FINDINGS**

**Condition Use Permit Findings**

In granting a Conditional Use Permit to allow a Cold Storage Facility, the Planning Commission must make findings in connection with the Conditional Use Permit, as set forth in the Huntington Park Municipal Code. A Conditional Use Permit may be approved only if all of the following findings are made:

- 1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code.**

**Finding:** The proposed use of cold storage facility is conditionally permitted within the subject zoning district, pursuant to the Huntington Park Municipal Code, Title 9 Chapter 4 Article 3. The Manufacturing Planned Development zone is intended to provide for service, commercial, business, and industrial uses. The project proposes no tenant improvements nor additional square footage. The proposed use is compatible with existing adjacent uses. In addition, the proposed use will be of similar intensity as those known to occupy the surrounding area. Conditions of approval are in place to mitigate any possible issues related to noise and property maintenance.

- 2. The proposed use is consistent with the General Plan.**

**Finding:** The General Plan Land Use designation of the subject site is Manufacturing Planned Development. Permitted uses in this designation include a wide range of industrial and service uses, such as light industrial.

The proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General Plan by *improving existing industry and providing for an expanded industrial base by creating new areas for compatible industrial uses through both redevelopment and private enterprise.*

The proposed use of cold storage facility is compatible with surrounding land uses and complies with the requirements of the Huntington Park Municipal Code.

In addition, the proposed project is also consistent with Goal 3.0; Policy 3.2 of the Land Use Element of the General Plan by *promoting vigorous enforcement of City codes, including building, zoning, and health and safety, to promote property maintenance.* Conditions of approval are in place to mitigate any possible issues related to noise and property maintenance.

**3. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.**

**Finding:** The project is exempt from the California Environmental Quality Act (CEQA) in accordance with Article 19 (Categorical Exemptions), Section 15301(a) (Existing Facilities) of CEQA Guidelines. This project consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alterations of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond what is existing at the time of the lead agency's determination.

The project complies with the General Plan and zoning designations and is fully served by all required utilities. The site has no value for sensitive or endangered habitat. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission may find that the project is compliance with the CEQA exemption.

**4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses**

**operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City.**

**Finding:** The project does not propose any tenant improvements nor additional square footage to the building. The design, location, size, and operating characteristics of the proposed use of cold storage facility is not expected to be detrimental to the public health, safety, and welfare of the City, due to the fact that the proposed use will be of similar intensity as those known to occupy the surrounding area. The proposed project will be compatible with the surrounding industrial uses. In addition, the proposed project is in compliance with all City and zoning development standards.

**5. The subject site is physically suitable for the type and density/intensity of use being proposed;**

**Finding:** The subject site measures approximately ± 1.78 acres with the existing building measuring approximately 48,092 square feet. The proposed use of cold storage facility will be of similar intensity as uses known to occupy the surrounding area. The subject site is surrounded by industrially zoned properties to the north, south, and east. Unincorporated Los Angeles County is located to the west of the subject site.

**6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed use would not be detrimental to public health, safety and general welfare.**

**Finding:** The site is an existing building with proper infrastructure in place. The proposed use of cold storage facility will not significantly intensify public access, water, sanitation, and public utilities and services. The proposed use will not require changes to existing public utilities. In addition, the proposed project would not impede the accessibility to public access, water, sanitation, or other public utilities and services.

**DEPARTMENT COMMENTS:** The Conditional Use Permit application and plans were routed to City Departments; the conditions of approval reflect input and requirements from the City Departments. Conditions of approval have been included in the attached Planning Commission Resolution (Exhibit A).

**PUBLIC NOTICE:** Public hearing notices were mailed on 09/05/2024, as of the date of this public hearing Staff has not received any public comment.

**RECOMMENDATION:** That the Planning Commission conduct a public hearing, consider all public testimony, and **adopt** PC Resolution No. 2024-06 CUP, subject to the proposed conditions of approval and/or additional conditions that the Planning Commission may wish to impose.

**CONDITIONS OF APPROVAL:**

**PLANNING DIVISION**

1. That the applicant/property owner and each successor in interest to the property which is the subject of this project shall defend, indemnify and hold harmless the City of Huntington Park and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, City Council, or Planning Commission.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. The proposed project shall comply with all applicable federal, state and local agency codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Zoning, and Business License Regulations of the City of Huntington Park.
4. The property be developed and maintained in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal Code.
5. All proposed on-site utilities, including electrical and equipment wiring, shall be installed underground and/or routed along the ground floor and shall be completely concealed from public view as required by the City prior to authorization to operate.
6. That any existing and/or future graffiti, as defined by the Huntington Park Municipal Code Section 5-27.02(d), shall be diligently removed within a two-day time period.

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7. That the operator shall obtain a City of Huntington Park Business License prior to commencing business operations.
8. That the Applicant comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The Applicants shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) requirements.
9. That this entitlement shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
10. That the violation of any of the conditions of this entitlement may result in a citation(s) and/or the revocation of the entitlement.
11. That this entitlement may be subject to additional conditions after its original issuance, upon a duly noticed public hearing item. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
12. No outside storage shall be permitted on the subject site.
13. No payphones shall be allowed on the subject site.
14. The off-street parking lot located on the subject site may not be utilized for the storage or parking of vehicles not related to the business.
15. All proposed landscaping material shall comply with Title 9, Chapter 3, Article 4 of the HPMC.
16. Landscaping on site shall be maintained in a continual healthy thriving manner. Drought-resistant, fire-retardant vegetation shall be used where practicable. Where landscaped areas are irrigated it shall be done in a manner designed to conserve water, minimizing aerial spraying.
17. The applicant shall provide publicly visible art or pay art fees in accordance with the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of Occupancy.
18. All proposed mechanical equipment and appurtenances, including satellite dishes, gutters, etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible

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design related to the building structure for which such facilities are intended to serve and shall be installed prior to final building inspection.

19. A sign design review application shall be submitted prior to installing signs. Including but not limited to wall signs, window signs and temporary banners. Temporary banners are permitted pursuant to a Temporary Sign Permit Application. If applicable, a Master Sign Program shall be prepared for the subject site. Master sign program shall be submitted to the Planning Division for review and approval. A complete application, submittal requirements, and fees shall be due at the time of submittal.
20. All abandoned signs must be removed and any holes, glue, or discolored paint from previous signs must be repaired to match the building or background exterior.
21. All tenant improvements require the review and approval of a Minor Development Permit.
22. The applicant shall be subject to any fees and requirements from the California Department of Fish and Wildlife, as stated in the CEQA Environmental Document Filing fee schedule.
23. This entitlement shall expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
24. If the use ceases to operate for a period of six (6) months the entitlement shall be null and void.
25. The business shall maintain an active City business license at all times. If the business license is inactive for a period of more than six (6) months the entitlement shall be null and void.
26. That the Applicant shall comply with all applicable property development standards including, but not limited to, outdoor storage, fumes and vapors, property maintenance, and noise.
27. The Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
28. A wet-signed copy of the action letter signed by the applicant and property owner acknowledging conditions of approval shall be provided to City staff within 30 days of the date of the hearing. Failure to provide a copy of the signed action letter shall constitute the willful failure of applicant to establish entitlement and will render decision null and void.

29. That the business owner (Applicant) and property owner agree in writing to the above conditions.

## **BUILDING AND SAFETY**

30. All entrances and exits shall remain unlocked, in the closed position, and completely unobstructed at all times including during business hours. Above all entrances, on the interior side, shall read “This door to remain unlocked during business hours.”
31. If there are proposed tenant improvements or alterations of the existing building or floor plan, the applicant shall submit full tenant improvement plans to the building and safety department. If unpermitted work is discovered, the work shall be permitted through submittal of tenant improvement plans and issuance of a building permit and associated mechanical, electrical, and plumbing permits.
32. Plans submitted for improvements or alterations shall be completed by a registered design professional, such as a licensed architect or registered professional engineer. All plan sheets shall be stamped and signed by the registered design professional.
33. Plans submitted for tenant improvements or alterations shall require plan check fees. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
34. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
35. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
36. All improvements, alterations, and additions shall follow the 2022 California Building Code and all associated codes within the 2022 code cycle. If unpermitted work is discovered, the work must comply with the current building code requirements, which may require additional work to ensure code compliance.
37. Tenant improvements, alterations, and additions within existing buildings shall be required to comply with disabled access requirements outlined in Chapter 11B – Accessibility to Public Buildings, Public Accommodations, Commercial Buildings, and Public Housing – of the 2022 California Building Code (CBC). Some alterations may “trigger” full compliance with accessibility features outlined in Section 11B-202 of the 2022 CBC, pursuant to the current valuation threshold. When the adjusted construction cost, as defined, is less than or equal to the current valuation threshold, as defined, the cost of compliance with Section 11B-202.4 of the 2022 CBC shall be limited to 20 percent of the adjusted construction cost of tenant improvements, alterations, structural repairs, or additions.

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38. Tenant improvements, alterations, and additions may be subject to path of travel and site arrival point requirements outlined in Chapter 11B of the 2022 CBC, pertaining to parking spaces and building entrances.
39. All work, if any, is to be completed by a licensed contractor.
40. The business will be subject to a routine business license inspection.

**PUBLIC WORKS**

41. All requirements, as deemed necessary by the Department of Public Works during the Plan Check process, shall be complied with.

**POLICE DEPARTMENT**

42. Installation of comprehensive surveillance system covering all entry/ exit points, interior storage areas, and the perimeter.
43. Implement a security alarm system with direct notification to local law enforcement and a private security company.
44. Adequate exterior lighting to enhance visibility and deter criminal activity.
45. Installation of a clearly marked and accessible emergency exits.
46. Implement procedures to monitor and control the movement of vehicles and goods in and out of the facility.
47. Measures to mitigate noise, traffic, and other potential disturbances to the surrounding community.
48. Communication channels for residents to report concerns or incidents related to the facility.
49. Informational signage for emergency procedures and contact information.

**CODE ENFORCEMENT**

50. Property maintained as identified in Section 3 subsection 3, kept clean, neat, quiet and orderly manner at all times and comply with the property maintenance standards as set forth in the Huntington Park Municipal Code Section 8-9.02.1.
51. Trash container(s) must remain locked at all times and stored within the designated trash enclosure.
52. Graffiti on property must be removed within two (2) days. If paint is required; Planning approval must be given if any color is used other than anything approved at the time of plan review.

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53. All exterior lighting must be placed on timers to remain on during the evening and for emergency services.
54. No loitering in parking lot or outside business up to parcel limits after hours.
55. No overnight parking of vehicles on property.
56. No storage of vehicles on the property, this includes but is not limited to abandoned vehicles and inoperable vehicles.
57. No semi-trucks, trailers or other vehicles to be parked on Wilson Ave in curb areas painted red either short term or long term.
58. No double-parking semi-trucks, trailers or other vehicles on Wilson Avenue.
59. No outside storage in front or rear of property limits.
60. Landscaping must always be maintained, including tree maintenance.

**LOS ANGELES COUNTY FIRE DEPARTMENT**

61. All requirements, as deemed necessary by the Los Angeles County Fire Department during the Plan Check Process, shall be complied with.

**PLANNING DIVISION SPECIAL CONDITIONS**

62. If the operation of this establishment be granted, deed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall become null and void.

**EXHIBITS:**

- A. PC Resolution No. 2024-06 CUP
- B. Conditional Use Permit Application & Environmental Information Form
- C. Business Operation Statement & Subject Site Photographs
- D. Project Plans
- E. Vicinity Map
- F. Zoning Map
- G. Notice of Exemption

# **PC RESOLUTION NO. 2024-06 CUP**

**EXHIBIT A**

**CASE NO. 2024-06 CUP**

## PC RESOLUTION NO. 2024-06 CUP

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON PARK, STATE OF CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT TO OPERATE A COLD STORAGE FACILITY AT 6701 WILSON AVE WITHIN THE MANUFACTURING PLANNED DEVELOPMENT (MPD) ZONE.**

**WHEREAS**, a public hearing was held at City Hall, 6550 Miles Avenue, Huntington Park, California on Wednesday, September 18, 2024 at 6:30 p.m. pursuant to the notice published and posted as required by law in accordance with the provisions of the Huntington Park Municipal Code, upon an application from Sunrise Cold Storage Inc/ Georgina Murillo, requesting approval of a Conditional Use Permit to operate a cold storage facility at 6701 Wilson Ave, within the Manufacturing Planned Development (MPD) Zone, described as:

Assessor's Parcel No. 6009-038-042, City of Huntington Park, County of Los Angeles; and

**WHEREAS**, the Planning Division has reviewed the request and has found that all of the findings for approval of a Conditional Use Permit can be made as required by the Municipal Code; and

**WHEREAS**, all persons appearing for or against the approval of the Conditional Use Permit were given the opportunity to be heard in connection with said matter; and

**WHEREAS**, all written comments received prior to the hearing, and responses to such comments, were reviewed by the Planning Commission; and

**WHEREAS**, the Planning Commission is required to announce its findings and recommendations.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS FOLLOWS:

**SECTION 1:** Based on the evidence within staff report and the Environmental Assessment Questionnaire, the Planning Commission adopts the findings in said Questionnaire and determines that the project, as proposed, will have no significant

1 adverse effect on the environment and adopts an Environmental Categorical Exemption  
2 (CEQA Guidelines, Article 19, Section 15301, Existing Facilities).

3 **SECTION 2:** The Planning Commission hereby makes the following findings in  
4 connection with the proposed Conditional Use Permit:

5 1. The proposed use shall be conditionally permitted within, and shall not impair the  
6 integrity and character of, the subject zoning district and complies with all of the  
7 applicable provisions of this Code;

8 ***The proposed use of cold storage facility is conditionally permitted within  
9 the subject zoning district, pursuant to the Huntington Park Municipal Code,  
10 Title 9 Chapter 4 Article 3. The Manufacturing Planned Development zone is  
11 intended to provide for service, commercial, business, and industrial uses.  
12 The project proposes no tenant improvements nor additional square footage.  
13 The proposed use is compatible with existing adjacent uses. In addition, the  
14 proposed use will be of similar intensity as those known to occupy the  
15 surrounding area. Conditions of approval are in place to mitigate any  
16 possible issues related to noise and property maintenance.***

17 2. The proposed use shall be consistent with the General Plan;

18 ***The General Plan Land Use designation of the subject site is Manufacturing  
19 Planned Development. Permitted uses in this designation include a wide  
20 range of industrial and service uses, such as light industrial.***

21 ***The proposed project is consistent with the General Plan, specifically, the  
22 proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use Element  
23 of the General Plan by improving existing industry and providing for an  
24 expanded industrial base by creating new areas for compatible industrial  
25 uses through both redevelopment and private enterprise.***

26 ***The proposed use of cold storage facility is compatible with surrounding  
27 land uses and complies with the requirements of the Huntington Park  
28 Municipal Code.***

1        *In addition, the proposed project is also consistent with Goal 3.0; Policy 3.2*  
2        *of the Land Use Element of the General Plan by promoting vigorous*  
3        *enforcement of City codes, including building, zoning, and health and safety,*  
4        *to promote property maintenance. Conditions of approval are in place to*  
5        *mitigate any possible issues related to noise and property maintenance.*

6        3. The approval of the Conditional Use Permit for the proposed use shall be in  
7        compliance with the requirements of the California Environmental Quality Act  
8        (CEQA) and the City's Guidelines;

9        *The project is exempt from the California Environmental Quality Act (CEQA)*  
10        *in accordance with Article 19 (Categorical Exemptions), Section 15301(a)*  
11        *(Existing Facilities) of CEQA Guidelines. This project consists of the*  
12        *operation, repair, maintenance, permitting, leasing, licensing, or minor*  
13        *alterations of existing public or private structures, facilities, mechanical*  
14        *equipment, or topographical features, involving negligible or no expansion of*  
15        *use beyond what is existing at the time of the lead agency's determination.*

17       <sup>18</sup>  
18        *The project complies with the General Plan and zoning designations and is*  
19        *fully served by all required utilities. The site has no value for sensitive or*  
20        *endangered habitat. As there is no substantial evidence that the project may*  
21        *have a significant effect on the environment, Planning Commission may find*  
22        *that the project is compliance with the CEQA exemption.*

24        4. The design, location, size and operating characteristics of the proposed use are  
25        compatible with the existing and planned future land uses within the general area in  
26        which the proposed use is to be located and will not create significant noise, traffic  
27        or other conditions or situations that may be objectionable or detrimental to other

1                   permitted uses operating nearby or adverse to the public interest, health, safety,  
2                   convenience or welfare of the City;

3                   ***The project does not propose any tenant improvements nor additional square***  
4                   ***footage to the building. The design, location, size, and operating***  
5                   ***characteristics of the proposed use of cold storage facility is not expected to***  
6                   ***be detrimental to the public health, safety, and welfare of the City, due to the***  
7                   ***fact that the proposed use will be of similar intensity as those known to***  
8                   ***occupy the surrounding area. The proposed project will be compatible with***  
9                   ***the surrounding industrial uses. In addition, the proposed project is in***  
10                   ***compliance with all City and zoning development standards.***

11                   5. The subject site shall be physically suitable for the type and density/intensity of use  
12                   being proposed;

13                   ***The subject site measures approximately ± 1.78 acres with the existing***  
14                   ***building measuring approximately 48,092 square feet. The proposed use of***  
15                   ***cold storage facility will be of similar intensity as uses known to occupy the***  
16                   ***surrounding area. The subject site is surrounded by industrially zoned***  
17                   ***properties to the north, south, and east. Unincorporated Los Angeles County***  
18                   ***is located to the west of the subject site.***

19                   6. There shall be adequate provisions for public access, water, sanitation and public  
20                   utilities and services to ensure that the proposed use would not be detrimental to  
21                   public health, safety and general welfare;

22                   ***The site is an existing building with proper infrastructure in place. The***  
23                   ***proposed use of cold storage facility will not significantly intensify public***  
24                   ***access, water, sanitation, and public utilities and services. The proposed use***  
25                   ***will not require changes to existing public utilities. In addition, the proposed***  
26                   ***project would not impede the accessibility to public access, water, sanitation,***  
27                   ***or other public utilities and services.***

1  
2       **SECTION 3:** The Planning Commission hereby approves Resolution No. 2024-06

3       CUP, subject to the execution and fulfillment of the following conditions:

4       **CONDITIONS OF APPROVAL:**

5       **PLANNING DIVISION**

- 6       1. That the applicant/property owner and each successor in interest to the property  
7       which is the subject of this project shall defend, indemnify and hold harmless the City  
8       of Huntington Park and its agents, officers, and employees from any claim, action or  
9       proceedings, liability cost, including attorney's fees and costs against the City or its  
agents, officers or employees, to attack, set aside, void or annul any approval of the  
City, City Council, or Planning Commission.
- 10      2. Except as set forth in subsequent conditions, all-inclusive, and subject to department  
11     corrections and conditions, the property shall be developed substantially in  
accordance with the applications, environmental assessment, and plans submitted.
- 12      3. The proposed project shall comply with all applicable federal, state and local agency  
13     codes, laws, rules, and regulations, including Health, Building and Safety, Fire,  
14     Zoning, and Business License Regulations of the City of Huntington Park.
- 15      4. The property be developed and maintained in a clean, neat, quiet, and orderly  
16     manner at all times and comply with the property maintenance standards as set forth  
in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal Code.
- 17      5. All proposed on-site utilities, including electrical and equipment wiring, shall be  
18     installed underground and/or routed along the ground floor and shall be completely  
concealed from public view as required by the City prior to authorization to operate.
- 19      6. That any existing and/or future graffiti, as defined by the Huntington Park Municipal  
20     Code Section 5-27.02(d), shall be diligently removed within a two-day time period.
- 21      7. That the operator shall obtain a City of Huntington Park Business License prior to  
22     commencing business operations.
- 23      8. That the Applicant comply with all of the provisions of Title 7, Chapter 9 of the  
24     Huntington Park Municipal Code relating to Storm Water Management. The  
25     Applicants shall also comply with all requirements of the National Pollutant Discharge  
Elimination System (NPDES), Model Programs, developed by the County of Los  
26     Angeles Regional Water Quality Board. This includes compliance with the City's Low  
Impact Development (LID) requirements.
- 27      9. That this entitlement shall be subject to review for compliance with conditions of the  
issuance at such intervals as the City Planning Commission shall deem appropriate.

10. That the violation of any of the conditions of this entitlement may result in a citation(s)  
2 and/or the revocation of the entitlement.
11. That this entitlement may be subject to additional conditions after its original  
3 issuance, upon a duly noticed public hearing item. Such conditions shall be imposed  
4 by the City Planning Commission as deemed appropriate to address problems of land  
5 use compatibility, operations, aesthetics, security, noise, safety, crime control, or to  
promote the general welfare of the City.
12. No outside storage shall be permitted on the subject site.
13. No payphones shall be allowed on the subject site.
14. The off-street parking lot located on the subject site may not be utilized for the  
9 storage or parking of vehicles not related to the business.
15. All proposed landscaping material shall comply with Title 9, Chapter 3, Article 4 of the  
11 HPMC.
16. Landscaping on site shall be maintained in a continual healthy thriving manner.  
Drought-resistant, fire-retardant vegetation shall be used where practicable. Where  
13 landscaped areas are irrigated it shall be done in a manner designed to conserve  
14 water, minimizing aerial spraying.
17. The applicant shall provide publicly visible art or pay art fees in accordance with the  
15 HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of  
16 Occupancy.
18. All proposed mechanical equipment and appurtenances, including satellite dishes,  
gutters, etc., whether located on the rooftop, ground level or anywhere on the  
19 property shall be completely shielded/enclosed so as not to be visible from any public  
street and/or adjacent properties. Such shielding/enclosure of facilities shall be of  
20 compatible design related to the building structure for which such facilities are  
intended to serve and shall be installed prior to final building inspection.
19. A sign design review application shall be submitted prior to installing signs. Including  
but not limited to wall signs, window signs and temporary banners. Temporary  
22 banners are permitted pursuant to a Temporary Sign Permit Application. If applicable,  
23 a Master Sign Program shall be prepared for the subject site. Master sign program  
shall be submitted to the Planning Division for review and approval. A complete  
24 application, submittal requirements, and fees shall be due at the time of submittal.
20. All abandoned signs must be removed and any holes, glue, or discolored paint from  
previous signs must be repaired to match the building or background exterior.
21. All tenant improvements require the review and approval of a Minor Development  
Permit.

1       22. The applicant shall be subject to any fees and requirements from the California  
2       Department of Fish and Wildlife, as stated in the CEQA Environmental Document  
3       Filing fee schedule.

4       23. This entitlement shall expire in the event it is not exercised within one (1) year from  
5       the date of approval, unless an extension has been granted by the Planning  
6       Commission.

7       24. If the use ceases to operate for a period of six (6) months the entitlement shall be null  
8       and void.

9       25. The business shall maintain an active City business license at all times. If the  
10      business license is inactive for a period of more than six (6) months the entitlement  
11      shall be null and void.

12      26. That the Applicant shall comply with all applicable property development standards  
13      including, but not limited to, outdoor storage, fumes and vapors, property  
14      maintenance, and noise.

15      27. The Director of Community Development is authorized to make minor modifications  
16      to the approved preliminary plans or any of the conditions if such modifications shall  
17      achieve substantially the same results, as would strict compliance with said plans and  
18      conditions.

19      28. A wet-signed copy of the action letter signed by the applicant and property owner  
20      acknowledging conditions of approval shall be provided to City staff within 30 days of  
21      the date of the hearing. Failure to provide a copy of the signed action letter shall  
22      constitute the willful failure of applicant to establish entitlement and will render  
23      decision null and void.

24      29. That the business owner (Applicant) and property owner agree in writing to the above  
25      conditions.

26      **BUILDING AND SAFETY**

27      30. All entrances and exits shall remain unlocked, in the closed position, and completely  
28      unobstructed at all times including during business hours. Above all entrances, on the  
29      interior side, shall read "This door to remain unlocked during business hours."

30      31. If there are proposed tenant improvements or alterations of the existing building or  
31      floor plan, the applicant shall submit full tenant improvement plans to the building and  
32      safety department. If unpermitted work is discovered, the work shall be permitted  
33      through submittal of tenant improvement plans and issuance of a building permit and  
34      associated mechanical, electrical, and plumbing permits.

35      32. Plans submitted for improvements or alterations shall be completed by a registered  
36      design professional, such as a licensed architect or registered professional engineer.  
37      All plan sheets shall be stamped and signed by the registered design professional.

33. Plans submitted for tenant improvements or alterations shall require plan check fees. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
34. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
35. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
36. All improvements, alterations, and additions shall follow the 2022 California Building Code and all associated codes within the 2022 code cycle. If unpermitted work is discovered, the work must comply with the current building code requirements, which may require additional work to ensure code compliance.
37. Tenant improvements, alterations, and additions within existing buildings shall be required to comply with disabled access requirements outlined in Chapter 11B – Accessibility to Public Buildings, Public Accommodations, Commercial Buildings, and Public Housing – of the 2022 California Building Code (CBC). Some alterations may “trigger” full compliance with accessibility features outlined in Section 11B-202 of the 2022 CBC, pursuant to the current valuation threshold. When the adjusted construction cost, as defined, is less than or equal to the current valuation threshold, as defined, the cost of compliance with Section 11B-202.4 of the 2022 CBC shall be limited to 20 percent of the adjusted construction cost of tenant improvements, alterations, structural repairs, or additions.
38. Tenant improvements, alterations, and additions may be subject to path of travel and site arrival point requirements outlined in Chapter 11B of the 2022 CBC, pertaining to parking spaces and building entrances.
39. All work, if any, is to be completed by a licensed contractor.
40. The business will be subject to a routine business license inspection.

## PUBLIC WORKS

41. All requirements, as deemed necessary by the Department of Public Works during the Plan Check process, shall be complied with.

## **POLICE DEPARTMENT**

42. Installation of comprehensive surveillance system covering all entry/ exit points, interior storage areas, and the perimeter.
43. Implement a security alarm system with direct notification to local law enforcement and a private security company.

- 1 44. Adequate exterior lighting to enhance visibility and deter criminal activity.
- 2 45. Installation of a clearly marked and accessible emergency exits.
- 3 46. Implement procedures to monitor and control the movement of vehicles and goods in  
4 and out of the facility.
- 5 47. Measures to mitigate noise, traffic, and other potential disturbances to the  
6 surrounding community.
- 7 48. Communication channels for residents to report concerns or incidents related to the  
8 facility.
- 9 49. Informational signage for emergency procedures and contact information.

#### **CODE ENFORCEMENT**

- 10 50. Property maintained as identified in Section 3 subsection 3, kept clean, neat, quiet  
11 and orderly manner at all times and comply with the property maintenance standards  
as set forth in the Huntington Park Municipal Code Section 8-9.02.1.
- 12 51. Trash container(s) must remain locked at all times and stored within the designated  
13 trash enclosure.
- 14 52. Graffiti on property must be removed within two (2) days. If paint is required; Planning  
15 approval must be given if any color is used other than anything approved at the time  
of plan review.
- 16 53. All exterior lighting must be placed on timers to remain on during the evening and for  
17 emergency services.
- 18 54. No loitering in parking lot or outside business up to parcel limits after hours.
- 19 55. No overnight parking of vehicles on property.
- 20 56. No storage of vehicles on the property, this includes but is not limited to abandoned  
21 vehicles and inoperable vehicles.
- 22 57. No semi-trucks, trailers or other vehicles to be parked on Wilson Ave in curb areas  
23 painted red either short term or long term.
- 24 58. No double-parking semi-trucks, trailers or other vehicles on Wilson Avenue.
- 25 59. No outside storage in front or rear of property limits.
- 26 60. Landscaping must always be maintained, including tree maintenance.

LOS ANGELES COUNTY FIRE DEPARTMENT

61. All requirements, as deemed necessary by the Los Angeles County Fire Department during the Plan Check Process, shall be complied with.

## PLANNING DIVISION SPECIAL CONDITIONS

62. If the operation of this establishment be granted, deed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall become null and void.

**SECTION 4:** This resolution shall not become effective until 15 days after the date of decision rendered by the Planning Commission, unless within that period of time it is appealed to the City Council. The decision of the Planning Commission shall be stayed until final determination of the appeal has been effected by the City Council.

**SECTION 5:** The Secretary of the Planning Commission shall certify to the adoption of this resolution and a copy thereof shall be filed with the City Clerk.

**PASSED, APPROVED, AND ADOPTED** this 18<sup>th</sup> of September 2024 by the following vote:

**AYES:**

### NOES:

**ABSENT:**

**ABSTAIN:**

## HUNTINGTON PARK PLANNING COMMISSION

## Chairperson

ATTEST:

Steve Forster, Secretary

# **CONDITIONAL USE PERMIT APPLICATION & ENVIRONMENTAL INFORMATION FORM**

**EXHIBIT B**

**CASE NO. 2024-06 CUP**



City of  
**HUNTINGTON PARK** california  
COMMUNITY DEVELOPMENT DEPARTMENT

6550 MILES AVENUE  
HUNTINGTON PARK, CA 90255  
TEL: (323) 584-6210 FAX: (323) 584-6244

### CONDITIONAL USE PERMIT (CUP) APPLICATION GUIDELINES

Applications for a Conditional Use Permit are processed by the Community Development Department, Planning Division.

#### **I. Preliminary Review**

Prior to applying for a CUP, it is highly recommended that a Preliminary Review be submitted and checked. This procedure notifies the potential CUP applicant, in advance, of Planning Division requirements and recommendations to the Planning Commission. The Preliminary Plan Review consists of three (3) sets of plans which include the site plan, floor plan(s), and elevations, along with a completed application, environmental checklist, and a review fee of **\$930.00**. The Preliminary Plan Review is designed to allow applicants to be informed of the Planning Division's recommendations and requirements prior to preparing the complete CUP package and paying the required fees. This review may not include recommendations and requirements of other Departments or Agencies (i.e. Building and Safety, Fire, County Health, etc.).

#### **II. Complete CUP Package**

Materials necessary to process a CUP include:

1. Ten (10) copies of proposed and/or existing plans. All plans should be submitted on 24" x 36" paper and folded to 8 1/2" x 11". Set of plans should include the following:
  - A. Floor Plan (all buildings)
  - B. Site Plan
  - C. Elevations (all)
2. Two (2) copies of reduced plans, either 8 1/2" x 11" or 11" x 17".
3. One (1) CD Rom or USB drive containing all files in digital PDF and/or JPEG formats.
4. Two (2) sets of 300 foot Public Notice Radius Maps and Mailing Labels (see the attached example).
5. CUP Application (completely filled, see the attached example).
6. Environmental Checklist Form (completely filled, see the attached example).
7. Digital photograph copies of site and adjacent properties (i.e. CD Rom or USB drive).
8. Required Fees:
  - A. \$ 4,972.00 for CUP
  - B. \$ 285.00 for Environmental Review (minimum)
  - C. \$ 650.00 for Publication Fees

**\$ 5,907.00 Total**

#### How is the application processed?

Conditional Use Permits are approved based upon the discretion (subject to appeal) of the Planning Commission. Upon the submittal of the above mentioned materials and payment of fees, the proposal will be given a case number (i.e. 2023-01 CUP). The application is formally reviewed by Staff within 30 days. The applicant will be notified, in writing, of any required corrections and/ or if additional information is required. Once the application is deemed "complete" it will be scheduled for the earliest appropriate Planning Commission meeting. The processing includes the notification of all property owners within 300 feet of the site, a notice of the request advertised in a newspaper of general circulation and the preparation of a staff report (subject to environmental analysis and findings as required by the California Environmental Quality Act) for the Planning Commission.

It is recommended that the applicant, property owner, and/or representative attend(s) the meeting, and be prepared to answer questions and present evidence supporting the requested CUP. In order for the Planning Commission to approve a request for a CUP, the Commission must find that based upon the information contained in the application and the testimony given at the public hearing, the following findings apply:

- A. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of the Zoning Code;
- B. The proposed use is consistent with the General Plan;
- C. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
- D. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City;
- E. The subject site is physically suitable for the type and density/intensity of use being proposed; and
- F. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

The Planning Commission is interested in hearing all views concerning the proposed CUP, and how it applies to the required findings. It is suggested that the applicant prepare themselves to answer questions pertaining to the required findings during the public hearing.

A staff report will be available at the Community Development Department public counter on the Monday before the Planning Commission meeting. A copy of the report will also be provided to the applicant prior to the meeting.

#### **What happens after the Planning Commission's decision?**

After publicly discussing the case, the Planning Commission may approve, deny, or continue the case to a later meeting for further study.

It is important to know that if an application is approved, it does not become final until fifteen (15) days after the date of approval. During this time an appeal may be filed by the applicant or anyone requesting that the City Council reverse or modify the decision of the Planning Commission. An appeal may be filed and paid for at the City Clerk's Office in City Hall. The appeal will then be scheduled to be heard by the City Council which may affirm, modify or overturn the Planning Commission action.

#### **What are "conditions" of approval?**

If the application is approved, the CUP may contain certain conditions affecting the proposed use/development. The Planning Division recommends conditions to the Planning Commission for the mitigation and/or improvement of the individual circumstances to ensure the compatibility of the use with surrounding land uses.

For further information, please contact the Planning Division by calling (323) 584-6210 or emailing [Planning@hpcgov](mailto:Planning@hpcgov) between 7:00 a.m. and 5:30 p.m. Monday through Thursday.

**Attachments:** **Conditional Use Permit Application**  
**Environmental Checklist Form**  
**Radius Map Guidelines**



## **CITY OF HUNTINGTON PARK**

Community Development Dept. • Planning Division  
6550 Miles Avenue, Huntington Park, CA 90255  
Tel. (323) 584-6210 • [planning@hPCA.gov](mailto:planning@hPCA.gov)

# CONDITIONAL USE PERMIT APPLICATION

tel. (323) 584-6210 • p

By-

Date Filed: 04.03.24

FOR OFFICE USE ONLY

File No.: CUP 24- 06

Fee/Receipt No.: **\$4,972.00**

Initials: A.C.

## PROJECT INFORMATION

Project Address: 6701 Wilson Ave, Huntington Park, CA 90001

General Location: East of Alemdea St on Wilson North of 69th St

Assessor's Parcel Number (APN): 6009-038-042

## APPLICANT'S INFORMATION

Applicant: Sunrise Cold Storage Inc / Georgina Murillo

**Mailing Address:** 13822 Clearcrest Drive, Baldwin Park, CA 91706

Phone 1: 626-383-3141      Phone 2: 626-383-3172      Email: cuevamikey@aol.com

## Anhausner Properties

2430 E 11th Street

310-968-8766

Email:tony@erewhon.com

## REQUEST

I/We hereby request a Conditional Use Permit (CUP) for the following purpose:

Operate a Cold Storage and Distribution facility at the site of a previously housed cold storage facility that existed for several decades. The previous tenant sold their business and the space had been vacant for several months.

The space is to be occupied as built with no additional exterior modification or additional cooler space added. All doors face a commercial street with several similar business in operation on the same block.

In order for the Planning Commission to approve a CUP, the Huntington Park Municipal Code requires that all of the following findings be made:

- A. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of the Zoning Code.
- B. The proposed use is consistent with the General Plan.
- C. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.
- D. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City.
- E. The subject site is physically suitable for the type and density/intensity of use being proposed.
- F. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

In order for the Planning Commission to determine if these findings are present in your case, the following questions must be answered by the applicant:

1. Describe how the proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of the Zoning Code site for this proposed use is adequate in size and shape.

The building is continuing the original use for which designed and utilized over the last several decades. Although the current zoning in MPD, the buildings occupied across the street are a similar use.

There are now planned changes to use of the building that differs from businesses adjacent and across from this building.

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2. Describe how the proposed use is consistent with the General Plan.

The current general plan zoning is Planned Manufacturing Development and is up against an existing Commercial zone with 2 similar business on the same block of the same street.

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3. Describe how the approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.

The proposed use does not change actually activity of the site and is scheduled to have a lower utilization than the previous activity and should reduce the overall environmental impact compared to previous occupancy.

4. Describe how the design, location, size, and operating characteristics of the proposed use is compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City.

No exterior or lot modifications are planned and likely traffic should be less than the tenants that occupied the space for several decades.

Previously a storage and distribution for Numero Uno Market/Superior Grocery. Expected impact is to be lower than the activity in previous occupancy.

The space faces other commercial business within 1 block of Alameda and no traffic from site passes through or in front of local housing.

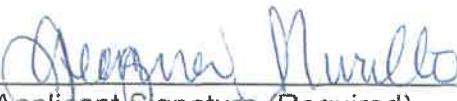
5. Describe how the subject site is physically suitable for the type and density/intensity of use being proposed.

Building design is similar to all buildings on this block, including unit with adjoining wall all of which are occupied by either cold storage and/or distribution facilities.

6. Describe how there are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

The same provisions serviced the previous tenants and all adjoining tenants on the block. The expected impact is expected to be less the previous years on all utilities and services to the building.

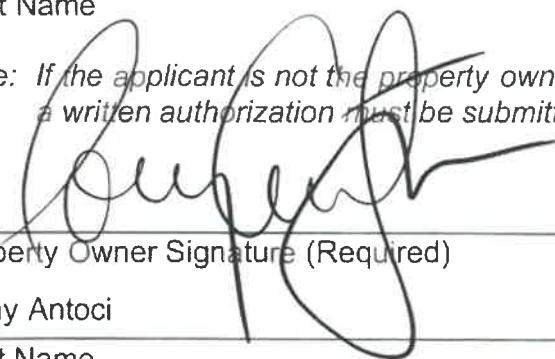
**CERTIFICATE AND AFFIDAVIT OF APPLICANT:** I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.

  
\_\_\_\_\_  
Applicant Signature (Required)

Date 1/26/24

Georgina Murillo  
\_\_\_\_\_  
Print Name

*Note: If the applicant is not the property owner, the owner of the property must sign the application or a written authorization must be submitted so that the applicant may file the application.*

  
\_\_\_\_\_  
Property Owner Signature (Required)

Date February 6, 2024

Tony Antoci  
\_\_\_\_\_  
Print Name

**CITY OF HUNTINGTON PARK**

Community Development Dept. • Planning Division  
6550 Miles Avenue, Huntington Park, CA 90255  
Tel. (323) 584-6210 • planning@huntingtonpark.org

**ENVIRONMENTAL  
INFORMATION FORM****FOR OFFICE USE ONLY**

Date Filed: \_\_\_\_\_ File No.: \_\_\_\_\_ Fee/Receipt No.: \_\_\_\_\_ Initials: \_\_\_\_\_

**1. Applicant (please circle whether Owner, Leasee, Purchaser or Representative):**

Name: Sunrise Cold Storage Inc / Georgina Murillo

Address: 13822 Clearcrest Drive, Baldwin Park, CA 91706

Telephone: 626-383-3141

Fax: \_\_\_\_\_

**2. Contact Person concerning this project:**

Name: Georgina Murillo

Address: 13822 Clearcrest Drive, Baldwin Park, CA 91706

Telephone: 626-383-3141

Fax: \_\_\_\_\_

**3. Address of project: 6701 Wilson Ave, Huntington Park, CA 90001****4. Assessor's Parcel Number (APN): 6009-038-042****5. Indicate type of permit application(s) (i.e. Conditional Use Permit, Development Permit, Variance, etc.) for the project to which this form pertains:**

Conditional Use Permit

**6. List any other permits and/or other public agency approvals required for this project, including those required by City, County, State and/or Federal agencies:**

City of Hunting Park Business License, LA County Environmental Health, CDPH License, FDA registration

**7. Existing Zone: MPD Manufacturing Planned Development - Commercial / Industrial****8. Proposed use of site: Cold Storage / Distribution**



17. If industrial, indicate type of industrial or manufacturing use, estimated employment per shift, proposed hours of operations, and loading locations:

Cold Storage and Distribution. 7am - 4pm M-F / 15-20 Per shift

Edge of Huntington Park

All Loading and Entrances Face Wilson, Residential exposure on back only

18. If institutional, indicate type of institutional use, estimated employment per shift, proposed hours of operations, estimated occupancy, loading locations, and community benefits to be derived from the project:

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Please complete numbers 19 through 33 by marking "A" through "D" and briefly discuss any items marked "A" "B" or "C" (attach additional sheets as necessary). Items marked "D" do not need discussion.

A) Potentially Significant Impact

B) Potentially Significant Impact Unless Mitigation Incorporated

C) Less than Significant Impact

D) No Impact

#### AESTHETICS

19. Would the proposed project:

- a. Affect a scenic vista? D \_\_\_\_\_
- b. Have a demonstrable negative aesthetic effect? D \_\_\_\_\_
- c. Create light or glare? D \_\_\_\_\_

#### AIR QUALITY

20. Would the proposed project:

- a. Affect air quality or contribute to an existing or projected air quality violation? D \_\_\_\_\_
- b. Create or cause smoke, ash, or fumes in the vicinity? D \_\_\_\_\_
- c. Create objectionable odors? D \_\_\_\_\_

## BIOLOGICAL RESOURCES

### 21. Would the proposed project:

a. Remove of any existing trees or landscaping?

D

## CULTURAL RESOURCES:

### 22. Would the proposed project:

a. Affect historical resources?

D

b. Have the potential to cause a significant physical change which would affect unique ethnic cultural values?

D

## GEOLOGY AND SOILS

### 23. Would the proposed project:

a. Result in erosion, changes in topography or unstable soil conditions from excavation, grading or fill?

D

b. Be located on expansive soils?

D

c. Result in unique geologic or physical features?

D

## HAZARDS

### 24. Would the proposed project:

a. Create a risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)?

D

b. The use or disposal of potentially hazardous materials (i.e. toxic or flammable substances)?

D

c. The creation of any health hazard or potential health hazard?

D

d. Exposure of people to existing sources of potential health hazards?

D

## HYDROLOGY AND WATER QUALITY

### 25. Would the proposed project:

a. Change water drainage patterns?

D

b. Change the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capabilities?

D

- c. Impact groundwater quality? D \_\_\_\_\_
- d. Substantially reduce the amount of groundwater otherwise available for public water supplies? D \_\_\_\_\_

## LAND USE AND PLANNING

26. Would the proposed project:

- a. Conflict with the Zoning or General Plan designation? D \_\_\_\_\_
- b. Be incompatible with existing land use in the vicinity? D \_\_\_\_\_
- c. Disrupt or divide the physical arrangement of an established community? D \_\_\_\_\_

## MINERAL AND ENERGY RESOURCES

27. Would the proposed project:

- a. Conflict with the conservation of water? D \_\_\_\_\_
- b. Use non-renewable resources in a wasteful and/or inefficient manner? D \_\_\_\_\_
- c. Substantially increase energy consumption (i.e. electricity, oil, natural gas, etc.)? D \_\_\_\_\_

## NOISE

28. Would the proposed project result in:

- a. Increase to existing noise levels? D \_\_\_\_\_
- b. Exposure of people to severe noise levels? D \_\_\_\_\_

## POPULATION AND HOUSING

29. Would the proposed project:

- a. Induce substantial growth in an area either directly or indirectly (i.e. through population growth or infrastructure use)? D \_\_\_\_\_
- b. Displace existing housing, especially affordable housing? D \_\_\_\_\_

## PUBLIC SERVICES

30. Would the proposal result in a need for new or altered government services for any of the following public services:

- a. Fire protection? D \_\_\_\_\_

- b. Police protection?  D \_\_\_\_\_
- c. Schools?  D \_\_\_\_\_
- d. Maintenance of public facilities, including roads?  D \_\_\_\_\_
- e. Other governmental services?  D \_\_\_\_\_

## RECREATION

### 31. Would the proposed project:

- a. Increase the demand for neighborhood or regional parks or other recreational facilities?  D \_\_\_\_\_
- b. Affect existing recreational opportunities?  D \_\_\_\_\_

## TRANSPORTATION AND TRAFFIC

### 32. Would the proposed project:

- a. Increase vehicle trips or traffic congestion?  D \_\_\_\_\_
- b. Increase hazards to safety from design features (i.e. sharp curves or dangerous intersections)?  D \_\_\_\_\_
- c. Inadequate access to nearby uses?  D \_\_\_\_\_
- d. Insufficient on-site parking capacity?  D \_\_\_\_\_
- e. Hazards or barriers for pedestrians or bicyclists?  D \_\_\_\_\_

## UTILITIES AND SERVICE SYSTEMS

### 33. Would the proposed project result in a need for new systems or supplies, or alterations to the following utilities:

- a. Power or natural gas?  D \_\_\_\_\_
- b. Communications systems?  D \_\_\_\_\_
- c. Local or regional water treatment or distribution facilities?  D \_\_\_\_\_
- d. Sewer or septic tanks?  D \_\_\_\_\_
- e. Storm water drainage?  D \_\_\_\_\_
- f. Solid waste disposal?  D \_\_\_\_\_
- g. Local or regional water supplies?  D \_\_\_\_\_

34. Describe the project site as it exists before the project, including any existing structures on the site, and the use of the structures (i.e. residential, commercial, industrial, etc.) Attach photographs of the site and of the surrounding land uses.

Former Cold Storage and Distribution site for Food Service Chain for several decades

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35. Describe the intensity of land use (i.e. single-family, apartment dwellings, shopping center, etc.), and specifications of development (i.e. height, primary frontage, secondary frontage, setbacks, rear yard, etc.).

No Changes: All residential areas are to back of building with no traffic exposure

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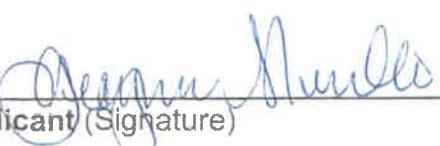
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**CERTIFICATION:** I hereby certify that the statements furnished above and in the attached plans present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.

  
\_\_\_\_\_  
Applicant (Signature)

  
\_\_\_\_\_  
Date



City of  
**HUNTINGTON PARK** california  
COMMUNITY DEVELOPMENT DEPARTMENT

6550 MILES AVENUE  
HUNTINGTON PARK, CA 90255  
TEL: (323) 584-6210 FAX: (323) 584-6244

**PUBLIC NOTICE RADIUS MAP GUIDELINES**

The radius map, ownership list and mailing labels are for the purpose of providing public notice of a proposed project to properties within a 300 foot radius from the subject property.

When submitting an application for a **Conditional Use Permit, Development Permit, Variance, and/or Tentative Parcel Map**, the applicant must include a radius map, mailing labels, and a list of all the property owners within a 300 foot radius from the subject property as required by **State Law and the Huntington Park Municipal Code**. The guidelines for preparation of these items are as follows:

A) An original and one (1) copy of a **Radius Map** (300 foot radius from property), showing all the ownership lines. The map must also contain a key to an ownership list (see attached example). The ownership information can be obtained from the County Assessor's Office.

Los Angeles County  
Assessor's Office  
South El Monte  
1441 Santa Anita Avenue  
South El Monte, CA  
(818) 350-4695

Los Angeles County  
Assessor's Office  
County Hall of Administration  
Room 205  
500 West Temple Street  
Los Angeles, CA  
(213) 974-3211

B) One (1) ownership list from the latest Assessor's records, of properties within a 300 foot radius from the subject property. On the map, each property within the 300 foot radius must be referenced to the ownership list by number. (See attached example)

C) Two (2) sets of addressed, self-adhesive, gummed labels. Use Avery Mailing Labels No. AVY 5162, AVY 5351 or AVY 5375 (1" x 3" in size, see attached example).

D) Sign and date the attached affidavit (see Attachment B), verifying that the information on the radius map ownership is accurate.



City of  
**HUNTINGTON PARK** california  
COMMUNITY DEVELOPMENT DEPARTMENT

6550 MILES AVENUE  
HUNTINGTON PARK, CA 90255  
TEL: (323) 584-6210 FAX: (323) 584-6244

**Attachment B**

**AFFIDAVIT**

I, Georgina Murillo, hereby certify that on the 26th day of January, 2024, I prepared an ownership list and radius map, including properties entirely within or partially within 300 feet on the most exterior boundaries of the property being considered in the above referenced case known as (address)

The name and addresses listed were taken from the latest records of the Los Angeles County Assessor. Such names are recorded in the records of the County Assessor as being the present owner or owners of both the property involved in said case and of property in the immediate vicinity thereto.

I certify that said ownership list and radius map are correct and accurate to the best of my knowledge. I also acknowledge that any errors in this information will constitute an incomplete application and may invalidate its approval.

  
\_\_\_\_\_  
Signature of Applicant

1/26/24

\_\_\_\_\_  
Date

# **BUSINESS OPERATION STATEMENT / SUBJECT SITE PHOTOGRAPHS**

**EXHIBIT C**

**CASE NO. 2024-06 CUP**



June 4, 2024

Community Development Department  
City of Huntington Park

**SUBJECT: 6701 Wilson Ave (APN: 6009-038-042) CUP 2024-06**

*Plans date stamped received 04/03/2024*

*1<sup>st</sup> Set of Planning Division Corrections*

## SUBMITTAL REQUIREMENTS RESPONSE

### 1. General Comments:

- a. Update the date (mm/dd/yyyy) in the title block of each plan sheet.  
Done

- b. Provide business operation statement for the proposed use.

The facility houses a cold storage facility for frozen food as the primary activity and use of space. A dry portion with racks is located in the center of the space with Janitorial supplies for food business the cold storage services and for facility use. A secondary business provides produce repacking in the evening hours which is delivered during the day during regular cold storage in and out deliveries.

### 1. How does the business operate?

The business receives shipments and ships out from the front docks only during regular business hours both frozen food and produce. Nights a separate staff conducts repack operations on produce received during the previous day and shipped out the next day.

### 2. What else is going on in the building besides cold storage?

- a. Production - what is being produced? NO Production only Repack

- b. Storage - what is being stored?

Frozen Food, Janitorial and Fresh Produce

### 3. Number of employees 8 during the day time / 10 overnight

### 4. Hours and days of operation

M-F 8am – 4pm, Day shift receiving and shipping  
M-F 12am-8am, Nigh shift repacking of produce

### 5. What is the difference between Sunshine and CPG?

Sunrise is the brand name for the frozen storage

CPG is the contracted operator and brand for night time repacking

### a. Do the businesses have different hours of operation? YES

Sunrise M-F 8am – 4pm, Day shift receiving and shipping  
CPG M-F 12am-8am, Nigh shift repacking of produce

6. Who will hold the primary business license?

Sunrise Cold Storage is the Master Lease Holder and Primary License

2. Sheet RA001: All notations ADDED

- a. Provide property owner contact information.
- 1. Name and phone number and/ or email address
- b. Provide applicant contact information
- 1. Name and phone number and/ or email address
- c. Include zoning district: Manufacturing Planned Development (MPD)
- d. Include APN
- e. Provide a clear and accurate Scope of Work.

1. Include all proposed work, if any. NONE

2. Include mechanical, electrical, and plumbing improvements, if any. NONE

3. Include any demolition work, if any. NONE

4. If no tenant improvements are proposed, identify so in the scope of work.  
NONE

5. Include proposed use of "cold storage facility." Added

f. Revise to identify height and materials of all existing fences, gates, and block walls.

Added

3. Off Street Parking and Loading:- Added

- a. Identify location of off-street parking stalls
- b. Identify number of off-street parking stalls provided. See parking
- c. Where is the off-street loading space?
  - 1. Identify location of off-street loading space
  - 2. Include dimensions

4. Elevations:

- a. Are any exterior tenant improvements proposed? NONE
  - 1. If so, identify on plans and scope of work.
  - b. Identify exterior colors and materials.

Cement Walls white with blue center stripe- Noted on Plans

*C Lawrence*

C Lawrence  
ASC Consultants Inc  
CFO/CIO

**Subject:** Site Pics

**From:** Mazi <mazi@cpgpacking.com>

**Date:** 12/11/2023, 1:07 PM

**To:** C Lawrence <carlos@ascfood.com>

**CC:** Johnny <johnny@cpgpacking.com>

Hi Carlos,

West view



North



South



East



6701 Wilson Ave.

North view



South view



East view



West View



Regards,  
Mazi Tahmasebi  
**CPG Core Packaging, LLC.**  
6701 Wilson Ave.  
Huntington Park, Ca 90001

# **PROJECT PLANS**

**EXHIBIT D**

**CASE NO. 2024-06 CUP**

# INDUSTRIAL AS-BUILT

APN 6009-038-042 CUP 2024-06

Zoning District-Manufacturing Planned Development (MPD)

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

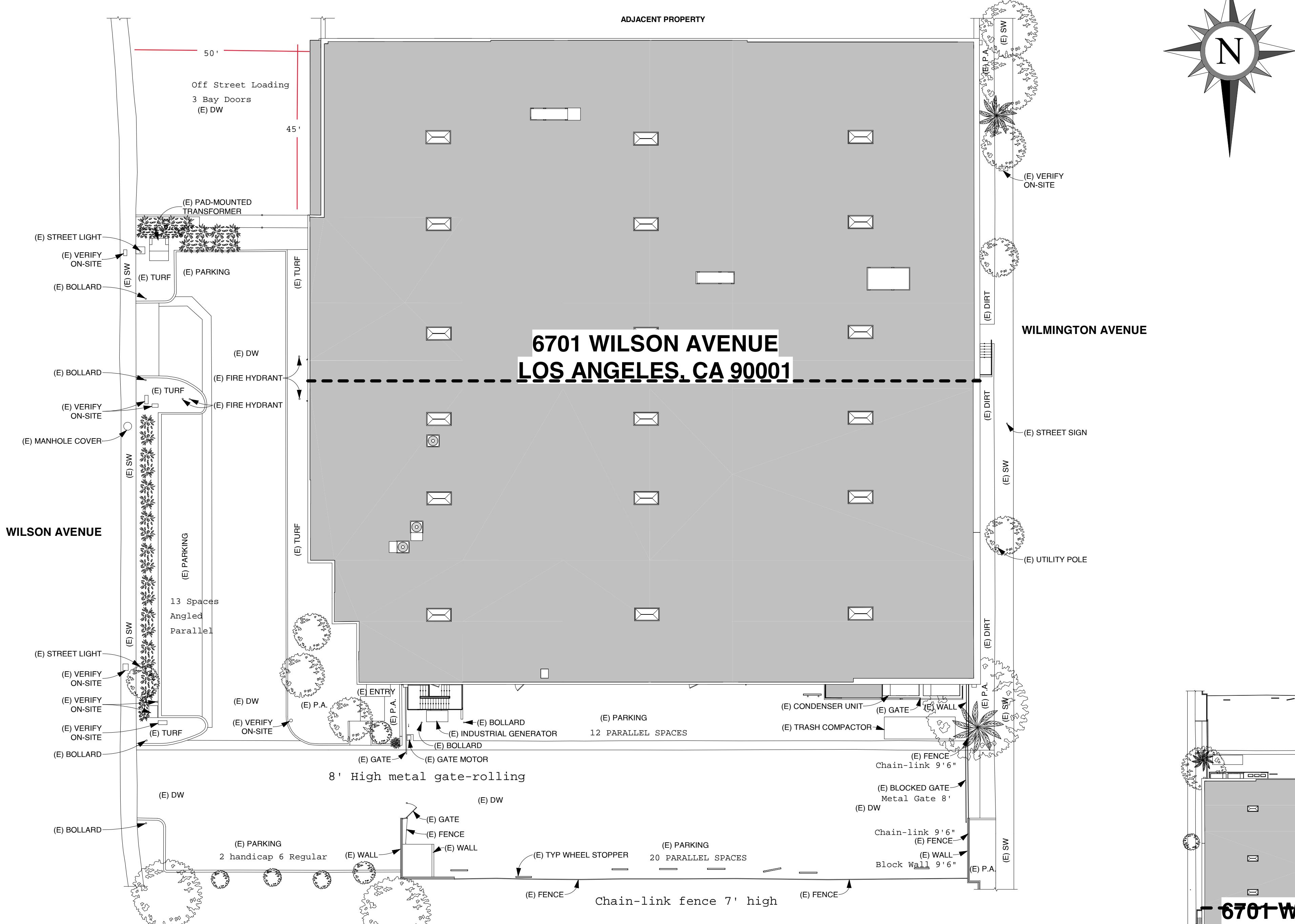
These Plans are for AS-BUILT

NO planned owner or tenant improvements planned.

Proposed Use  
Cold Storage as Built  
Dry Storage as Built  
Produce Repacking- New

CUP Applicant  
Sunrise Cold Storage  
Contact Rep: Georgina Murillo  
cuevamikey@aol.com

Property Owner  
Tony Antoci  
Contact Rep: Phillip De La Torre  
pdelatorre@SuperiorGrocers.com



1 [E] SITE PLAN - PROJECT NORTH

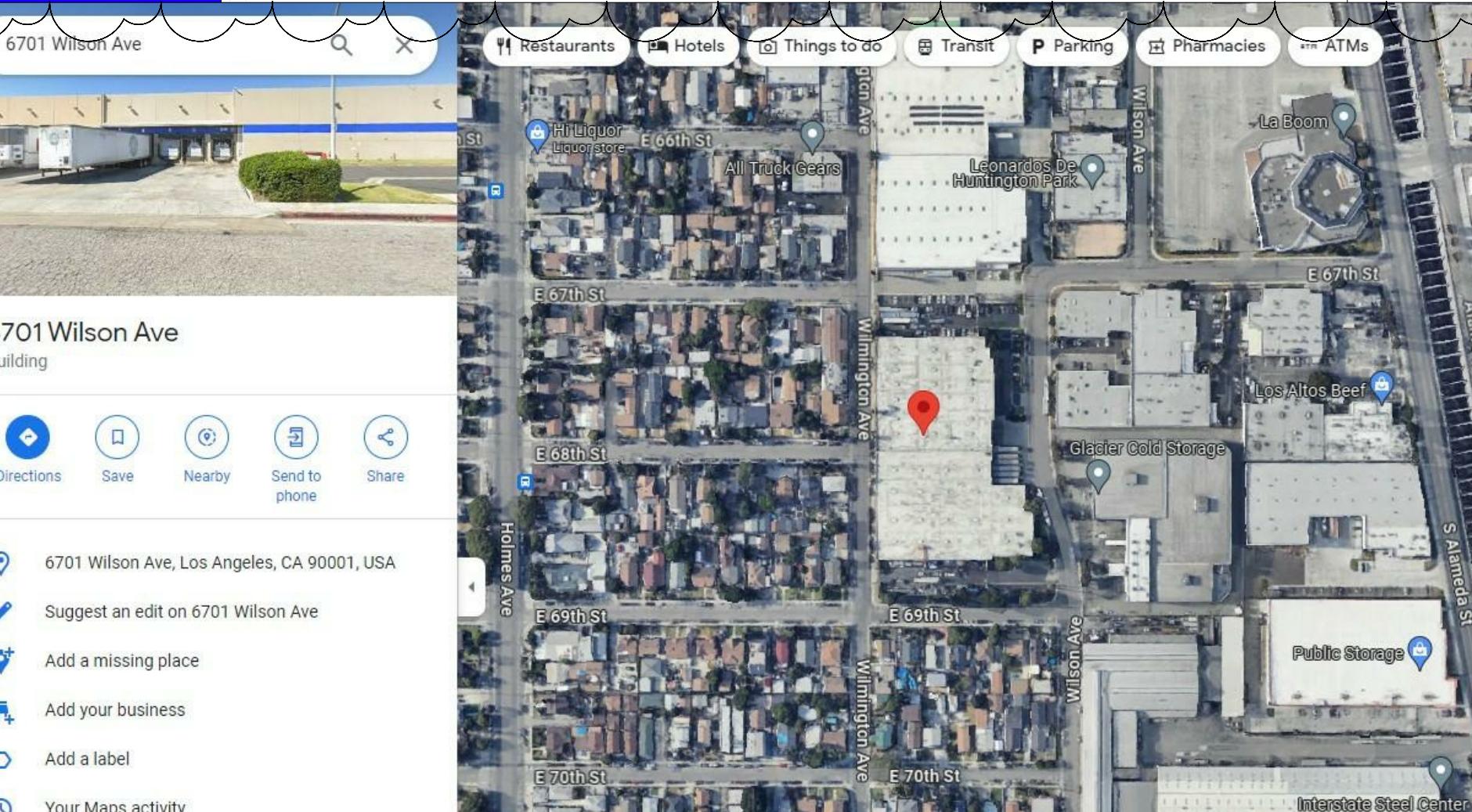
3/64" = 1'-0"

2 [E] SITE PLAN - TRUE NORTH

1" = 50'-0"

## SHEET INDEX

| SHEET NUMBER | SHEET NAME   | REVISION |
|--------------|--|----------|
| RA001        | (E) SITE PLAN AND SHEET INDEX                                | 9        |
| RA100        | (E) LEVEL 1 FLOOR PLAN                                       | 5        |
| RA101        | (E) LEVEL 1 FLOOR PLAN 1-1                                   | 2        |
| RA101.1      | (E) DIMENSIONED LEVEL 1 FLOOR PLAN 1-1                       | 2        |
| RA102        | (E) LEVEL 1 FLOOR PLAN 1-2                                   | 2        |
| RA102.1      | (E) DIMENSIONED LEVEL 1 FLOOR PLAN 1-2                       | 2        |
| RA103        | (E) LEVEL 2 FLOOR PLAN                                       |          |
| RA103.1      | (E) DIMENSIONED LEVEL 2 FLOOR PLAN                           |          |
| RA104        | (E) LEVEL 1 REFLECTED CEILING PLAN 1-1                       |          |
| RA105        | (E) LEVEL 1 REFLECTED CEILING PLAN 1-2                       |          |
| RA106        | (E) LEVEL 2 REFLECTED CEILING PLAN                           |          |
| RA107        | (E) LEVEL 1 PLUMBING PLAN 1-1                                | 9        |
| RA108        | (E) LEVEL 1 PLUMBING PLAN 1-2                                | 9        |
| RA109        | (E) LEVEL 2 PLUMBING PLAN                                    | 9        |
| RA110        | (E) LEVEL 1 EQUIPMENT PLAN 1-1                               | 9        |
| RA111        | (E) LEVEL 1 EQUIPMENT PLAN 1-2                               | 9        |
| RA112        | (E) LEVEL 2 EQUIPMENT PLAN                                   |          |
| RA201        | (E) EXTERIOR ELEVATIONS - PROJECT SOUTH                      |          |
| RA202        | (E) EXTERIOR ELEVATIONS - PROJECT EAST AND WEST              |          |
| RA401        | (E) INTERIOR ELEVATION FLOOR PLAN REFERENCE LEVEL 1          |          |
| RA402        | (E) INTERIOR ELEVATIONS 1-1 TO 1-5                           |          |
| RA403        | (E) INTERIOR ELEVATIONS 1-6 TO 1-9                           |          |
| RA404        | (E) INTERIOR ELEVATIONS 1-10 TO 1-12                         |          |
| RA405        | (E) INTERIOR ELEVATIONS 1-13 TO 1-13.2                       |          |
| RA406        | (E) INTERIOR ELEVATIONS 1-14 TO 1-15                         |          |
| RA407        | (E) INTERIOR ELEVATIONS 1-16 TO 1-18                         |          |
| RA408        | (E) INTERIOR ELEVATIONS 1-19 TO 1-21                         |          |
| RA409        | (E) INTERIOR ELEVATIONS 1-22 TO 1-25                         |          |
| RA410        | (E) INTERIOR ELEVATIONS 1-26 TO 1-27                         |          |
| RA411        | (E) INTERIOR ELEVATIONS 1-28 TO 1-29                         |          |
| RA412        | (E) INTERIOR ELEVATIONS 1-30 TO 1-31                         |          |
| RA413        | (E) INTERIOR ELEVATIONS 1-32 TO 1-33                         |          |
| RA601        | (E) GROSS BUILDING AREA AND (E) WINDOW AND (E) DOOR SCHEDULE |          |
| RA602        | (E) EQUIPMENT SCHEDULE AND FINISH SCHEDULE                   |          |



## (E) ABBREVIATIONS

| Abbreviation | Description                               |
|--------------|---|
| (E)          | EXISTING                                  |
| B            | BASE                                      |
| B.O.B.       | BOTTOM OF BEAM                            |
| DN           | DOWN                                      |
| DW           | DRIVEWAY/DISHWASHER                       |
| ELEC         | ELECTRIC                                  |
| F.S.         | FLOOR SLOPE                               |
| HVAC         | HEATING, VENTILATION AND AIR CONDITIONING |
| MW           | MICROWAVE                                 |
| P.A.         | PLANTING AREA                             |
| R            | RISER                                     |
| REFR         | REFRIGERATOR                              |
| S.O.         | SKYLIGHT OPENING                          |
| STOR         | STORAGE                                   |
| SW           | SIDEWALK                                  |
| T.O. ROOF    | TOP OF ROOF                               |
| T.O.C.H.     | TOP OF CEILING HEIGHT                     |
| T.O.F.F.     | TOP OF FINISH FLOOR                       |
| TYP          | TYPICAL                                   |
| V.M.         | VENDING MACHINE                           |
| W.H.         | WATER HEATER                              |

[E] SITE PLAN AND SHEET INDEX

PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

Scale AS INDICATED

RA001

REVISIONS

| No. | Description                               | Date     |
|-----|---|----------|
| 5   | Floor plan scale of 1/16" has been added. | 05-09-24 |
| 6   | Equipment schedule has been updated.      | 05-09-24 |
| 7   | Cold and hot water diagram was added.     | 05-15-24 |
| 8   | Equipment schedule was updated.           | 05-15-24 |
| 9   | Equipment labels were updated.            | 05-22-24 |

**DIMENSIONS**<sup>®</sup>

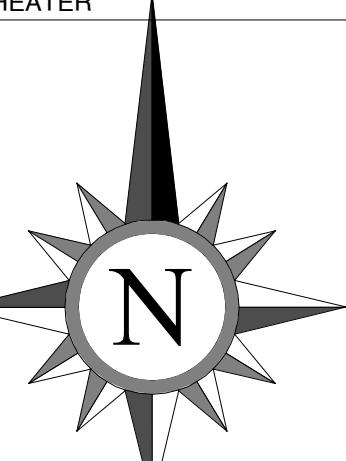
DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE PURPOSES ONLY. THESE DRAWINGS ARE NOT FOR CONSTRUCTION DOCUMENTS. ALL MEASUREMENTS, DIMENSIONS, AND SURVEYS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLANS ARE NOT CIVIL ENGINEERING SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

INDUSTRIAL AS-BUILT

MAY 22, 2024

TIME STAMP:

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

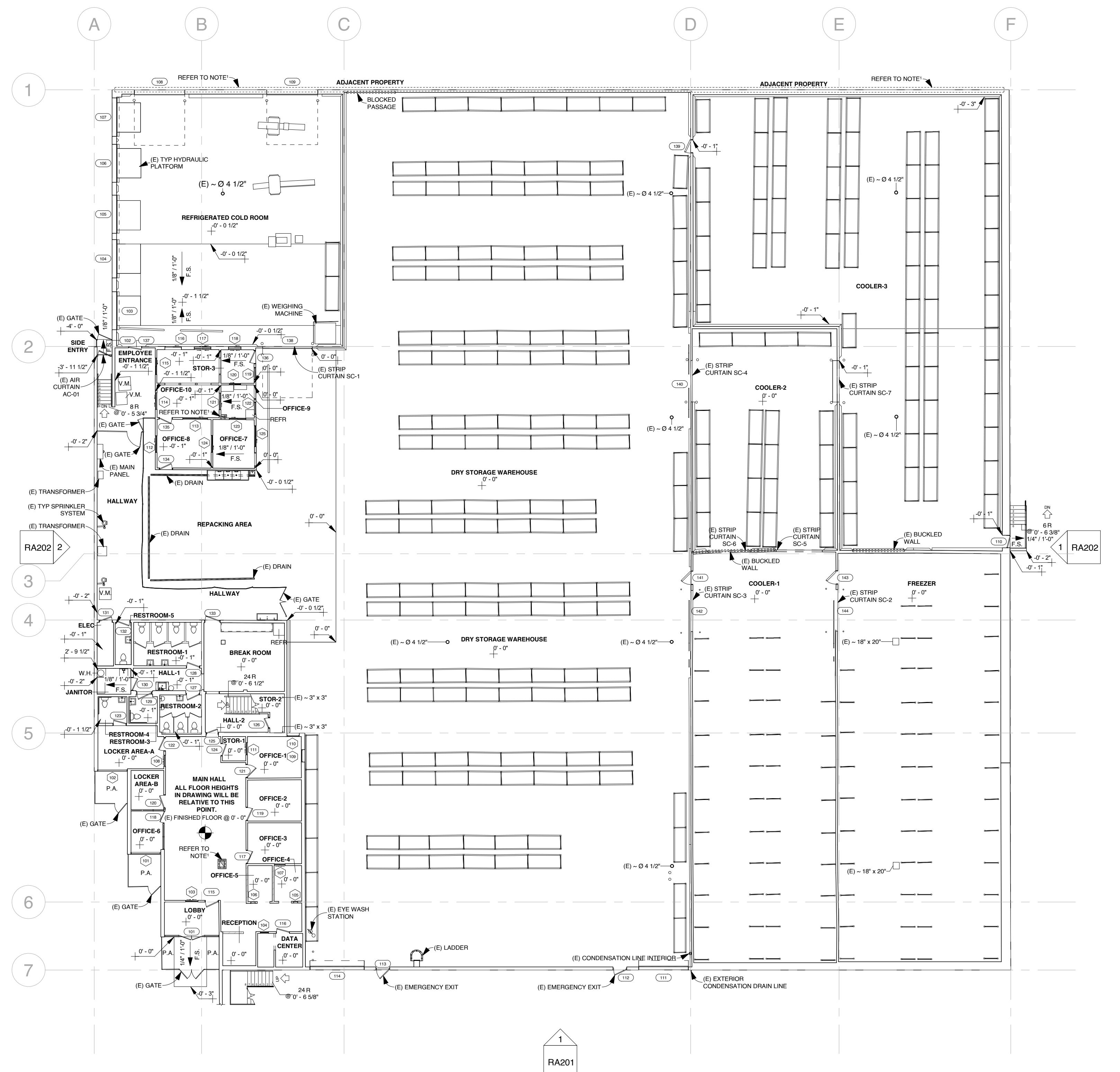


| No. | Description                               | Date     |
|-----|---|----------|
| 5   | Floor plan scale of 1/16" has been added. | 05-09-24 |
|     |   |          |
|     |   |          |
|     |   |          |
|     |   |          |
|     |   |          |
|     |   |          |
|     |   |          |

| WALL LEGEND |              |
|-------------|--------------|
|             | (E) WALL     |
|             | (E) LOW WALL |

## NOTES\*:

- WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
- CEILING SLOPES, ELEVATIONS AND/OR EXISTENCE MUST BE VERIFIED ON-SITE DUE TO LACK OF INFORMATION FOR SHOWN AREA.
- STRUCTURAL STEEL ELEMENTS REPRESENT AN APPROXIMATE SIZE AND TYPE FOR SPECIFIC ELEMENT TYPES PLEASE VERIFY ON-SITE.
- THE PURLINS ARE NOT SHOWN IN THE REFLECTED CEILING PLAN BECAUSE THEY ARE HIDDEN BEHIND A COVERING
- \* THE AIR CURTAIN UNITS WERE NOT INSTALLED DURING THE SITE VISIT. PLEASE VERIFY ON-SITE. AFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.



1 [E] LEVEL 1 FLOOR PLAN  
1/16" = 1'-0"

**DIMENSIONS**<sup>®</sup>

DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN AND CONSTRUCTION USE ONLY. DRAWINGS DO NOT REFLECT FOR CONSTRUCTION DOCUMENTS. ALL MEASUREMENTS, LINEAR AND AREA, ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLANS IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:

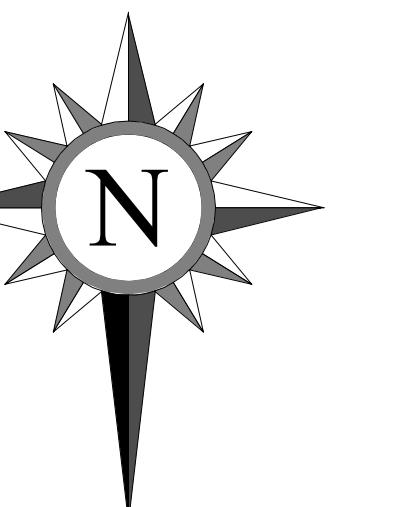
[E] LEVEL 1 FLOOR  
PLAN

PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

Scale 1/16" = 1'-0"



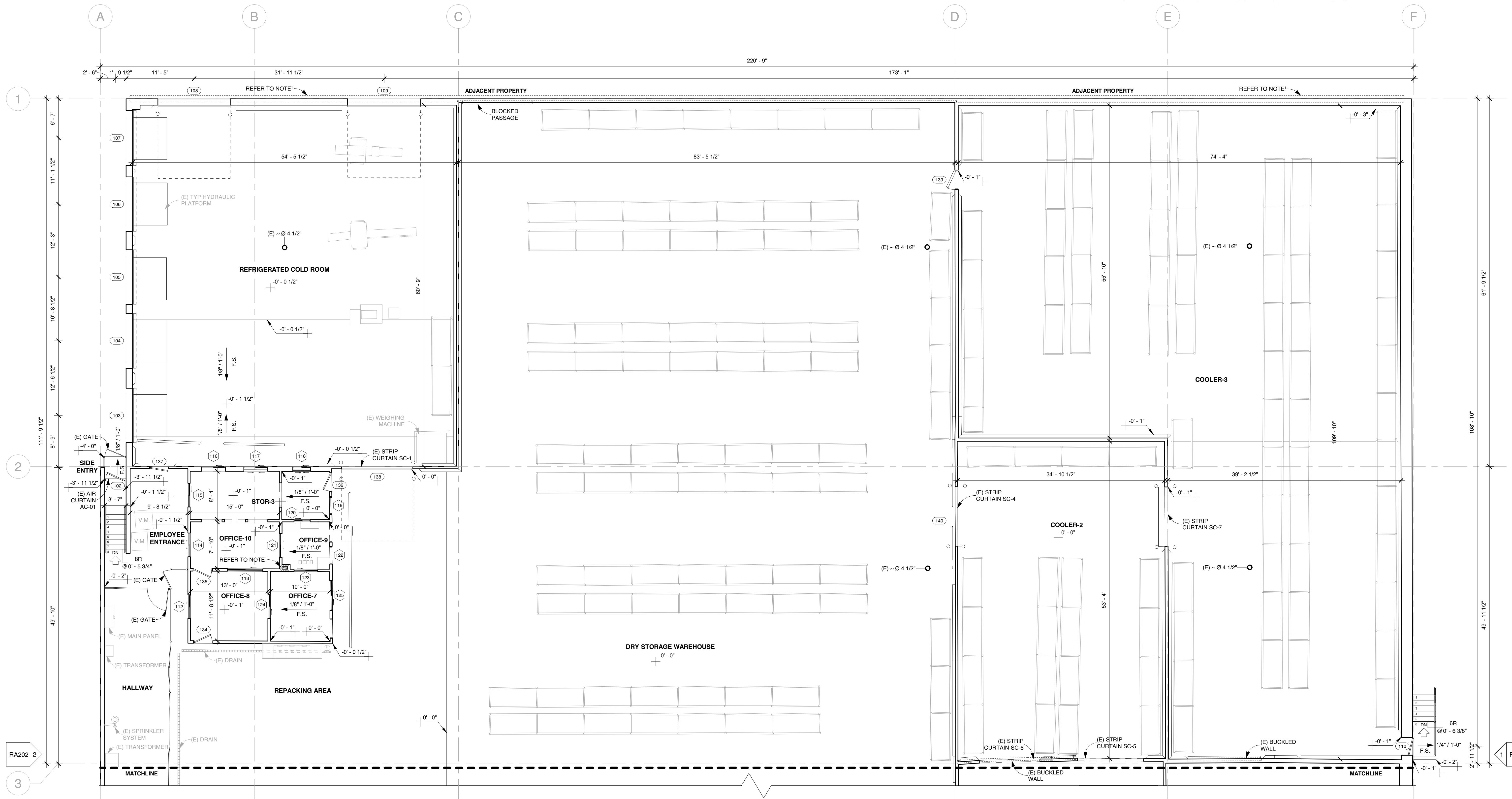
RA100



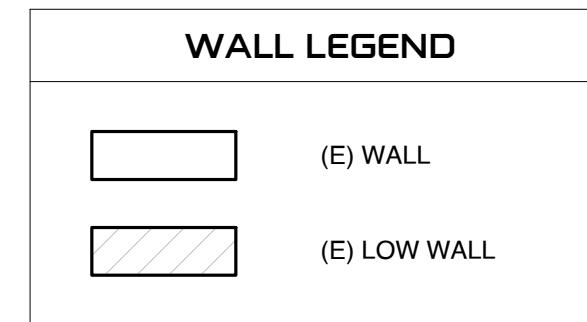
| No. | Description                      | Date     |
|-----|----------------------------------|----------|
| 2   | Air curtain locations were added | 03-27-24 |

| WALL LEGEND |              |
|-------------|--------------|
|             | (E) WALL     |
|             | (E) LOW WALL |

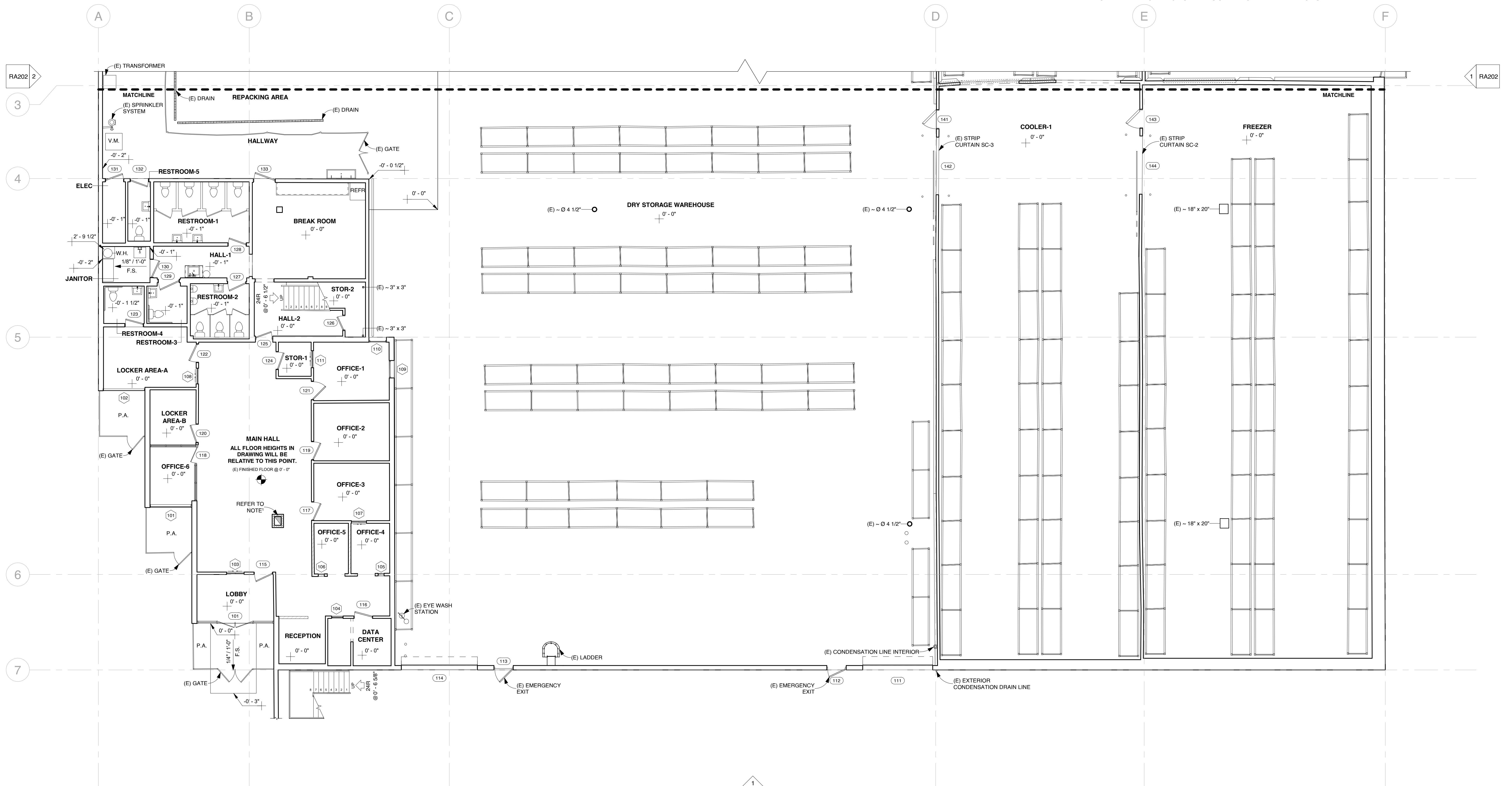
NOTES\*:  
1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.  
2. CEILING SLOPES, ELEVATIONS AND/OR EXISTENCE MUST BE VERIFIED ON-SITE DUE TO LACK OF INFORMATION FOR SHOWN AREA.  
3. STRUCTURAL STEEL ELEMENTS REPRESENT AN APPROXIMATE SIZE AND TYPE FOR SPECIFIC ELEMENT TYPES PLEASE VERIFY ON-SITE.  
4. THE PURLINS ARE NOT SHOWN IN THE REFLECTED CEILING PLAN BECAUSE THEY ARE HIDDEN BEHIND A COVERING.  
5. THE AIR CURTAIN UNITS WERE NOT INSTALLED DURING THE SITE VISIT. PLEASE VERIFY ON-SITE. AFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.



| No. | Description                      | Date     |
|-----|----------------------------------|----------|
| 2   | Air curtain locations were added | 03-27-24 |



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## 1 [E] LEVEL 1 FLOOR PLAN 1-2

1/8" = 1'-0"

## DIMENSIONS®

DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR CONSTRUCTION DOCUMENTS. ALL DIMENSIONS, AREAS, AND VOLUMES ARE APPROXIMATE AND ARE FOR CONSTRUCTION DOCUMENTS ONLY. ALL MEASUREMENTS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLANS IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

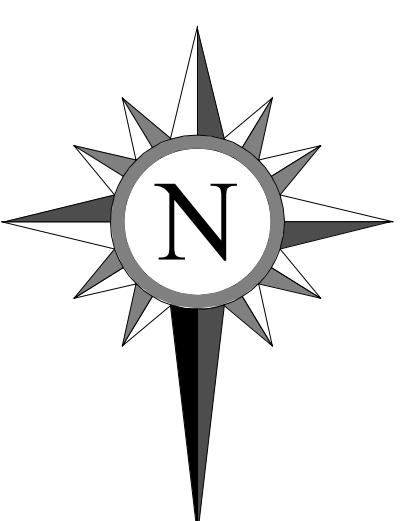
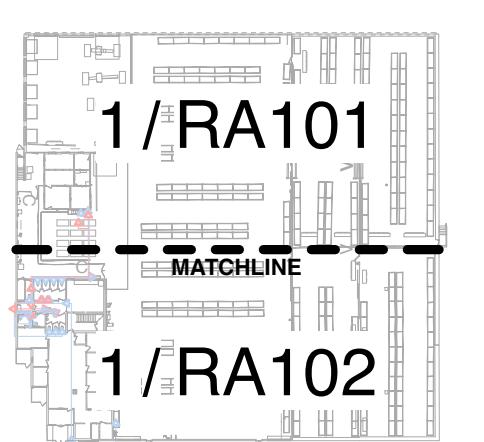
[E] LEVEL 1 FLOOR  
PLAN 1-2

PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

Scale AS INDICATED



RA102

# DIMENSIONS<sup>®</sup>

THE DRAWINGS PROVIDED BY DRAWMAN ARE FOR DESIGN PURPOSES ONLY. DRAWINGS DO NOT REFLECT CONSTRUCTION DRAWINGS AND SHALL NOT BE USED FOR CONSTRUCTION DOCUMENTS. ALL MEASUREMENTS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLAN IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

# INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

3-DIMENSIONED  
LEVEL 1 FLOOR  
PLAN 1-2

PROJECT # 1004-12180

**PAPER SIZE**

ale AS INDICATED

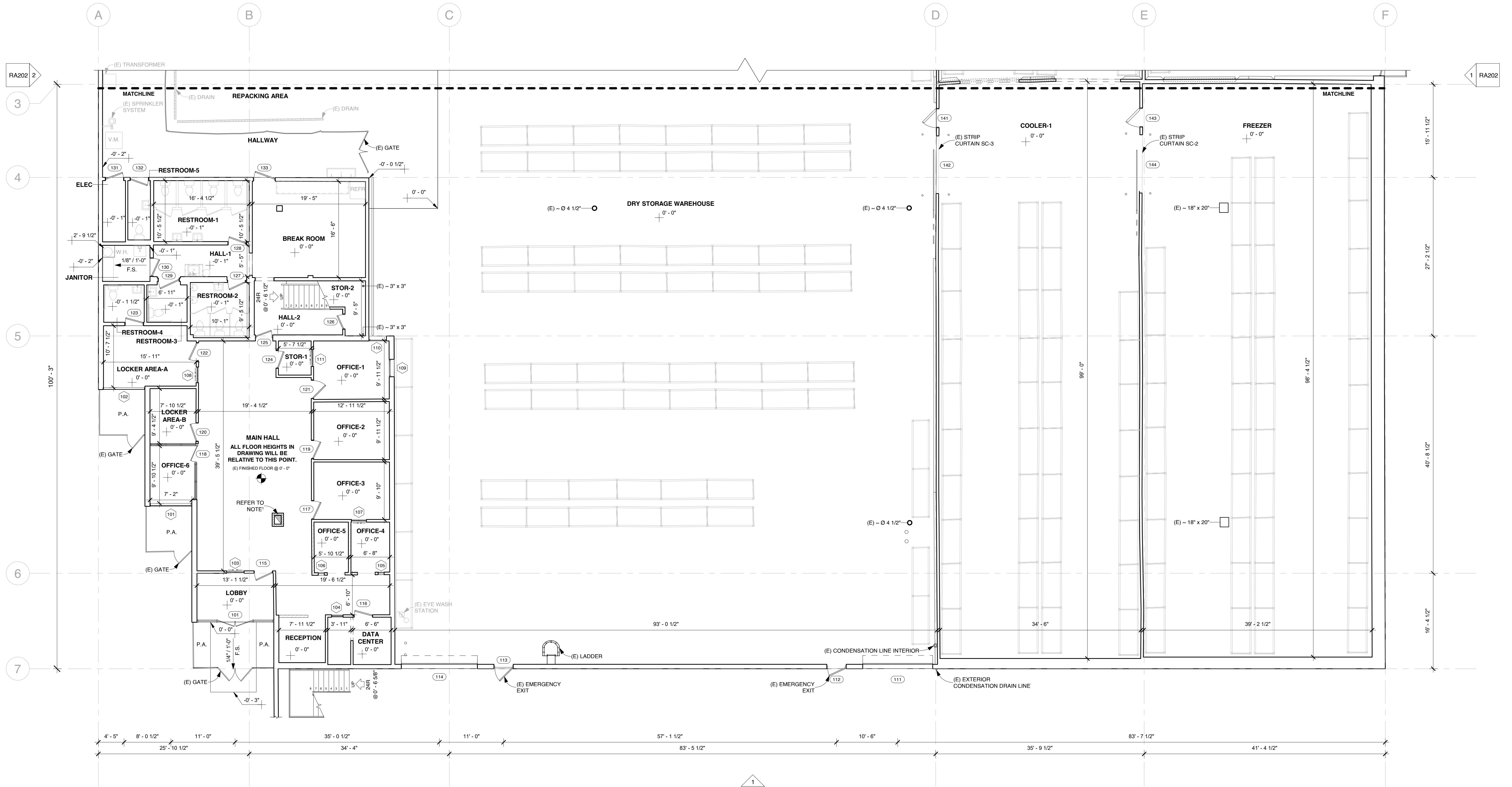
DATA

RA102.

**NOTES\*:**

1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
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\* AFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.



# 1 (E) DIMENSIONED LEVEL 1 FLOOR PLAN 1-2

1/8" = 1'-0"

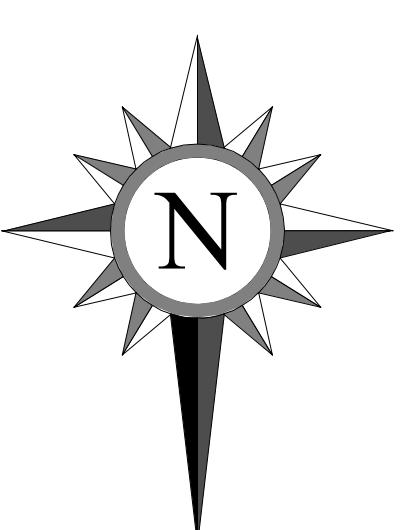
10 - 10

1  
RA201

1/RA101.1

MATCHLINE

1/RA102.1



RA102.



# REVISIONS

**DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN PURPOSES ONLY. DRAWINGS DO NOT DEFECT**

DESIGN PURPOSES ONLY. DRAWINGS DO NOT REFLECT CONSTRUCTION DRAWINGS AND SHALL NOT BE USED FOR CONSTRUCTION DOCUMENTS. ALL MEASUREMENTS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLAN IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

# INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

TIME STAMP: MAY 22 2024

# DETAILED DIMENSIONED LEVEL 2 FLOOR PLAN

PROJECT # 1004-1218

to 05-22-24

## PAPER SIZE

ale AS INDICATE

A. A. Al-Subaihi

**NOTES\*:**

1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
2. CEILING SLOPES, ELEVATIONS AND/OR EXISTENCE MUST BE VERIFIED ON-SITE DUE TO LACK OF INFORMATION FOR SHOWN AREA.
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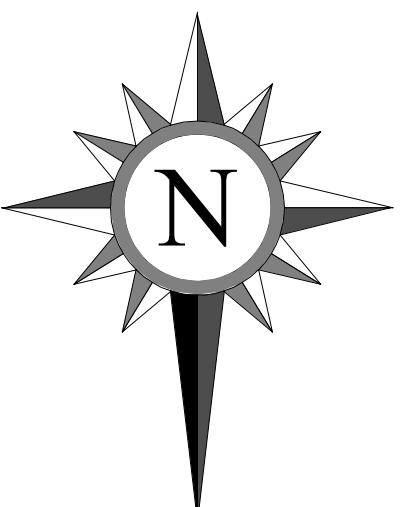
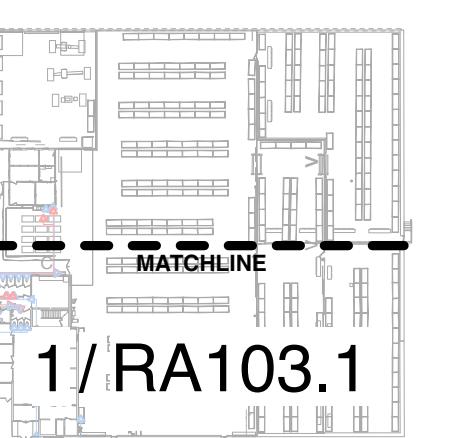
\* AFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.

# WALL LEGEND

# 1 (E) DIMENSIONED LEVEL 2 FLOOR PLAN

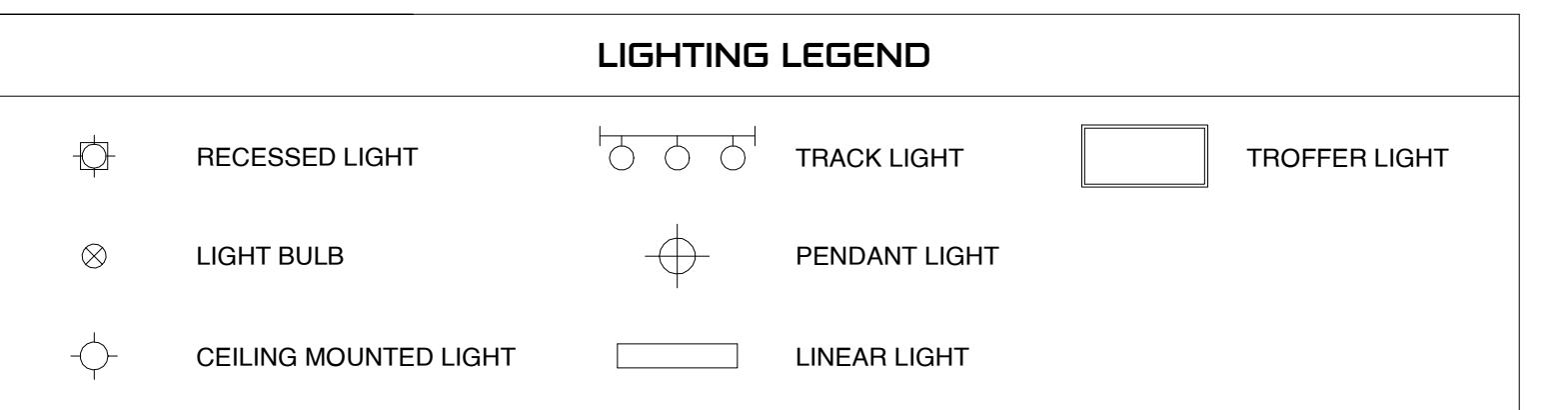
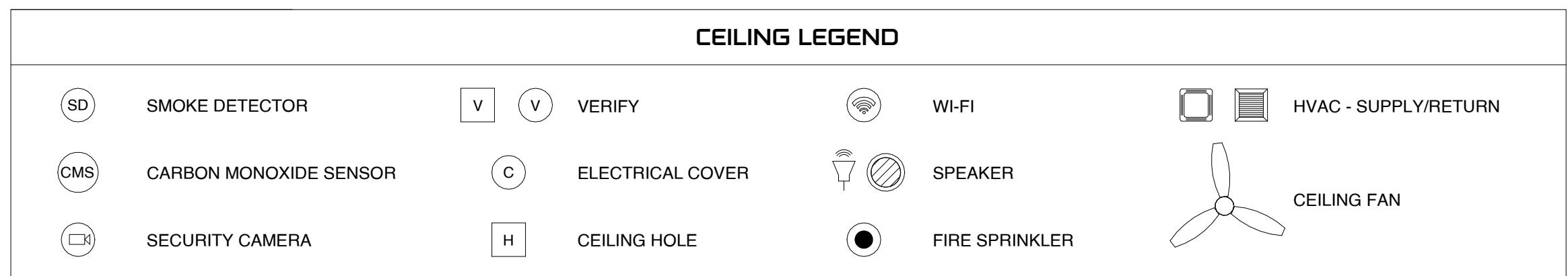
1/8" = 1'-0"

1  
A201



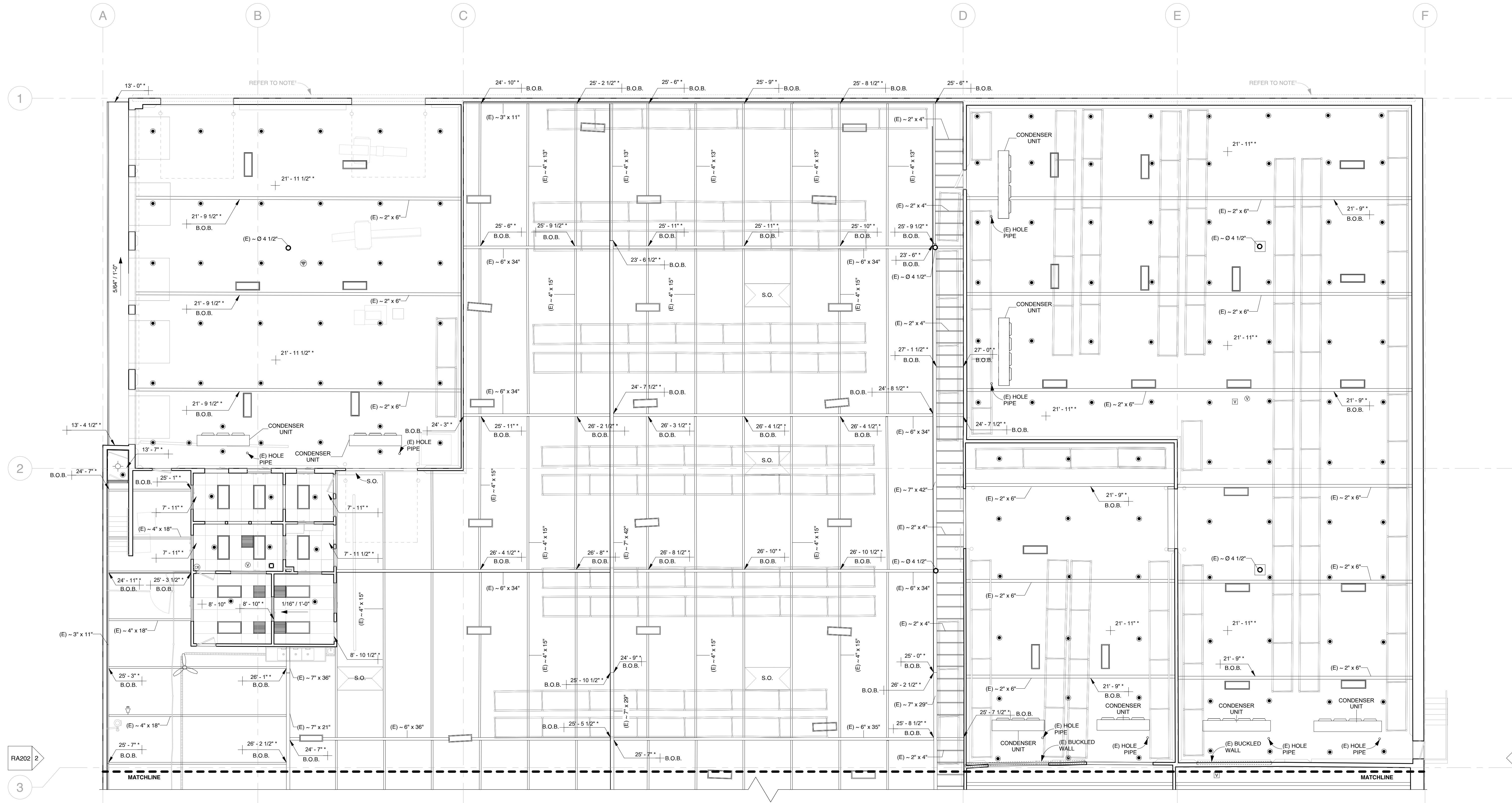
RA103.1

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |



**NOTES:**

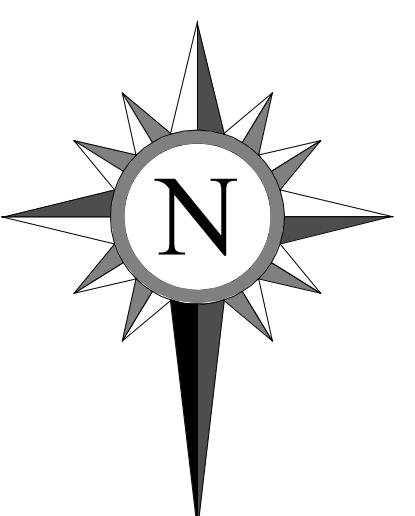
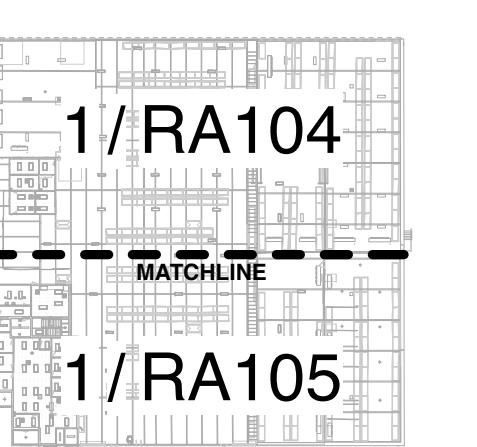
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### 1 [E] LEVEL 1 REFLECTED CEILING PLAN 1-1

1/8" = 1'-0"

| WALL LEGEND |              |
|-------------|--------------|
|             | (E) WALL     |
|             | (E) LOW WALL |



**DIMENSIONS**

DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR CONSTRUCTION DOCUMENTS. ALL DIMENSIONS AND SURVEYS ARE NOT FOR CONFIRMED DRAWINGS. SITE PLANS NOT FOR CIVIL ENGINEERING SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

**INDUSTRIAL AS-BUILT**

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:

[E] LEVEL 1  
REFLECTED  
CEILING PLAN 1-1

PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

Scale AS INDICATED

**RA104**

# DIMENSIONS<sup>®</sup>

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# INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

100  
הנער

# CEILING PLAN 1-2

## REFLECTED LEVEL 1

TIME STA

PROJECT # 1004-1218

to 05-22-24

## PAPER SIZE

ale AS INDICATE

## CEILING LEGEND

CEILING LEGEND

SD SMOKE DETECTOR V VERIFY WI-FI HVAC - SUPPLY/RETURN

CMS CARBON MONOXIDE SENSOR C ELECTRICAL COVER SPEAKER

SECURITY CAMERA H CEILING HOLE FIRE SPRINKLER CEILING FAN

## LIGHTING LEGEND

**LIGHTING LEGEND**

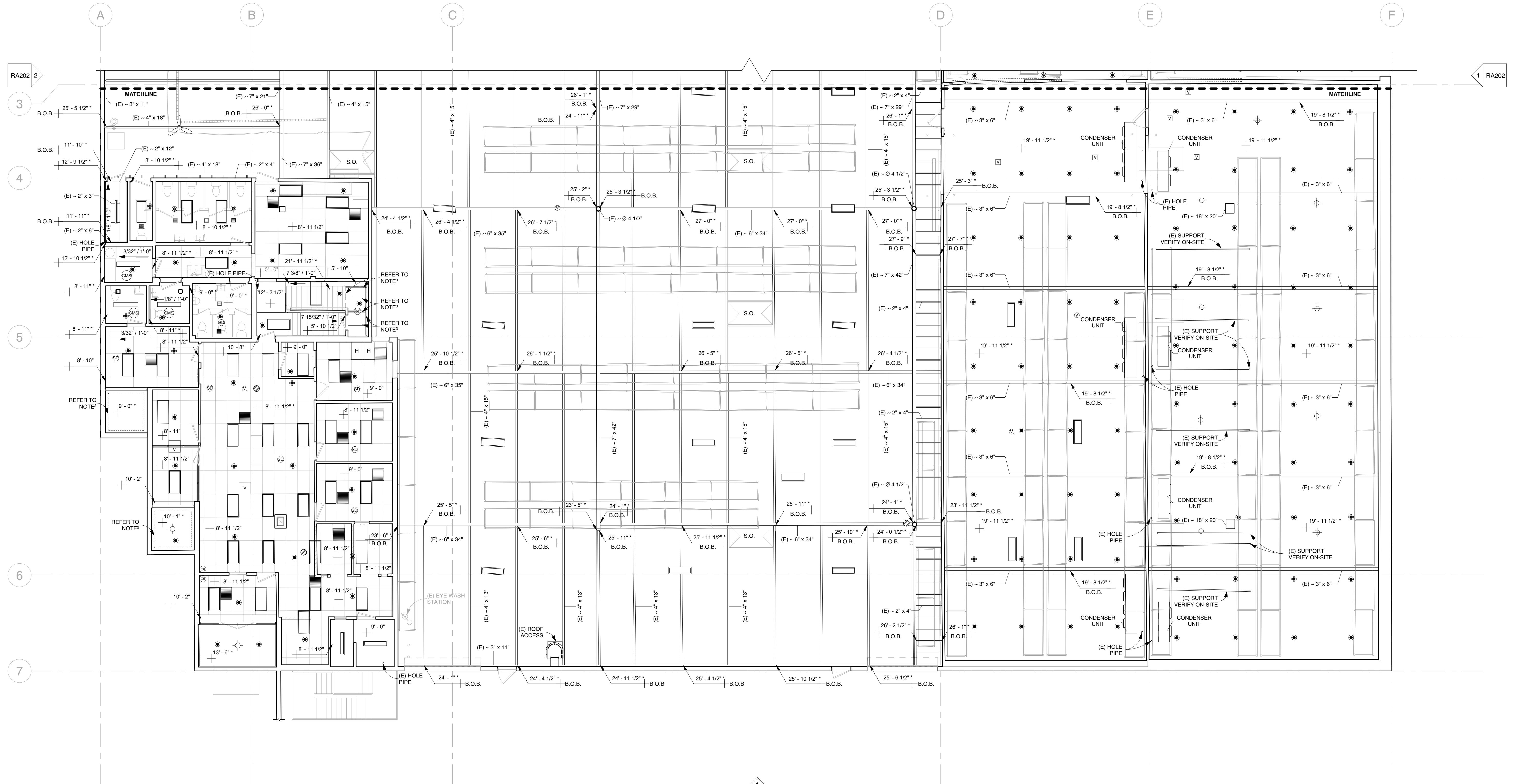
RECESSED LIGHT      TRACK LIGHT      TROFFER LIGHT

LIGHT BULB      PENDANT LIGHT

CEILING MOUNTED LIGHT      LINEAR LIGHT

## NOTES\*

ALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.  
CEILING SLOPES, ELEVATIONS AND/OR EXISTENCE MUST BE VERIFIED ON-SITE DUE TO LACK OF  
INFORMATION FOR SHOWN AREA.  
STRUCTURAL STEEL ELEMENTS REPRESENT AN APPROXIMATE SIZE AND TYPE FOR SPECIFIC  
ELEMENT TYPES PLEASE VERIFY ON-SITE.  
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BENEATH A COVERING.  
THE AIR CURTAIN UNITS WERE NOT INSTALLED DURING THE SITE VISIT. PLEASE VERIFY ON-SITE.  
OFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH  
LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.



1 (E) LEVEL 1 REFLECTED CEILING PLAN 1-2

**1/8" = 1'-0"**

WALL LEEDEN



(E) WALL



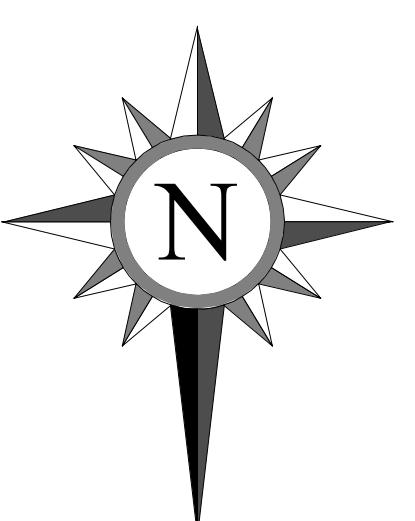
(E) LOW WALL

1/ RA104

MATCHLINE

1/ RA105

The image shows a detailed architectural floor plan of two adjacent units, RA104 and RA105. The plan includes various rooms, walls, and structural elements. A horizontal dashed line, labeled 'MATCHLINE' in the center, spans across both units. The text '1/ RA104' is positioned in the upper left area, and '1/ RA105' is in the lower left area. The entire image is set against a light gray background.



## PA10E

# RA105

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

## CEILING LEGEND

|     |                        |   |                  |                |                      |
|-----|------------------------|---|------------------|----------------|----------------------|
| SD  | SMOKE DETECTOR         | V | VERIFY           | Wi-Fi          | HVAC - SUPPLY/RETURN |
| CMS | CARBON MONOXIDE SENSOR | C | ELECTRICAL COVER | SPEAKER        |                      |
| SEC | SECURITY CAMERA        | H | CEILING HOLE     | FIRE SPRINKLER | CEILING FAN          |

## LIGHTING LEGEND

|                       |               |               |
|-----------------------|---------------|---------------|
| RECESSED LIGHT        | TRACK LIGHT   | TROFFER LIGHT |
| LIGHT BULB            | PENDANT LIGHT |               |
| CEILING MOUNTED LIGHT | LINEAR LIGHT  |               |

## NOTES:

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## DIMENSIONS®

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

[E] LEVEL 2  
REFLECTED  
CEILING PLAN

PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

Scale AS INDICATED

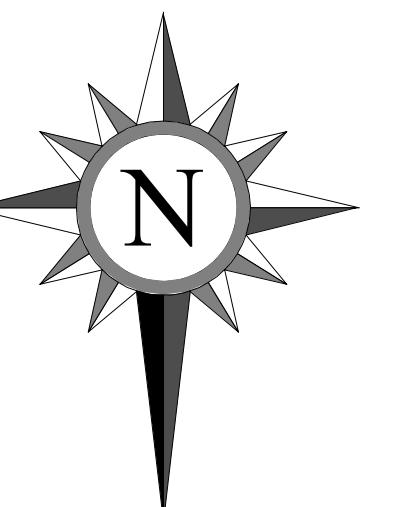
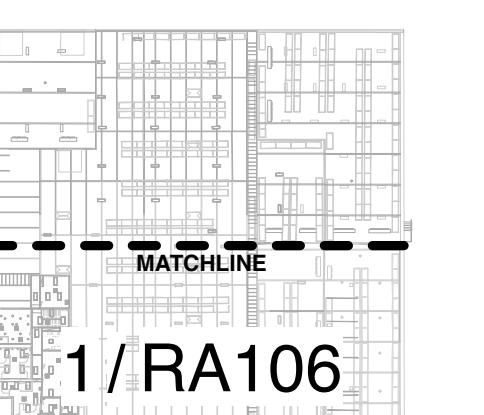
RA106

## 1 [E] LEVEL 2 REFLECTED CEILING PLAN

1/8" = 1'-0"

RA201

| WALL LEGEND  |  |
|--------------|--|
| [E] WALL     |  |
| [E] LOW WALL |  |



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# INDUSTRIAL AS-BUILT

671 WILSON AVENUE  
LOS ANGELES, CA 90001

TIME STAMP: MAY 22, 2024

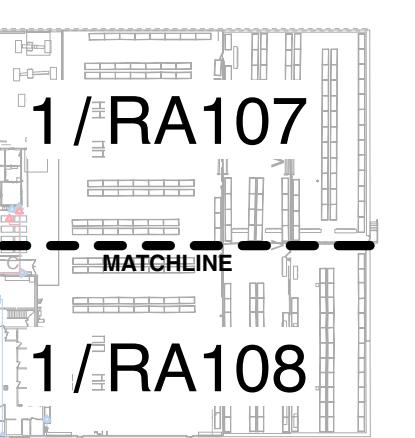
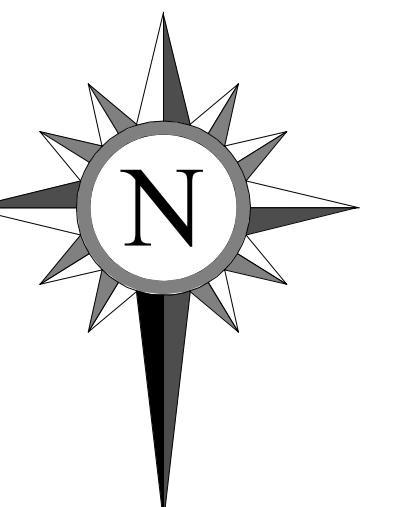
# PLUMBING PLAN 1-1 (E) LEVEL 1

PROJECT # 1004-1218

## PAPER SIZE

ale AS INDICATE

# RA107



## WALL LEGEND

**PLUMBING LEGEND**

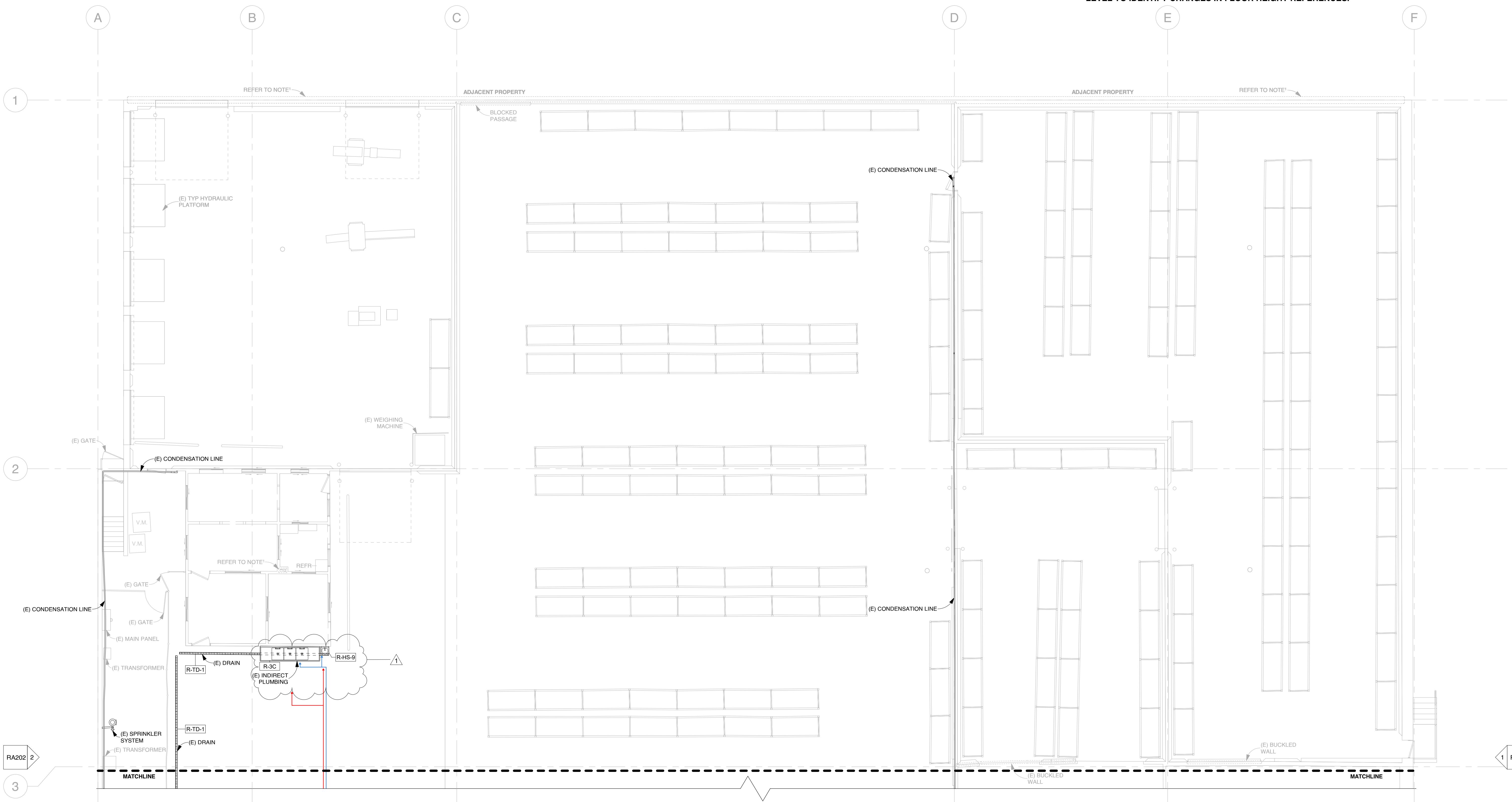
3 Comp Hand Sink      Mop Sink      Kitchen Sink      Toilet      Cold Water

3 Comp Sink      Hand Sink      Eye wash station      Urinal      Hot Water

NOTE: COLD AND HOT WATER NETWORK DIAGRAMS ON PLANS INDICATE FLOW, NOT EXACT PIPE LOCATION OR DIMENSIONS. PLEASE VERIFY ON-SITE.

**NOTES\*:**

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# 1 (E) LEVEL 1 PLUMBING PLAN 1-1

**1/8" = 1'-0"**

**1/8" = 1'-0"**

1/8" = 1'-0"

| Description  | Date       |
|--|------------|
| Type of dishwasher drainage was specified            | 03-27-2023 |
| Mop sink, backflow and condensate line were located. | 03-27-2023 |
| Equipment labels were updated.                       | 05-22-2023 |
|  |            |
|  |            |
|  |            |
|  |            |

# DIMENSIONS<sup>®</sup>

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# INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

10

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

# (E) LEVEL 1 PLUMBING PLAN 1-2

PROJECT # 1004-12180

05-22-2

## PAPER SIZE

ale AS INDICATE

Digitized by srujanika@gmail.com

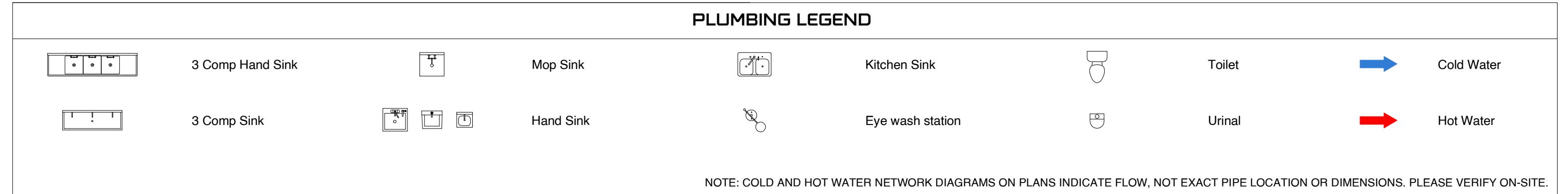
RA108

# RA108

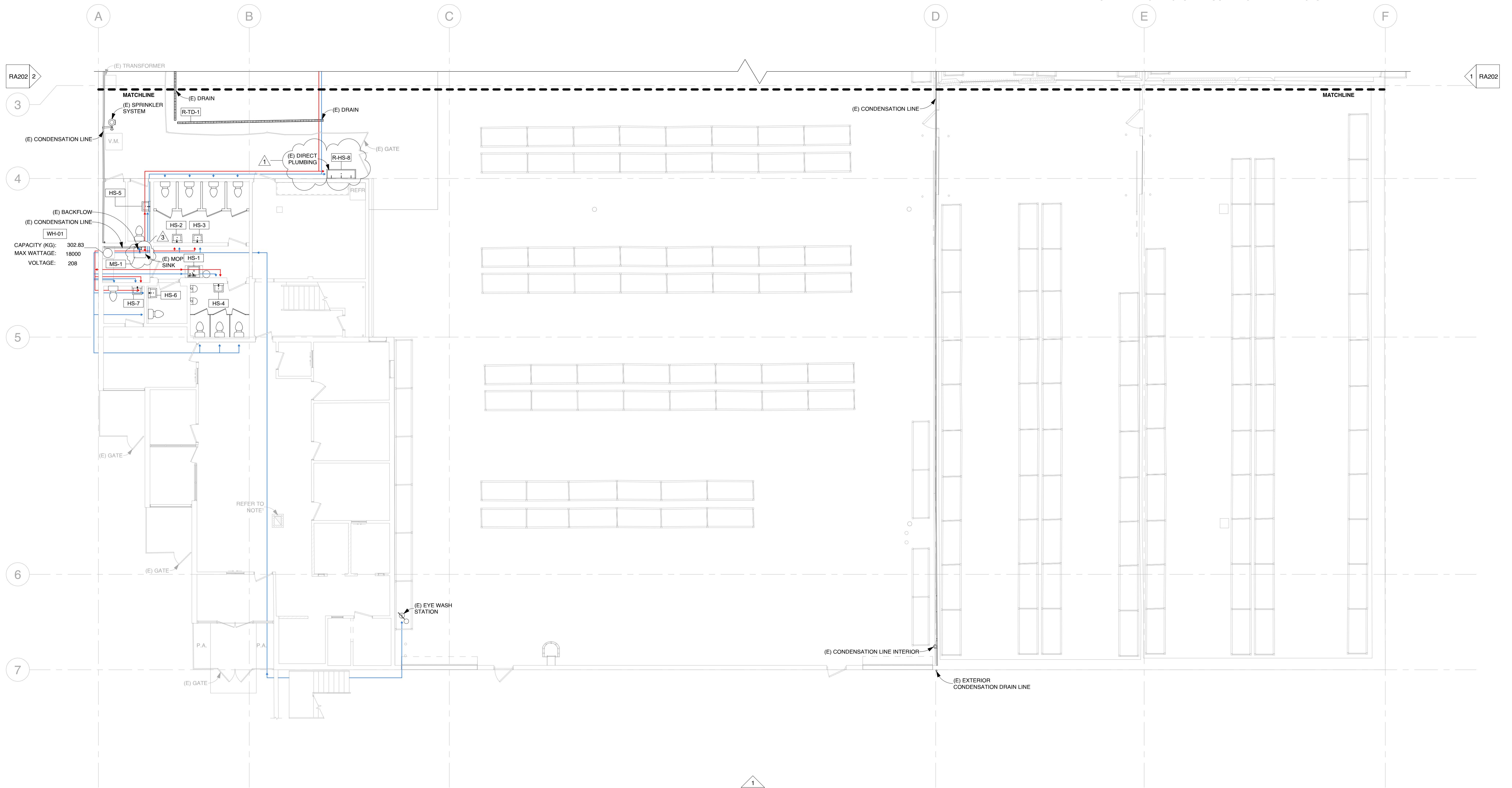
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PLUMBING LEGEND



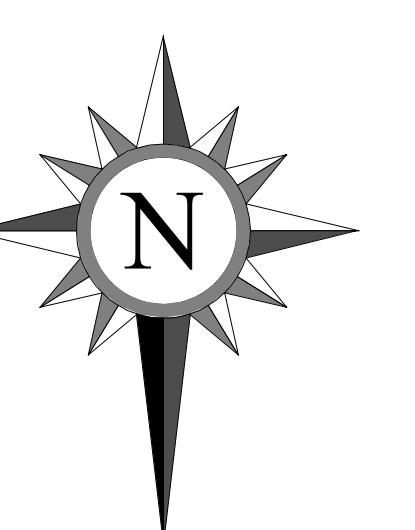
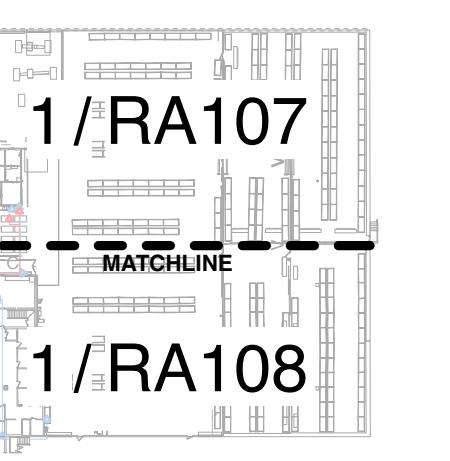
NOTE: COLD AND HOT WATER NETWORK DIAGRAMS ON PLANS INDICATE FLOW, NOT EXACT PIPE LOCATION OR DIMENSIONS. PLEASE VERIFY ON-SITE.



# 1 (E) LEVEL 1 PLUMBING PLAN 1-2

1/8" = 1'-0"

170 - 1-0



# RA108

## REVISIONS

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

## DIMENSIONS®

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

[E] LEVEL 2  
PLUMBING PLAN

TIME STAMP:

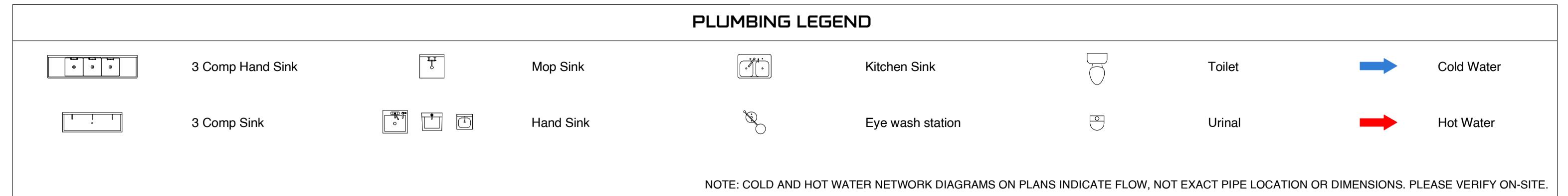
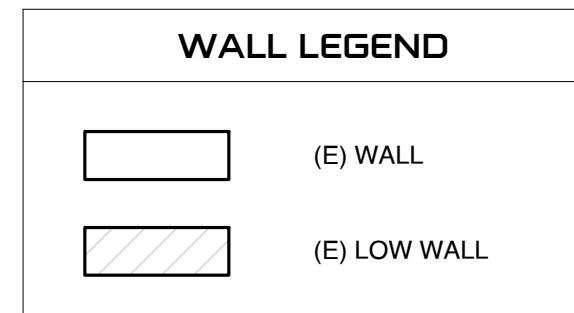
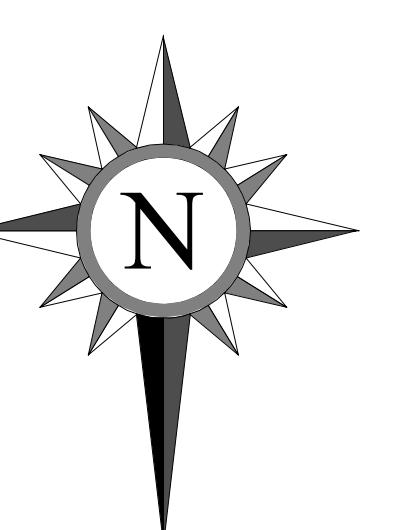
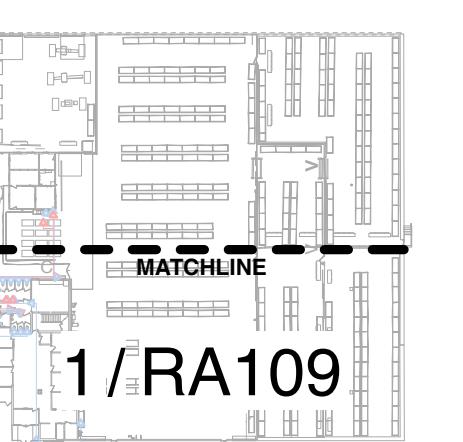
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

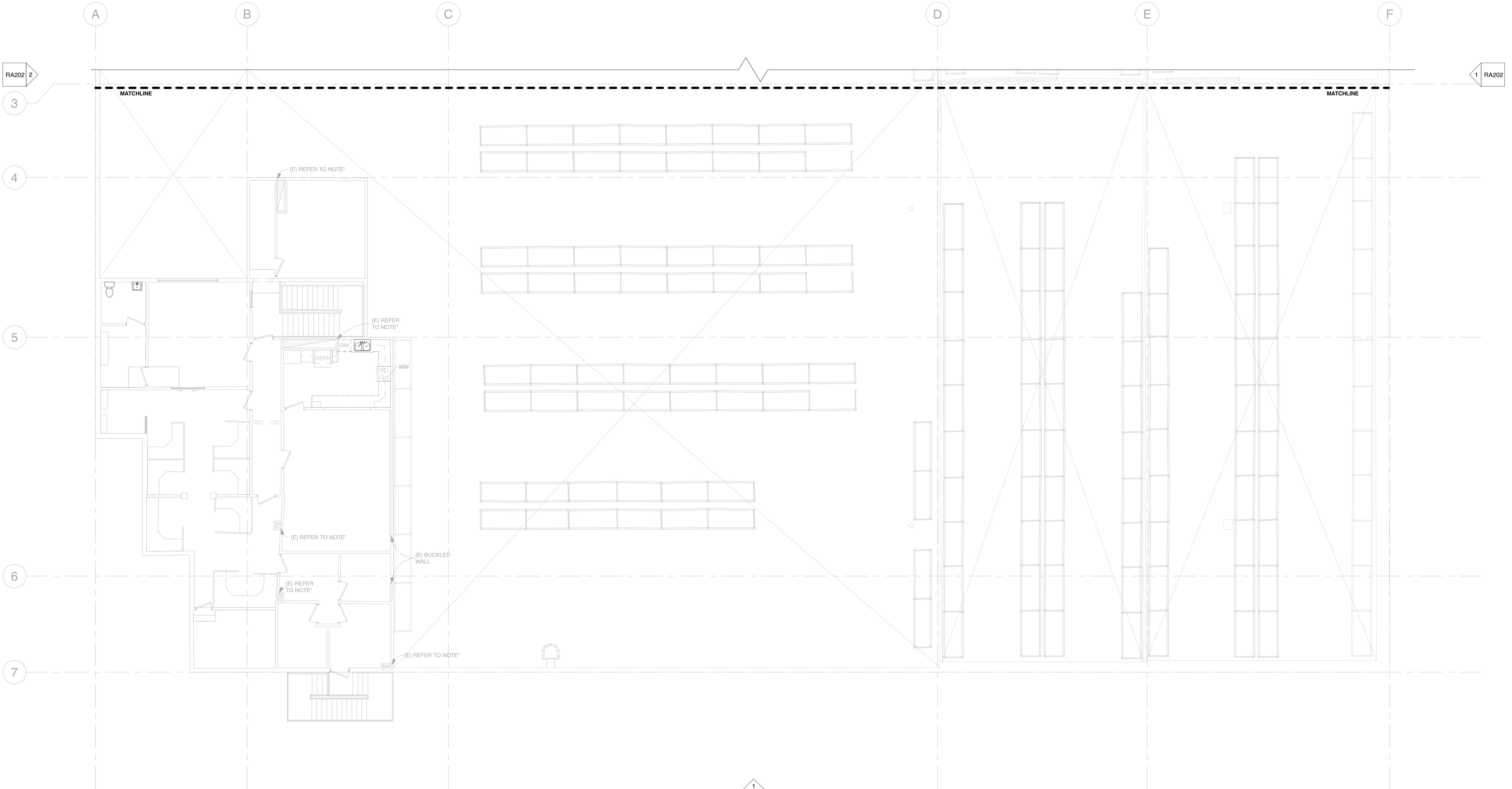
Scale AS INDICATED

RA109



**NOTES:**

- WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
- CEILING SLOPES, ELEVATIONS AND/OR EXISTENCE MUST BE VERIFIED ON-SITE DUE TO LACK OF INFORMATION FOR SHOWN AREA.
- STRUCTURAL STEEL ELEMENTS REPRESENT AN APPROXIMATE SIZE AND TYPE FOR SPECIFIC ELEMENT TYPES PLEASE VERIFY ON-SITE.
- THE PURLINS ARE NOT SHOWN IN THE REFLECTED CEILING PLAN BECAUSE THEY ARE HIDDEN BEHIND A COVERING
- THE AIR CURTAIN UNITS WERE NOT INSTALLED DURING THE SITE VISIT. PLEASE VERIFY ON-SITE. AFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.



1 [E] LEVEL 2 PLUMBING PLAN

1/8" = 1'-0"

| No. | Description                    | Date     |
|-----|--------------------------------|----------|
| 9   | Equipment labels were updated. | 05-22-24 |
|     |                                |          |
|     |                                |          |
|     |                                |          |
|     |                                |          |
|     |                                |          |
|     |                                |          |
|     |                                |          |
|     |                                |          |

# DIMENSIONS®

DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE PURPOSES ONLY. THESE DRAWINGS DO NOT REFLECT THE CURRENT CONDITIONS OF THE PROPERTY. CONSTRUCTION DOCUMENTS, ALL MEASUREMENTS, AND NEW SURVEYS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLANS IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:  
[E] LEVEL 1  
EQUIPMENT PLAN  
1-1

PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

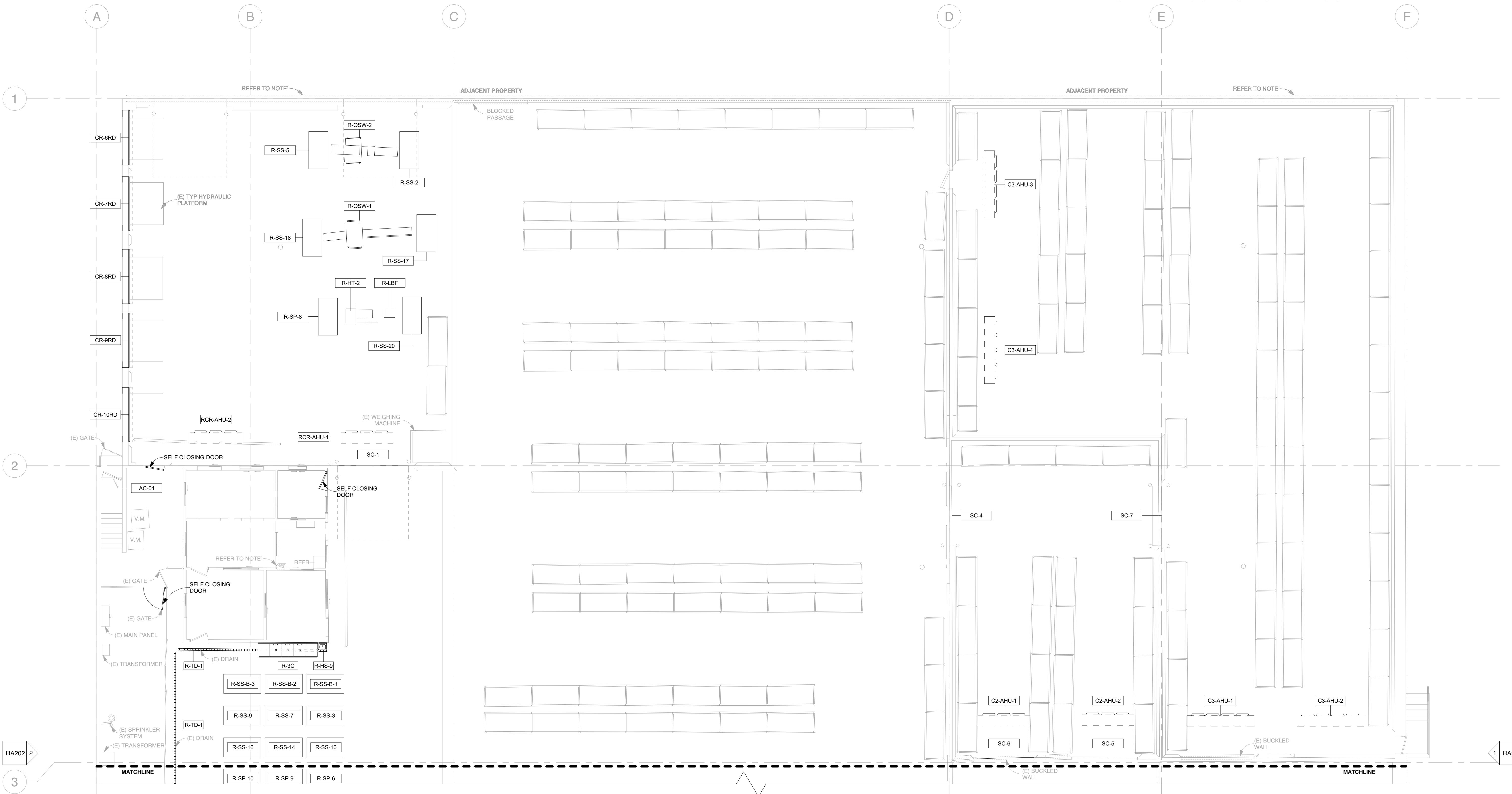
Scale AS INDICATED

RA110

NOTES\*:

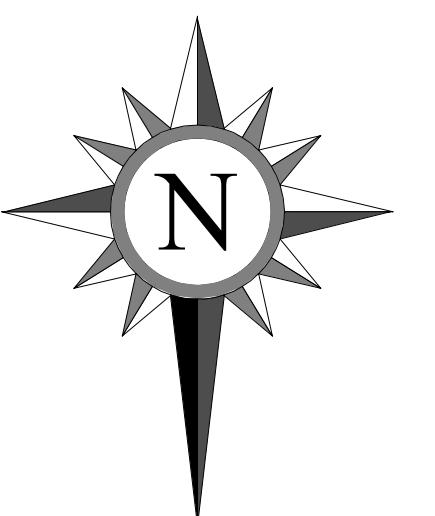
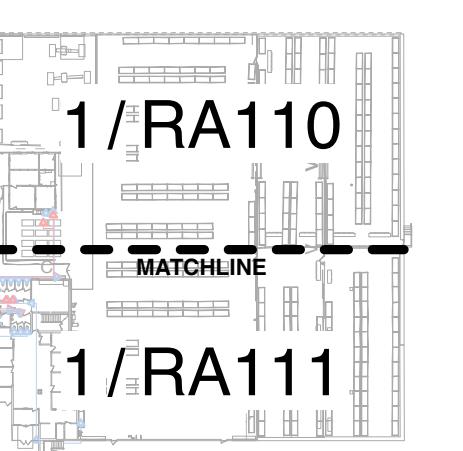
- WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
- CEILING SLOPES, ELEVATIONS AND/OR EXISTENCE MUST BE VERIFIED ON-SITE DUE TO LACK OF INFORMATION FOR SHOWN AREA.
- STRUCTURAL STEEL ELEMENTS REPRESENT AN APPROXIMATE SIZE AND TYPE FOR SPECIFIC ELEMENT TYPES PLEASE VERIFY ON-SITE.
- THE PURLINS ARE NOT SHOWN IN THE REFLECTED CEILING PLAN BECAUSE THEY ARE HIDDEN BEHIND A COVERING
- \* THE AIR CURTAIN UNITS WERE NOT INSTALLED DURING THE SITE VISIT. PLEASE VERIFY ON-SITE. AFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.

| WALL LEGEND |              |
|-------------|--------------|
|             | (E) WALL     |
|             | (E) LOW WALL |



1 [E] LEVEL 1 EQUIPMENT PLAN 1-1

1/8" = 1'-0"



# DIMENSIONS<sup>®</sup>

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# INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

# EQ EQUIPMENT PLAN

## 1-2

PROJECT # 1004-12186

Date 05-22-24

**PAPER SIZE**  
**ARCH D 24X36**

**Scale AS INDICATED**

# BA111

# RA111

**NOTES\*:**

1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
2. CEILING SLOPES, ELEVATIONS AND/OR EXISTENCE MUST BE VERIFIED ON-SITE DUE TO LACK OF INFORMATION FOR SHOWN AREA.
3. STRUCTURAL STEEL ELEMENTS REPRESENT AN APPROXIMATE SIZE AND TYPE FOR SPECIFIC ELEMENT TYPES PLEASE VERIFY ON-SITE.
4. THE PURLINS ARE NOT SHOWN IN THE REFLECTED CEILING PLAN BECAUSE THEY ARE HIDDEN BENEATH A COVERING
5. THE AIR CURTAIN UNITS WERE NOT INSTALLED DURING THE SITE VISIT. PLEASE VERIFY ON-SITE.

\* AFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.

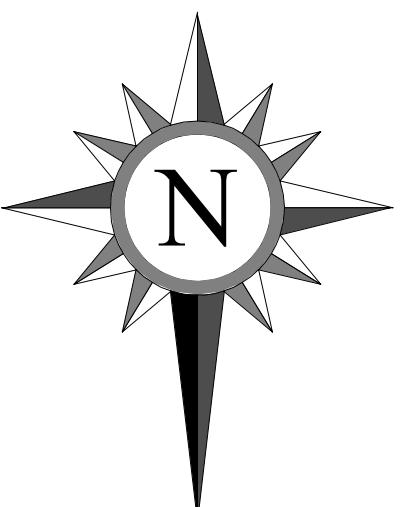
## WALL LEGEND

# (E) LEVEL 1 EQUIPMENT PLAN 1-2

1/8" = 1'-0"

**1/8" = 1'-0"**

1  
RA201



# RAT11

## REVISIONS

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

**DIMENSIONS**<sup>®</sup>

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

[E] LEVEL 2  
EQUIPMENT PLAN

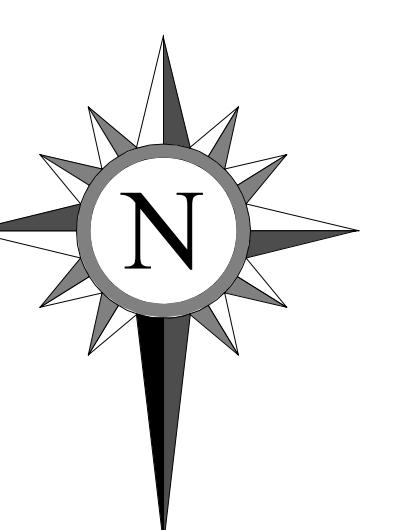
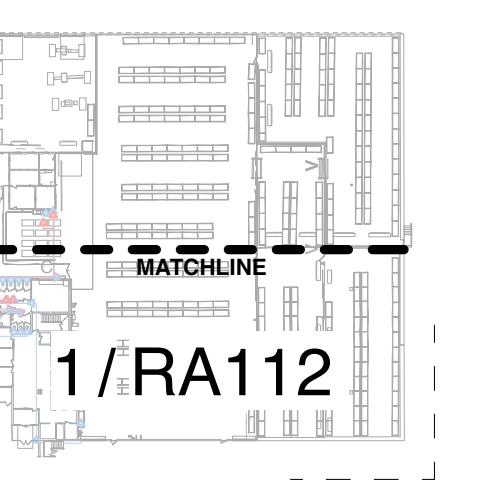
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

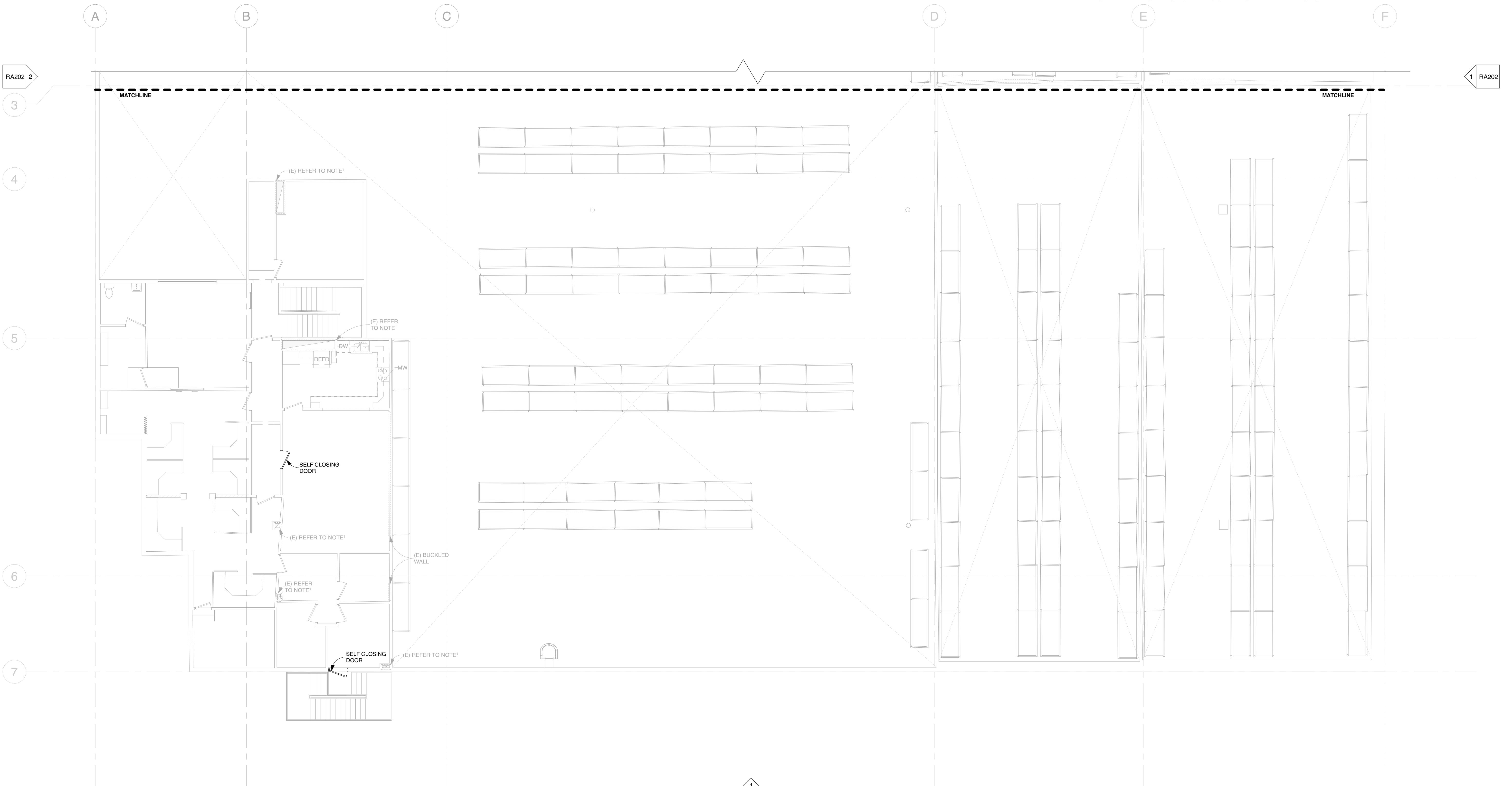
Scale AS INDICATED

**RA112**



NOTES:  
1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.  
2. CEILING SLOPES, ELEVATIONS AND/OR EXISTENCE MUST BE VERIFIED ON-SITE DUE TO LACK OF INFORMATION FOR SHOWN AREA.  
3. STRUCTURAL STEEL ELEMENTS REPRESENT AN APPROXIMATE SIZE AND TYPE FOR SPECIFIC ELEMENT TYPES PLEASE VERIFY ON-SITE.  
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5. THE AIR CURTAIN UNITS WERE NOT INSTALLED DURING THE SITE VISIT. PLEASE VERIFY ON-SITE.  
\* AFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.

| WALL LEGEND |              |
|-------------|--------------|
|             | (E) WALL     |
|             | (E) LOW WALL |



**1 [E] LEVEL 2 EQUIPMENT PLAN**

1/8" = 1'-0"

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

[E] EXTERIOR ELEVATIONS -  
PROJECT SOUTH

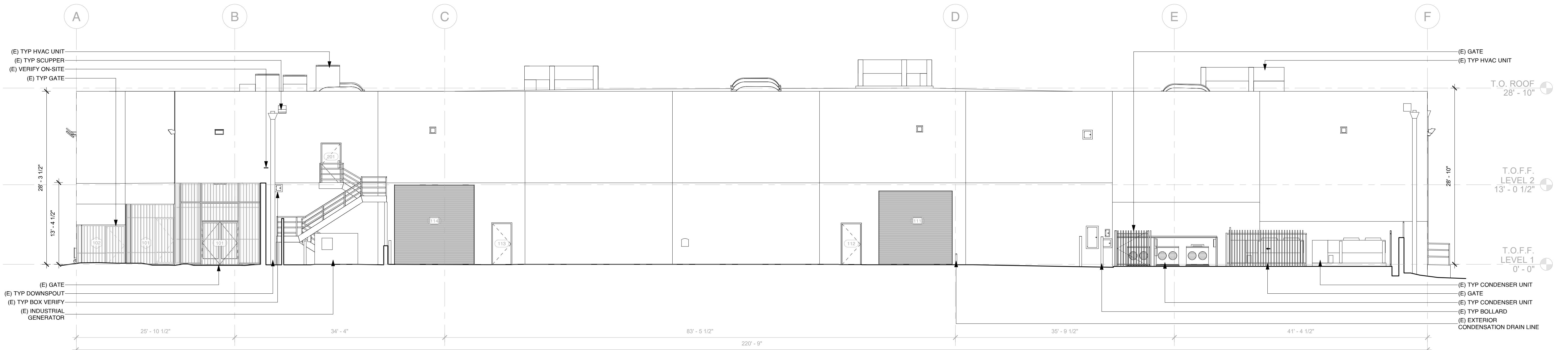
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

Scale 1/8" = 1'-0"

All exterior walls Cement- White with blue accents



| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

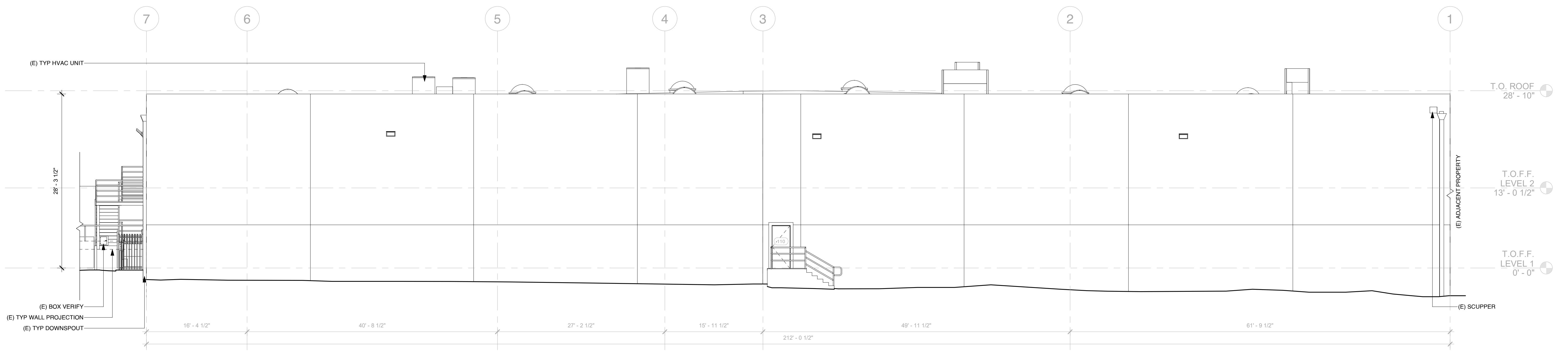
# DIMENSIONS®

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

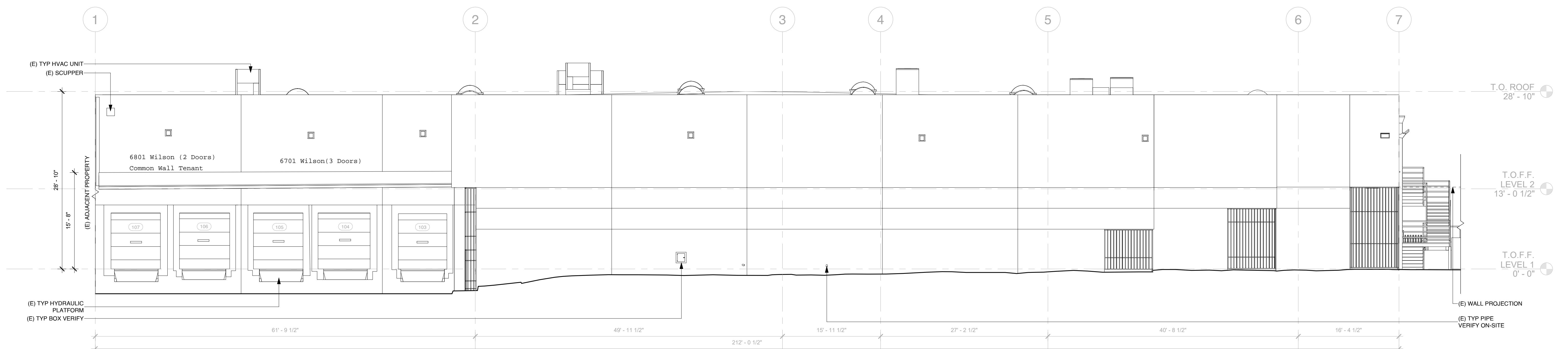
MAY 22, 2024



### [E] EXTERIOR ELEVATION - PROJECT EAST

1  
1/8" = 1'-0"

All exterior walls Cement- White with blue accents



### [E] EXTERIOR ELEVATION - PROJECT WEST

2  
1/8" = 1'-0"

## [E] EXTERIOR ELEVATIONS - PROJECT EAST AND WEST

PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

Scale 1/8" = 1'-0"

RA202

TIME STAMP:

# DIMENSIONS<sup>®</sup>

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# INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

**(E) INTERIOR  
ELEVATION FLOOR  
PLAN REFERENCE  
LEVEL 1**

PROJECT # 1004-1218

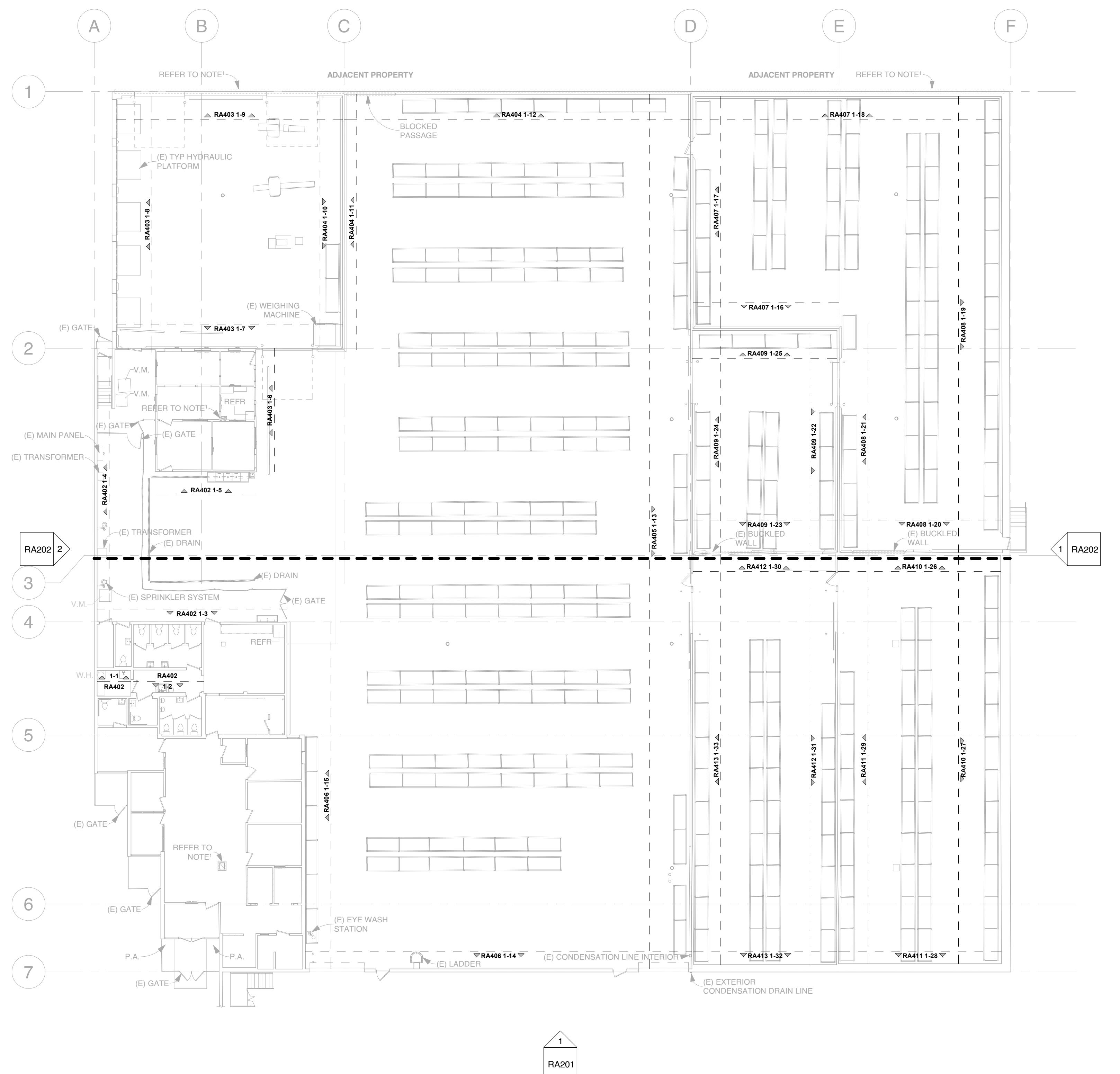
to 05-22-2

## PAPER SIZE

sale AS INDICATED

## NOTES\*-

ALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.  
CEILING SLOPES, ELEVATIONS AND/OR EXISTENCE MUST BE VERIFIED ON-SITE DUE TO LACK OF  
INFORMATION FOR SHOWN AREA.  
STRUCTURAL STEEL ELEMENTS REPRESENT AN APPROXIMATE SIZE AND TYPE FOR SPECIFIC  
ELEMENT TYPES PLEASE VERIFY ON-SITE.  
THE PURLINS ARE NOT SHOWN IN THE REFLECTED CEILING PLAN BECAUSE THEY ARE HIDDEN  
UNEATH A COVERING  
THE AIR CURTAIN UNITS WERE NOT INSTALLED DURING THE SITE VISIT. PLEASE VERIFY ON-SITE.  
OFF OF EACH LEVEL. PLATE VARIES ON LEVEL 1. PLEASE REFER TO THE FLOOR PLAN FOR EACH  
LEVEL TO IDENTIFY CHANGES IN FLOOR HEIGHT REFERENCES.



1

(E) INTERIOR ELEVATION FLOOR PLAN REFERENCE LEVEL 1

1/16" = 1'-0"

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:

## [E] INTERIOR ELEVATIONS 1-1 TO 1-5

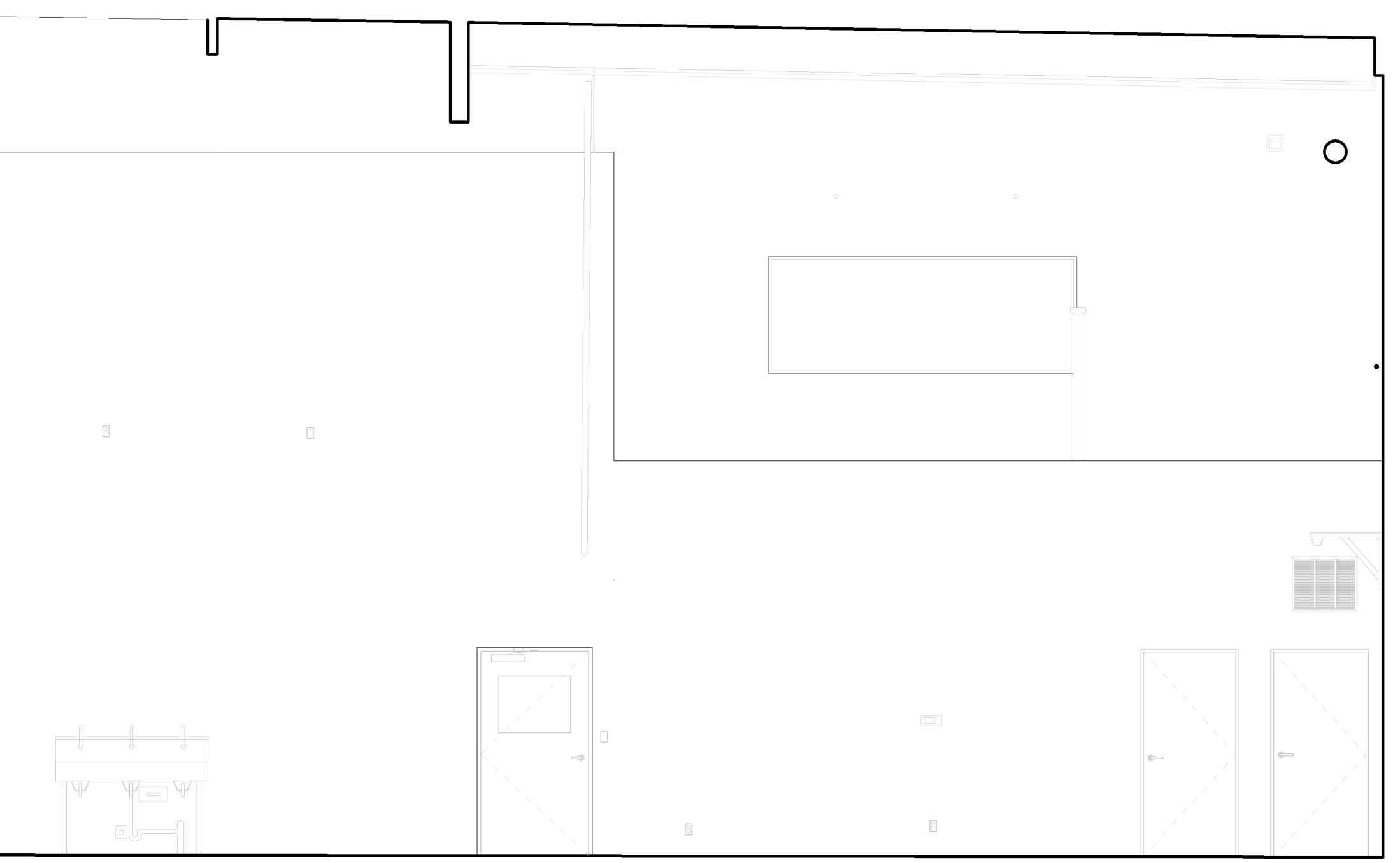
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

Scale 1/4" = 1'-0"

RA402



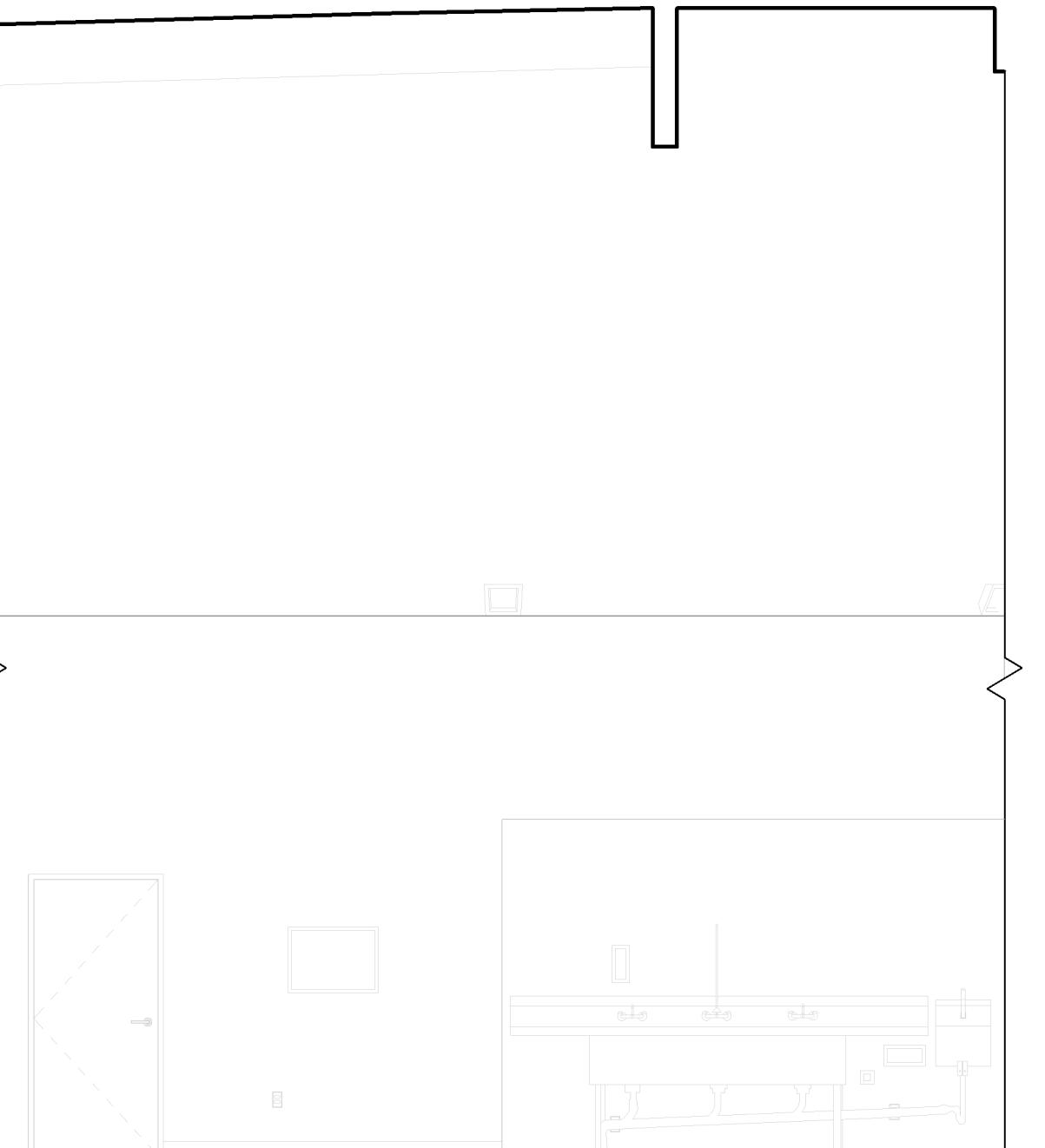
**1** [E] INTERIOR ELEVATION 1-1  
1/4" = 1'-0"

**2** [E] INTERIOR ELEVATION 1-2  
1/4" = 1'-0"

**3** [E] INTERIOR ELEVATION 1-3  
1/4" = 1'-0"



**4** [E] INTERIOR ELEVATION 1-4  
1/4" = 1'-0"



**5** [E] INTERIOR ELEVATION 1-5  
1/4" = 1'-0"



| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
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|     |             |      |

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INDUSTRIAL  
AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:  
[E] INTERIOR ELEVATIONS 1-10  
TO 1-12

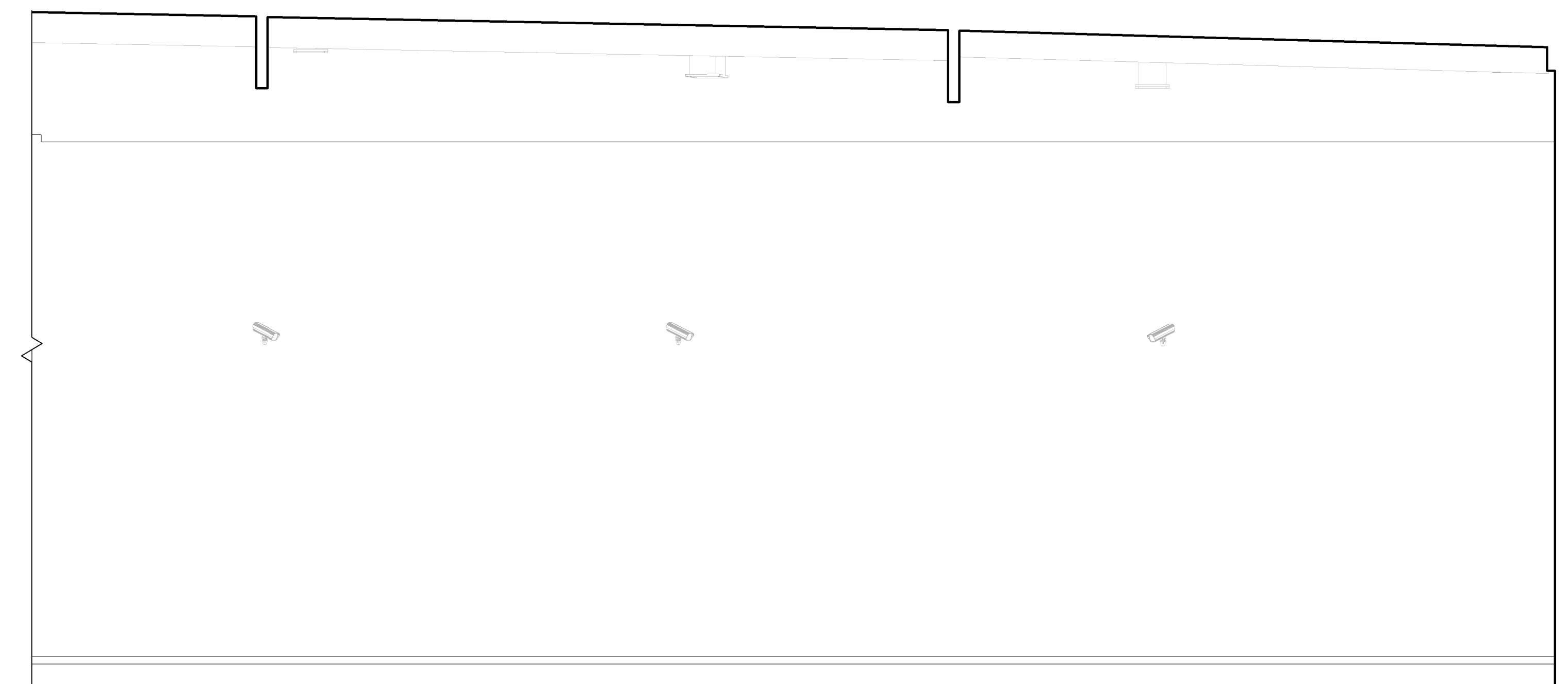
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

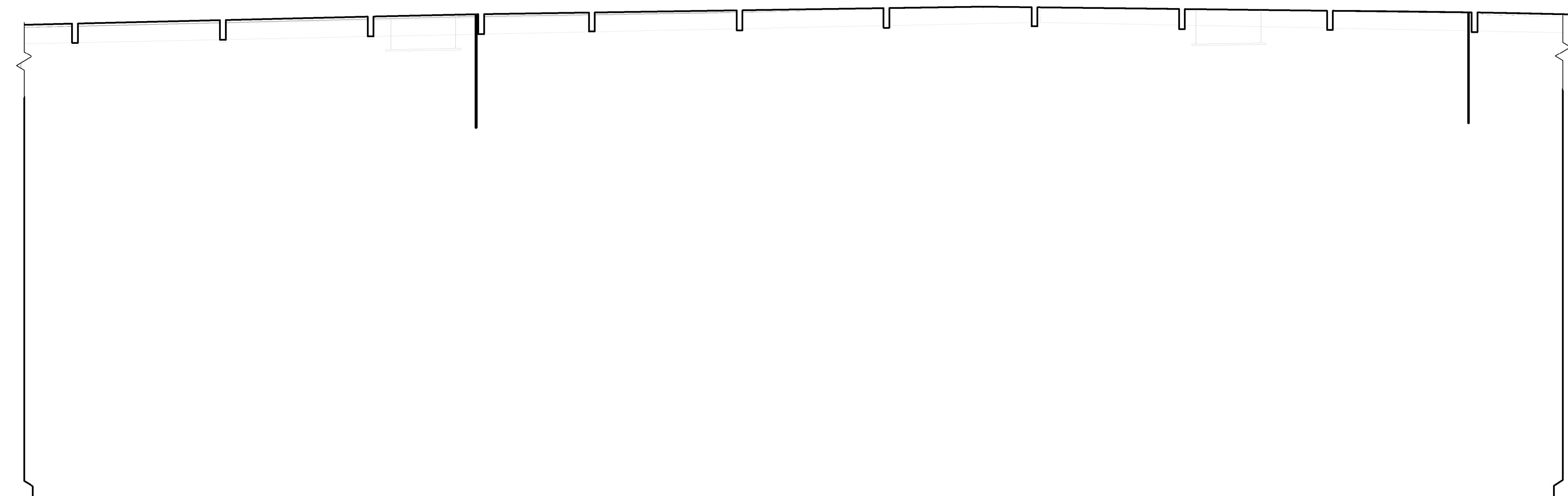
Scale 1/4" = 1'-0"

RA404



1 [E] INTERIOR ELEVATION 1-10  
1/4" = 1'-0"

2 [E] INTERIOR ELEVATION 1-11  
1/4" = 1'-0"



3 [E] INTERIOR ELEVATION 1-12  
1/4" = 1'-0"

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

[E] INTERIOR ELEVATIONS 1-13.1 TO 1-13.2

TIME STAMP:

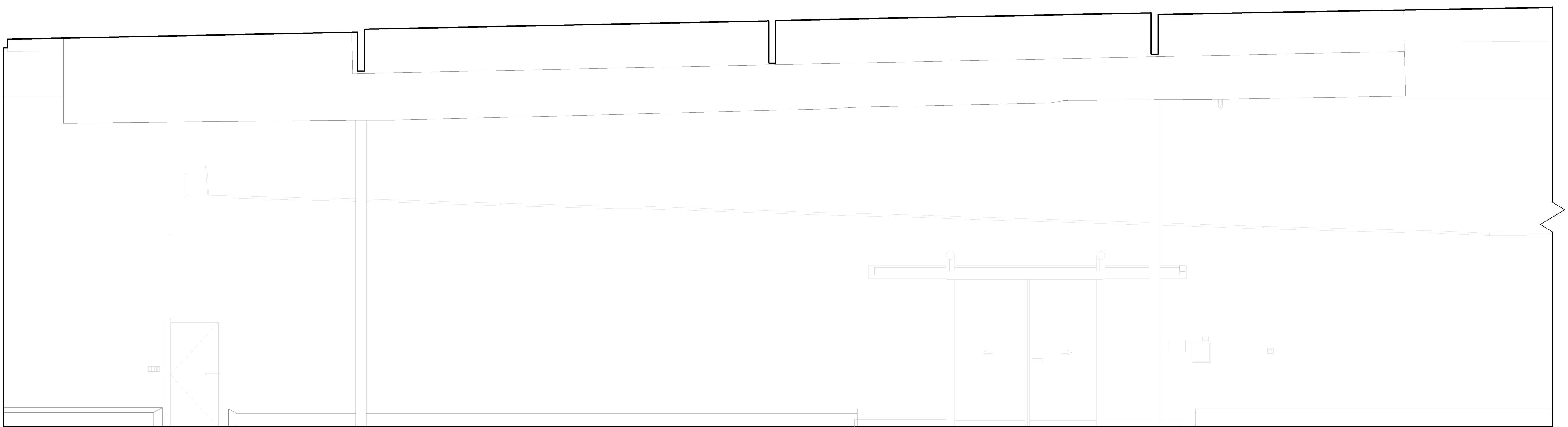
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

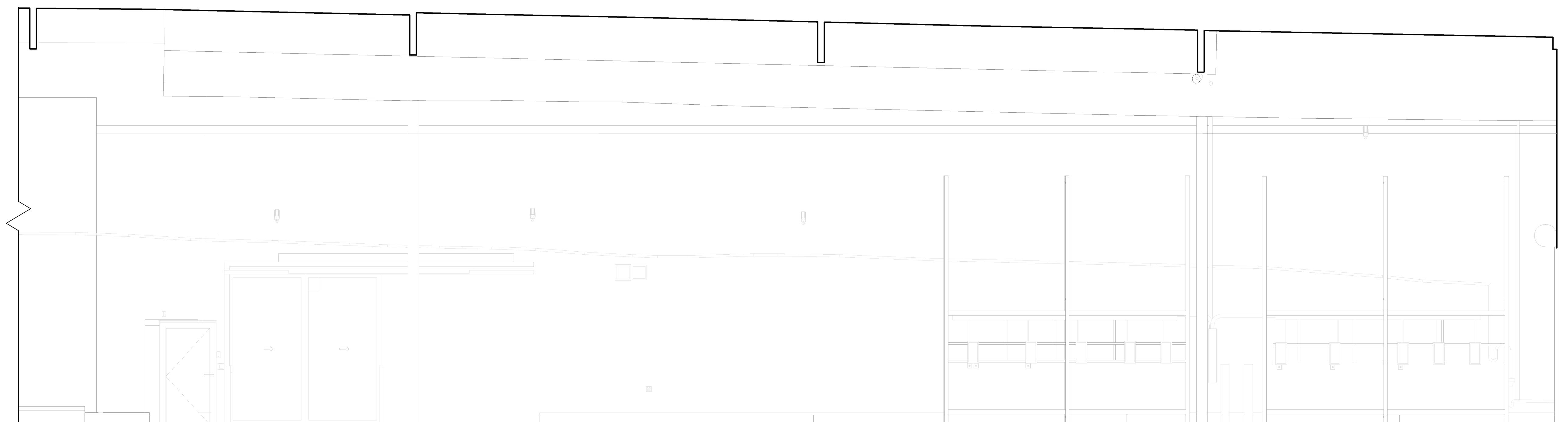
Scale 1/4" = 1'-0"

RA405



1 [E] INTERIOR ELEVATION 1-13.1

1/4" = 1'-0"



2 [E] INTERIOR ELEVATION 1-13.2

1/4" = 1'-0"

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:  
[E] INTERIOR ELEVATIONS 1-14 TO 1-15

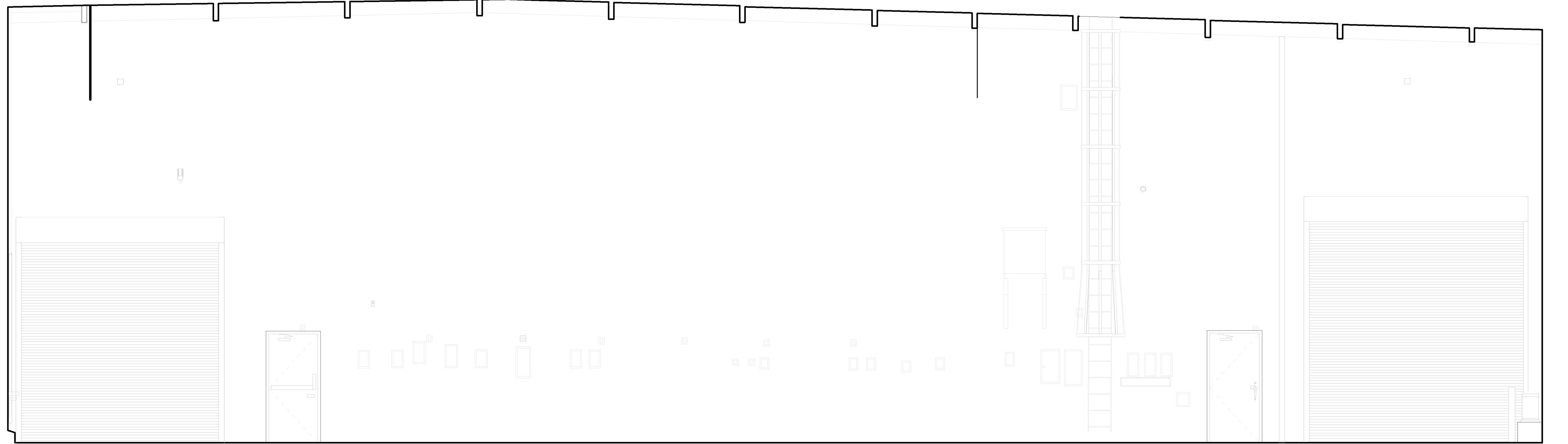
PROJECT # 1004-12186

Date 05-22-24

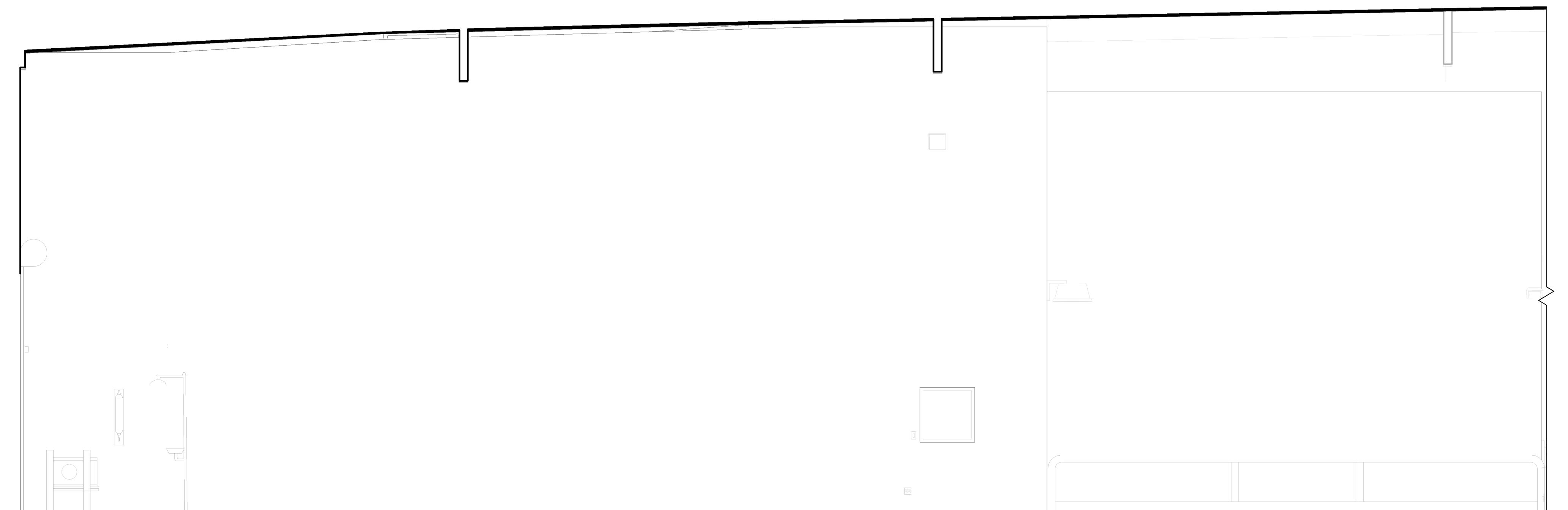
PAPER SIZE  
ARCH D 24X36

Scale 1/4" = 1'-0"

RA406



1 [E] INTERIOR ELEVATION 1-14  
1/4" = 1'-0"



2 [E] INTERIOR ELEVATION 1-15  
1/4" = 1'-0"

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:  
[E] INTERIOR ELEVATIONS 1-16 TO 1-18

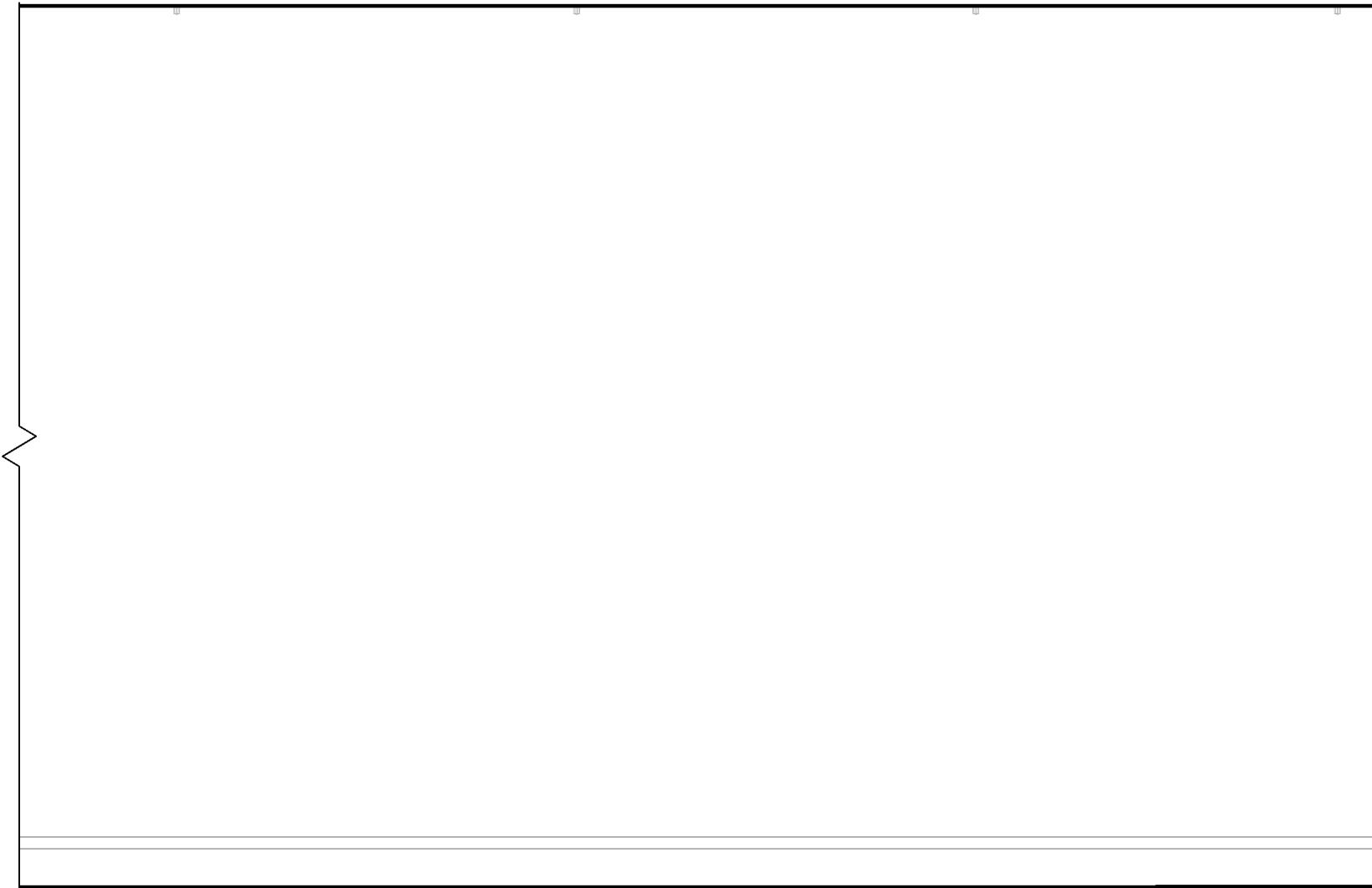
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

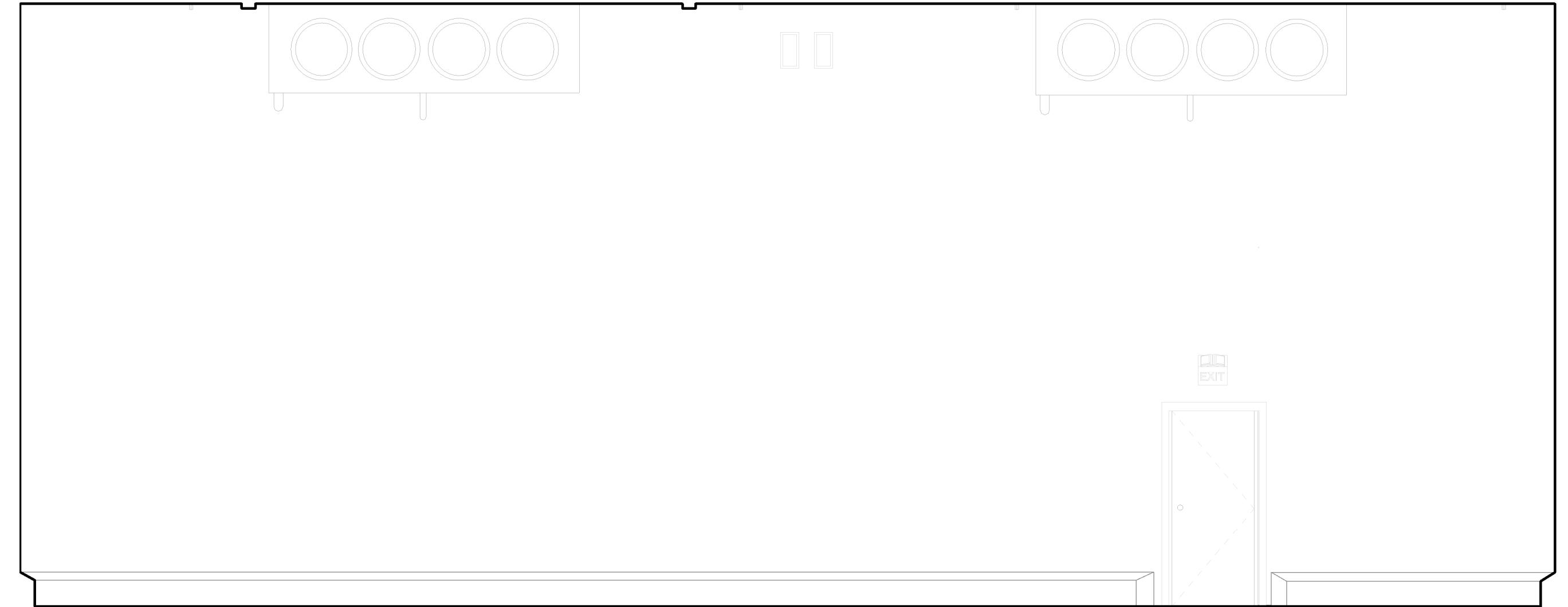
Scale 1/4" = 1'-0"

RA407



**1** [E] INTERIOR ELEVATION 1-16

1/4" = 1'-0"



**2** [E] INTERIOR ELEVATION 1-17

1/4" = 1'-0"



**3** [E] INTERIOR ELEVATION 1-18

1/4" = 1'-0"

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |



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INDUSTRIAL  
AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

[E] INTERIOR ELEVATIONS 1-19  
TO 1-21

TIME STAMP:

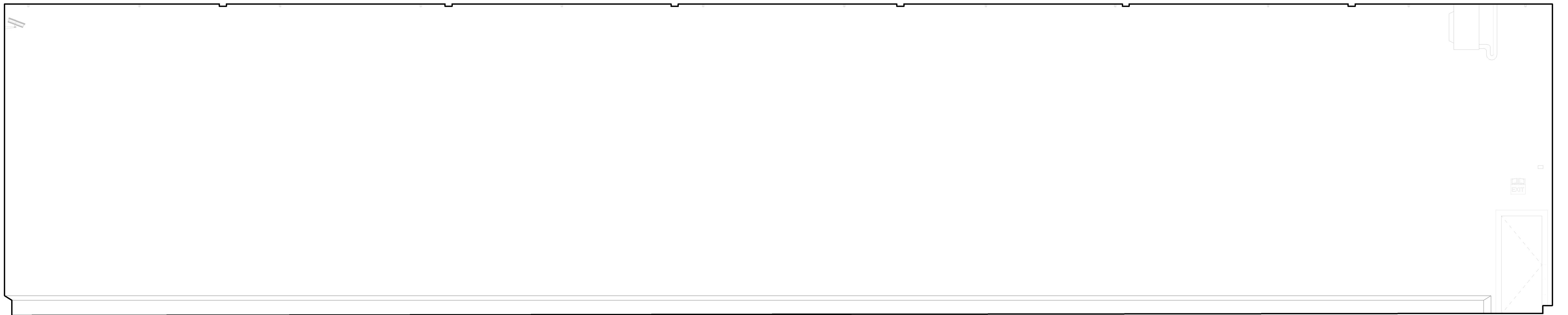
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

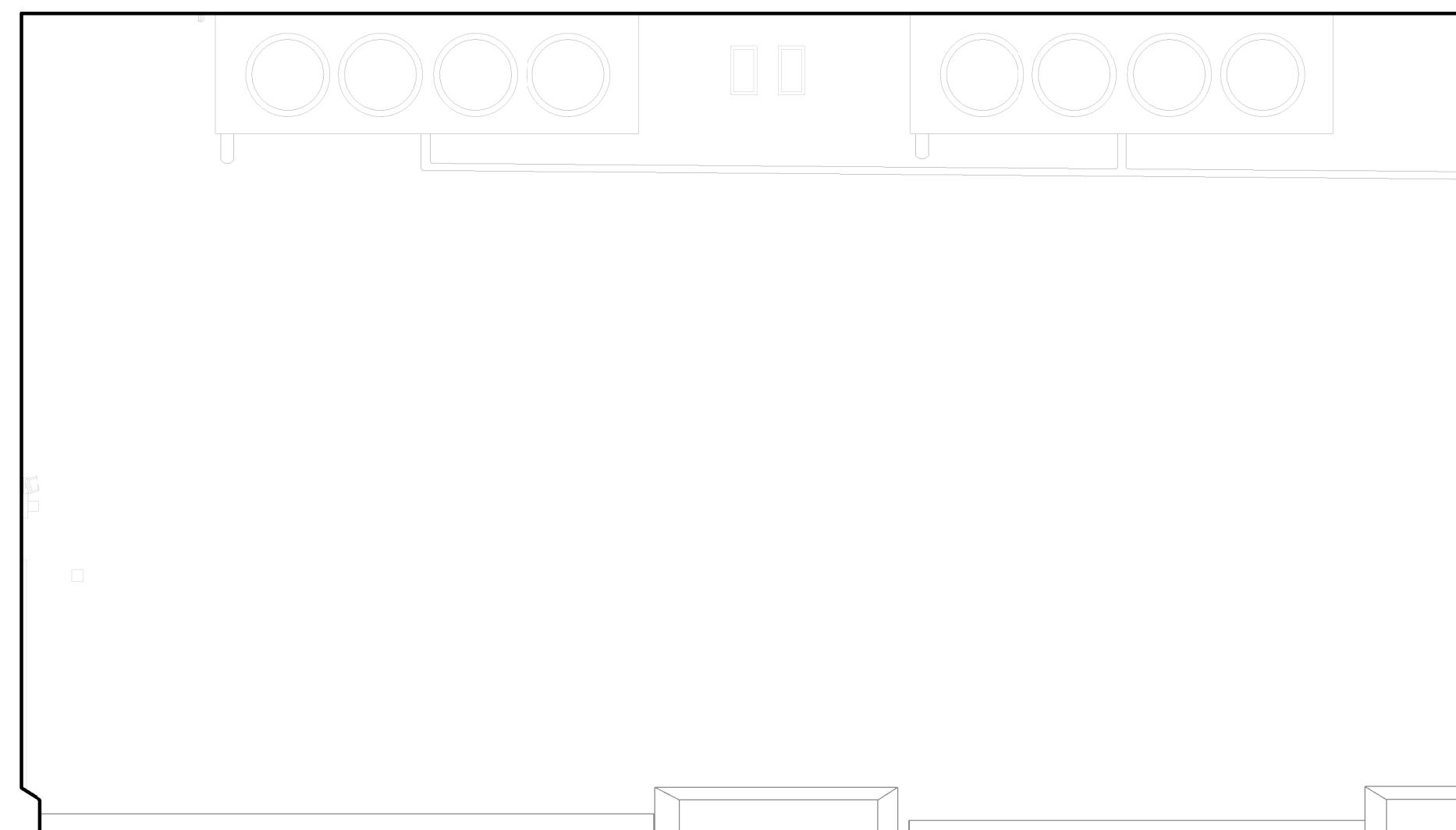
Scale 1/4" = 1'-0"

RA408



3 [E] INTERIOR ELEVATION 1-19

1/4" = 1'-0"

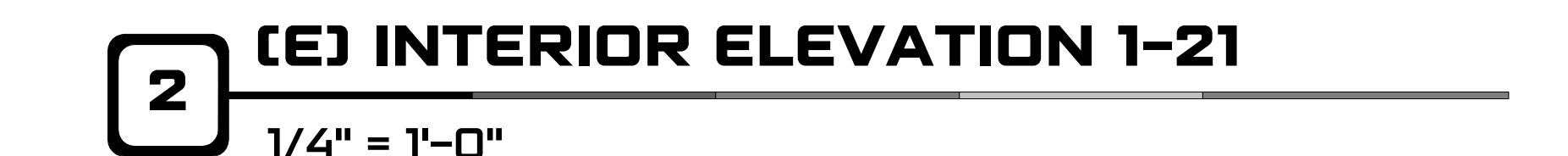


1 [E] INTERIOR ELEVATION 1-20

1/4" = 1'-0"

2 [E] INTERIOR ELEVATION 1-21

1/4" = 1'-0"



| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:

[E] INTERIOR ELEVATIONS 1-22  
TO 1-25

PROJECT # 1004-12186

Date 05-22-24

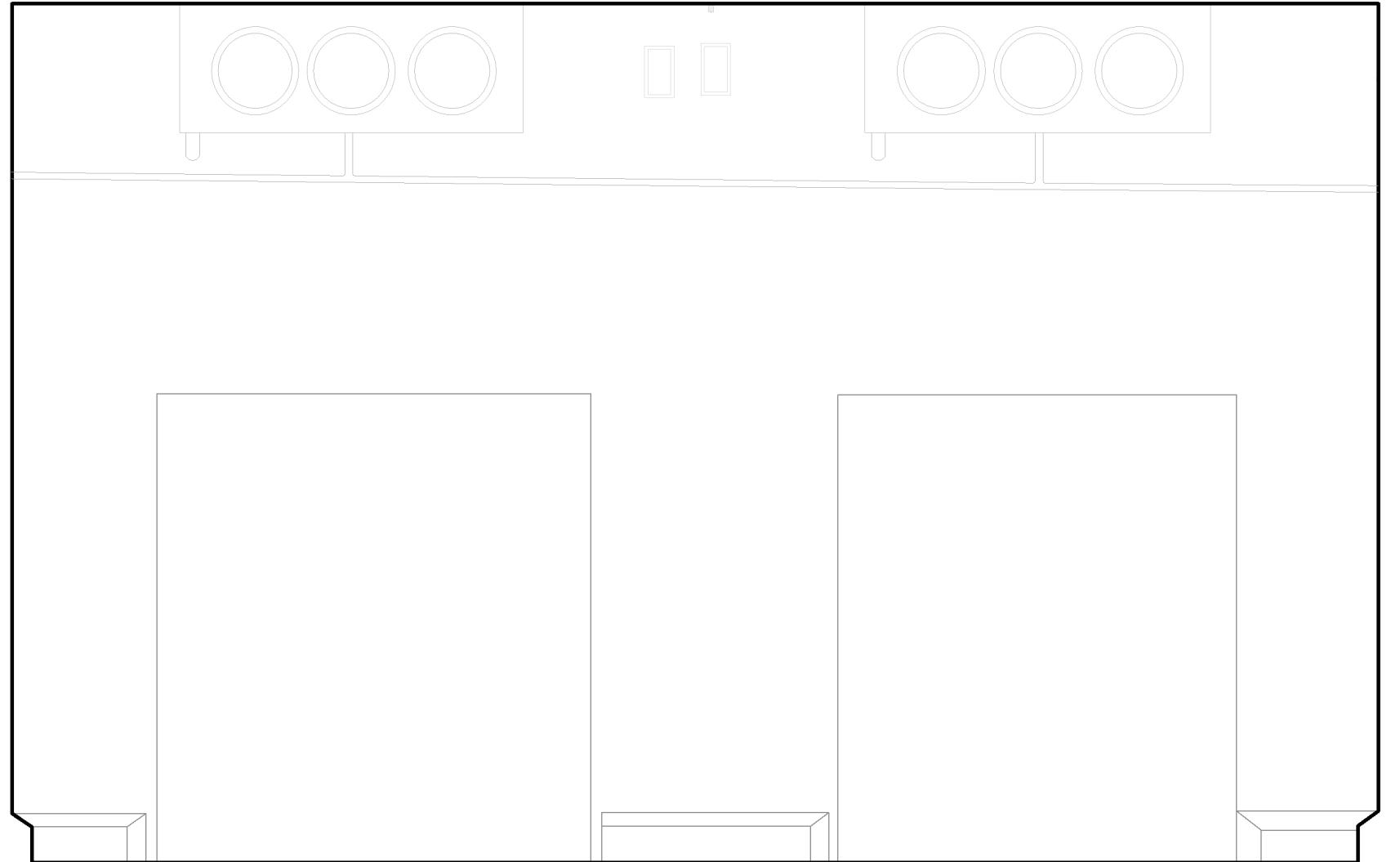
PAPER SIZE  
ARCH D 24X36

Scale 1/4" = 1'-0"

RA409



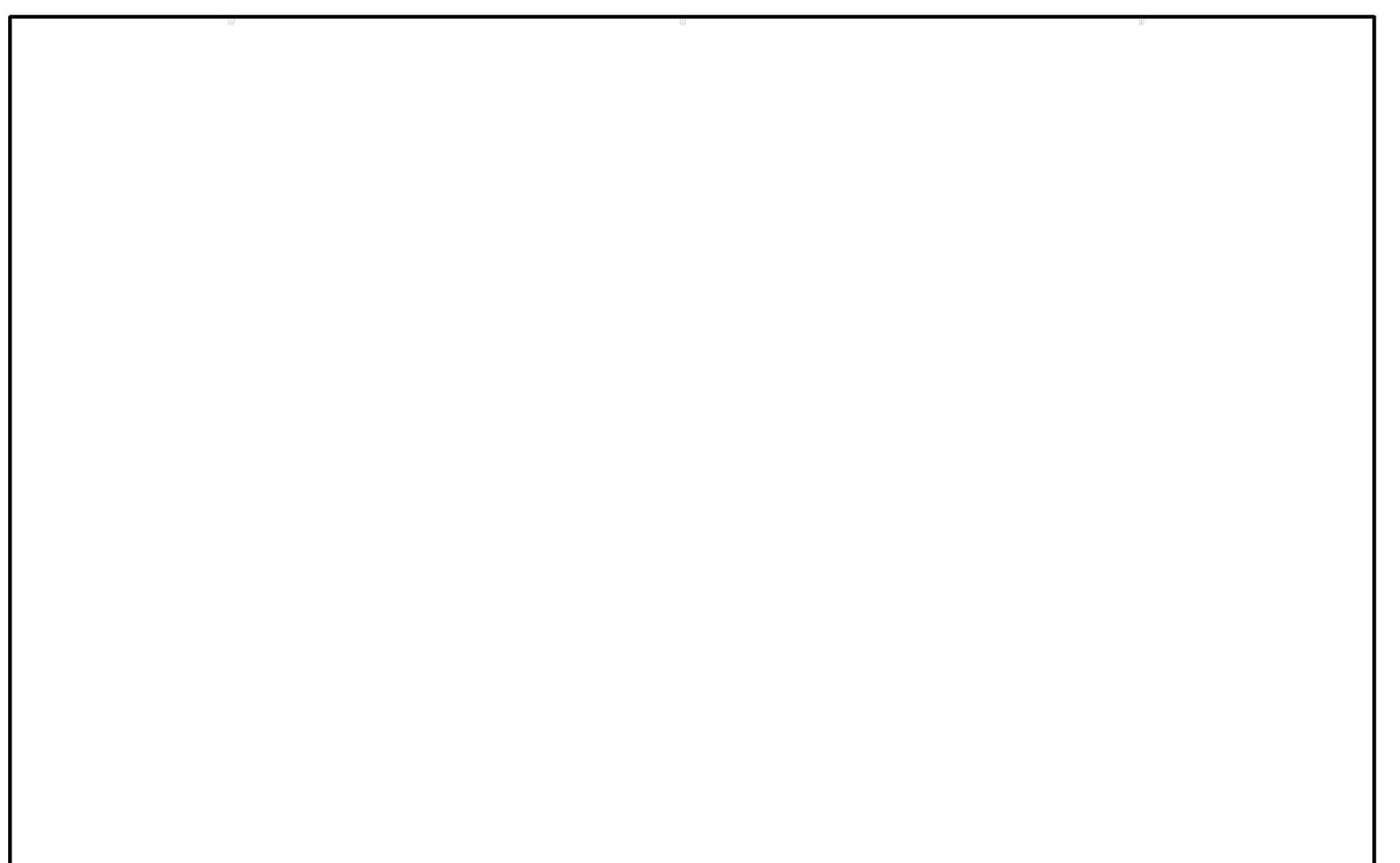
1 [E] INTERIOR ELEVATION 1-22  
1/4" = 1'-0"



2 [E] INTERIOR ELEVATION 1-23  
1/4" = 1'-0"



3 [E] INTERIOR ELEVATION 1-24  
1/4" = 1'-0"



4 [E] INTERIOR ELEVATION 1-25  
1/4" = 1'-0"



| No. | Description | Date |
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INDUSTRIAL  
AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:  
[E] INTERIOR ELEVATIONS 1-28 TO 1-29

PROJECT # 1004-12186

Date 05-22-24

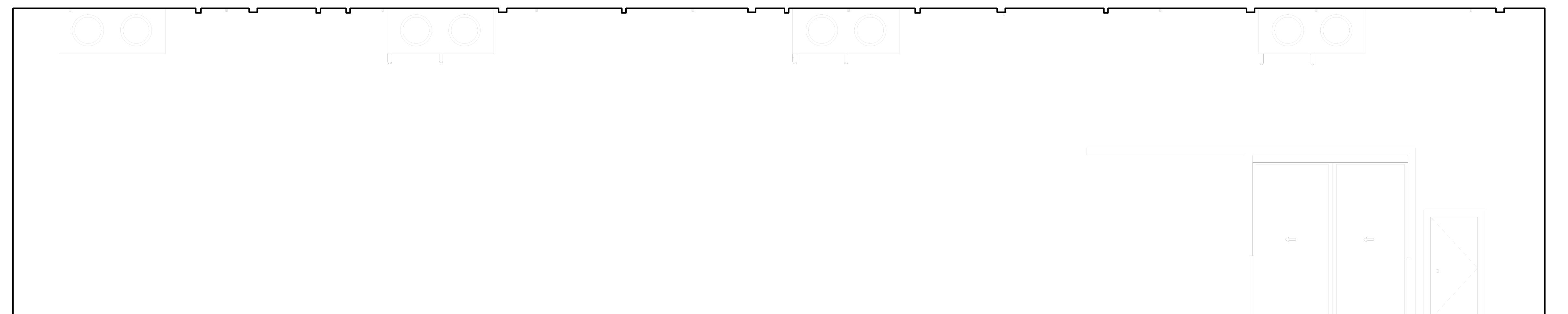
PAPER SIZE  
ARCH D 24X36

Scale 1/4" = 1'-0"

RA411



1 [E] INTERIOR ELEVATION 1-28  
1/4" = 1'-0"



2 [E] INTERIOR ELEVATION 1-29  
1/4" = 1'-0"

| No. | Description | Date |
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## INDUSTRIAL AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

TIME STAMP:  
[E] INTERIOR ELEVATIONS 1-30 TO 1-31

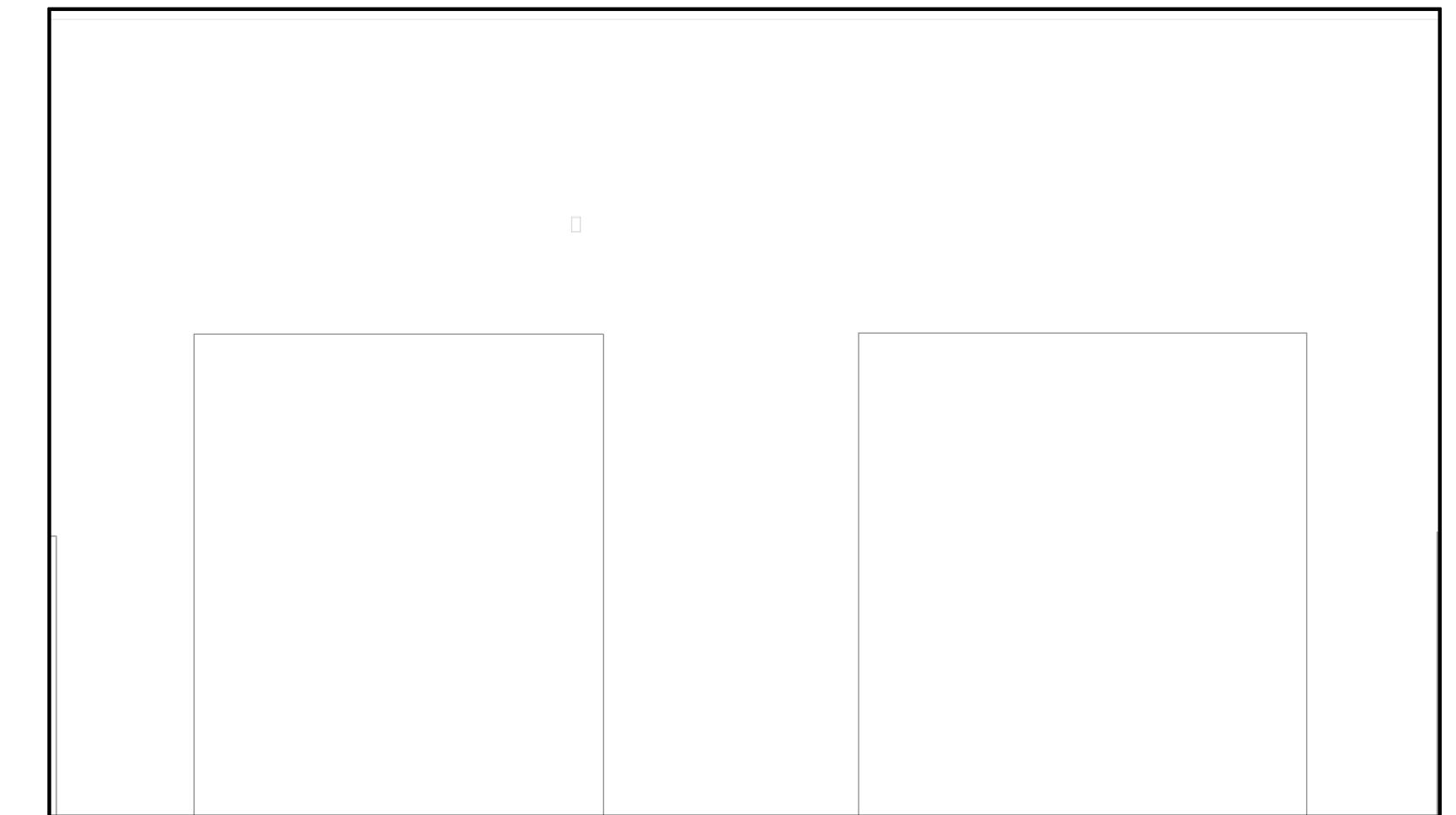
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

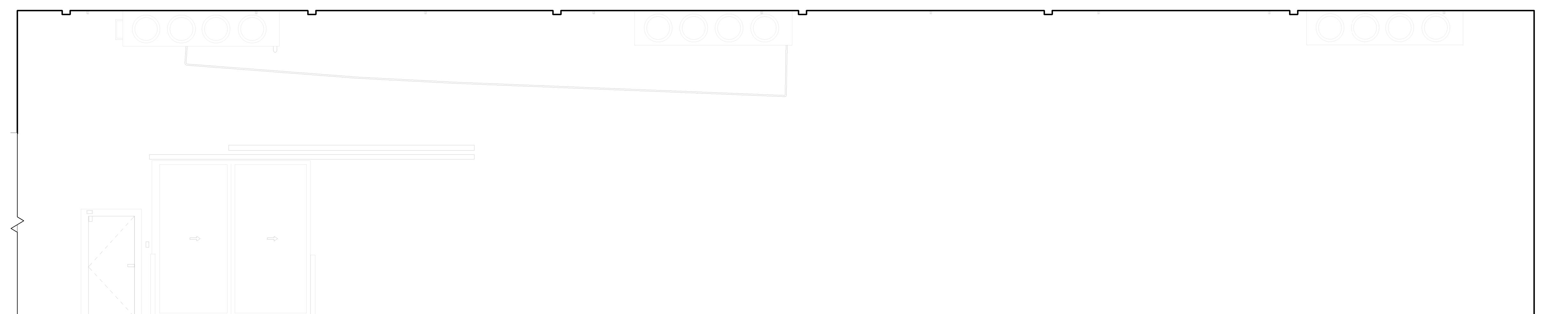
Scale 1/4" = 1'-0"

RA412



### [E] INTERIOR ELEVATION 1-30

1/4" = 1'-0"



### [E] INTERIOR ELEVATION 1-31

1/4" = 1'-0"

| No. | Description | Date |
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INDUSTRIAL  
AS-BUILT

6701 WILSON AVENUE  
LOS ANGELES, CA 90001

MAY 22, 2024

[E] INTERIOR  
ELEVATIONS 1-32  
TO 1-33

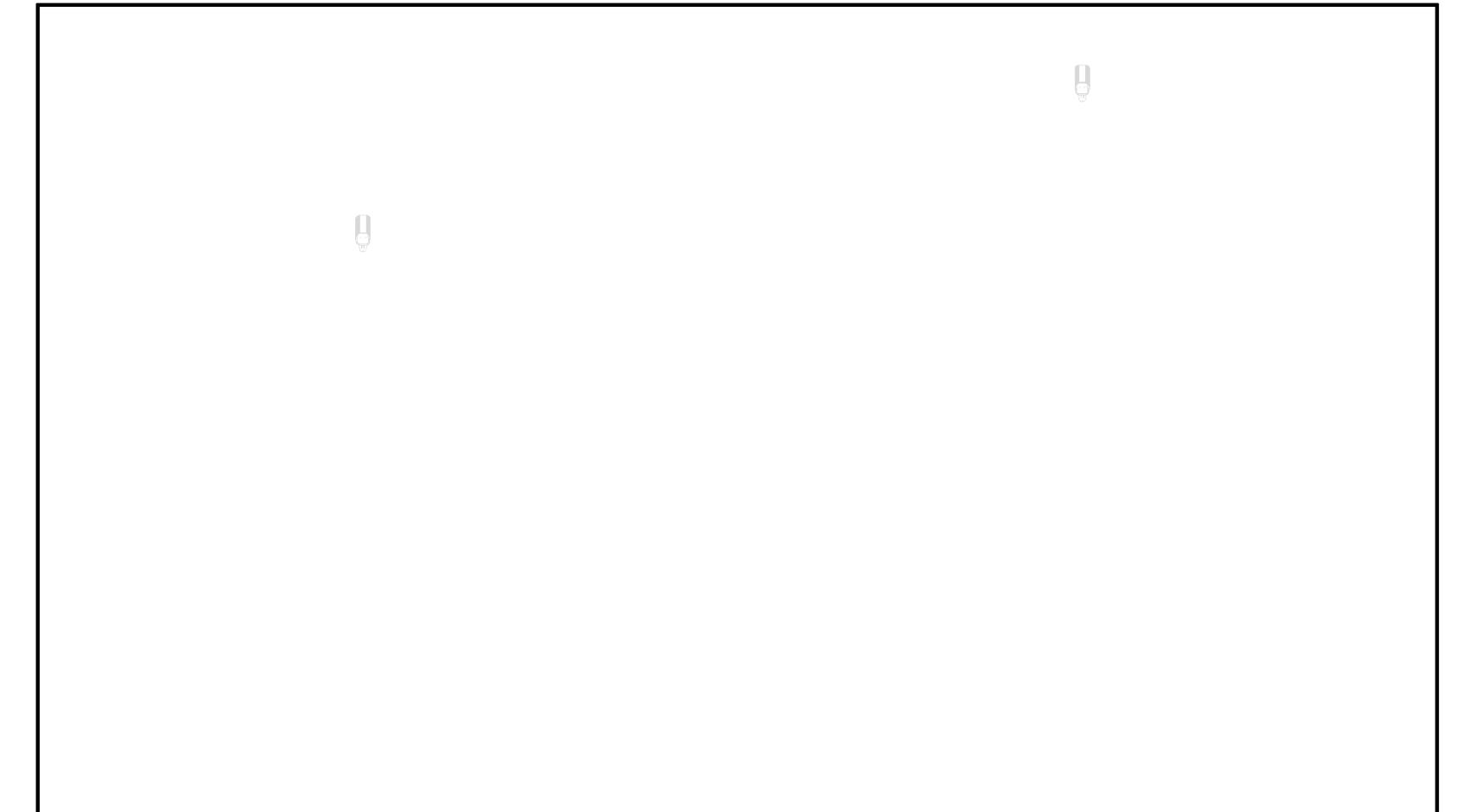
PROJECT # 1004-12186

Date 05-22-24

PAPER SIZE  
ARCH D 24X36

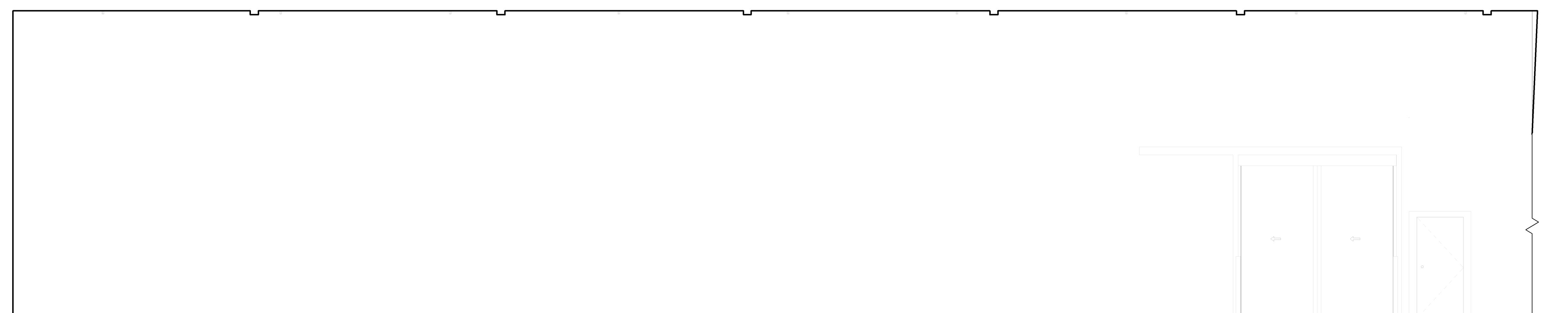
Scale 1/4" = 1'-0"

RA413



1 [E] INTERIOR ELEVATION 1-32

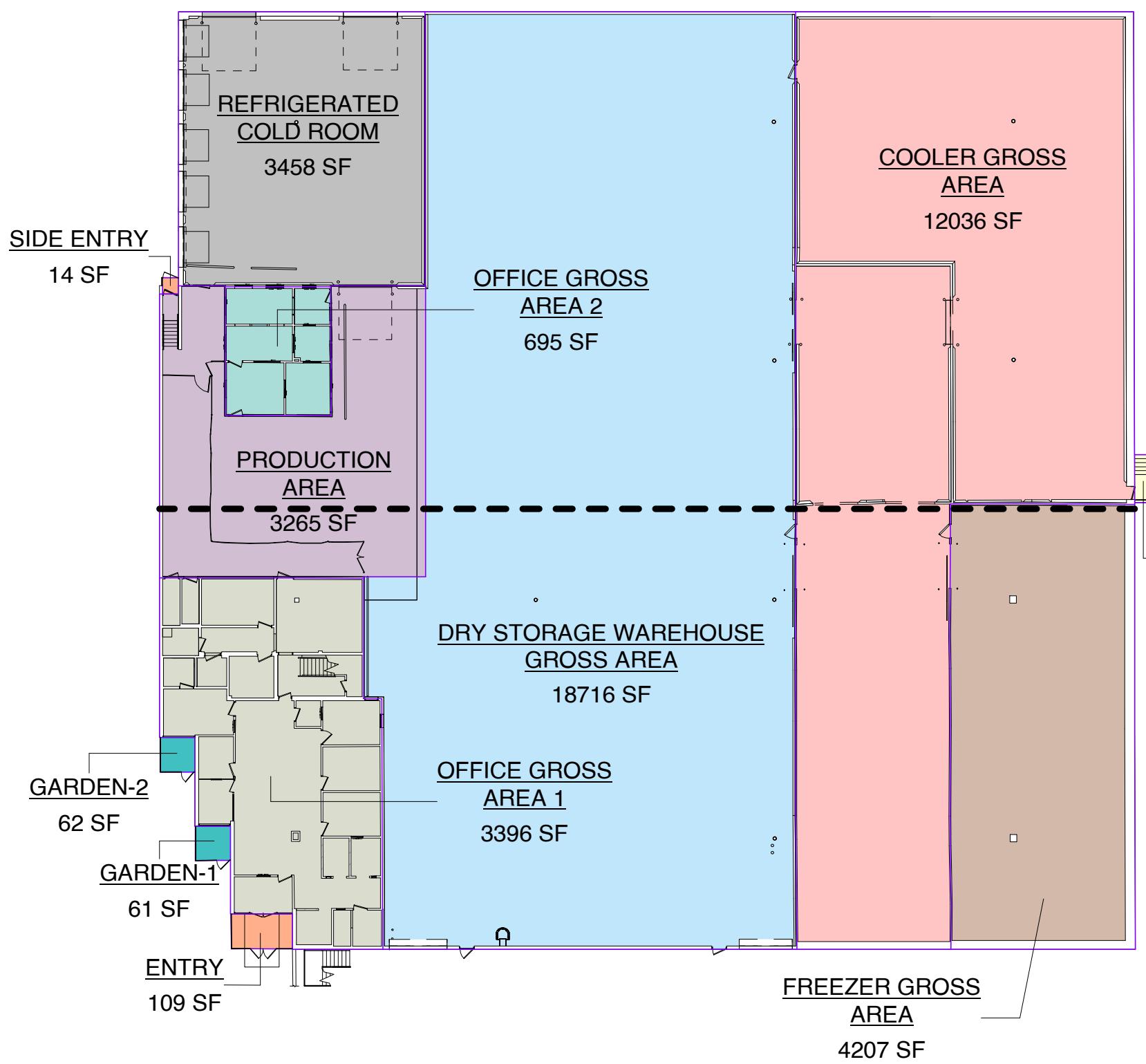
1/4" = 1'-0"



2 [E] INTERIOR ELEVATION 1-33

1/4" = 1'-0"

| No. | Description | Date |
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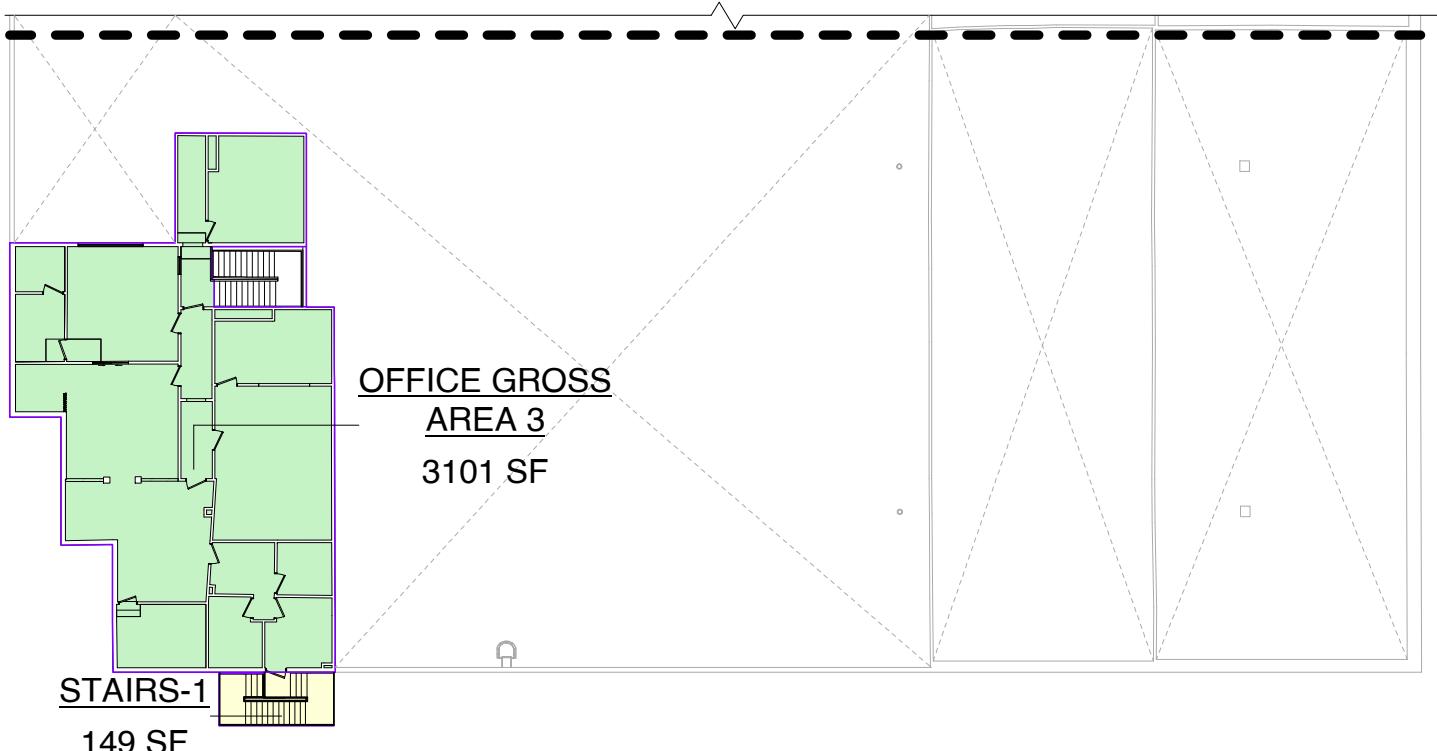


## Building Area Legend

- COOLER GROSS AREA
- DRY STORAGE WAREHOUSE GROSS AREA
- ENTRY
- FREEZER GROSS AREA
- GARDEN
- OFFICE GROSS AREA 1
- OFFICE GROSS AREA 2
- OFFICE GROSS AREA 3
- PRODUCTION AREA
- REFRIGERATED COLD ROOM
- STAIRS

## 1 [E] LEVEL 1 GROSS BUILDING AREA

1" = 30'-0"



## 2 [E] LEVEL 2 GROSS BUILDING AREA

1" = 30'-0"

| [E] DOOR SCHEDULE |        |               |              |                                   |          |
|-------------------|--------|---------------|--------------|-----------------------------------|----------|
| Location          | Number | Width         | Height       | Operation                         | Function |
| LEVEL 1           | 101    | 6' - 0"       | 7' - 0"      | Double Pivot Self Closing Door    | Exterior |
| LEVEL 1           | 102    | 3' - 3"       | 7' - 0"      | Single Pivot                      | Exterior |
| LEVEL 1           | 103    | 9' - 1"       | 10' - 2 1/2" | Dock Door                         | Exterior |
| LEVEL 1           | 104    | 9' - 1"       | 10' - 4"     | Dock Door                         | Exterior |
| LEVEL 1           | 105    | 9' - 1"       | 10' - 2 1/2" | Dock Door                         | Exterior |
| LEVEL 1           | 106    | 9' - 1"       | 10' - 4 1/2" | Dock Door                         | Exterior |
| LEVEL 1           | 107    | 9' - 2"       | 10' - 2 1/2" | Dock Door                         | Exterior |
| LEVEL 1           | 108    | 12' - 2"      | 12' - 2"     | Garage                            | Exterior |
| LEVEL 1           | 109    | 12' - 3 1/2"  | 12' - 2"     | Garage                            | Exterior |
| LEVEL 1           | 110    | 2' - 10 1/2"  | 6' - 11 1/2" | Single Swinging                   | Exterior |
| LEVEL 1           | 111    | 11' - 11 1/2" | 12' - 1 1/2" | Rolling                           | Exterior |
| LEVEL 1           | 112    | 3' - 0"       | 6' - 8"      | Single Swinging Self Closing Door | Exterior |
| LEVEL 1           | 113    | 3' - 0"       | 6' - 8"      | Single Swinging Self Closing Door | Exterior |
| LEVEL 1           | 114    | 13' - 0"      | 13' - 5"     | Rolling                           | Exterior |
| LEVEL 1           | 115    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging Self Closing Door | Interior |
| LEVEL 1           | 116    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 117    | 3' - 0 1/2"   | 6' - 8"      | Single Swinging                   | Interior |
| LEVEL 1           | 118    | 2' - 8 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 119    | 3' - 0 1/2"   | 6' - 8"      | Single Swinging                   | Interior |
| LEVEL 1           | 120    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 121    | 3' - 0 1/2"   | 6' - 7 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 122    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 123    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 124    | 2' - 10 1/2"  | 6' - 7"      | Single Swinging                   | Interior |
| LEVEL 1           | 125    | 2' - 8 1/2"   | 6' - 6"      | Single Swinging                   | Interior |
| LEVEL 1           | 126    | 2' - 4 1/2"   | 5' - 7 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 127    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging Self Closing Door | Interior |
| LEVEL 1           | 128    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging Self Closing Door | Interior |
| LEVEL 1           | 129    | 3' - 6"       | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 130    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 131    | 3' - 0 1/2"   | 6' - 9"      | Single Swinging                   | Interior |
| LEVEL 1           | 132    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging Self Closing Door | Interior |
| LEVEL 1           | 133    | 3' - 6 1/2"   | 6' - 9"      | Single Swinging Self Closing Door | Interior |
| LEVEL 1           | 134    | 3' - 0"       | 6' - 8"      | Single Swinging                   | Interior |
| LEVEL 1           | 135    | 3' - 0"       | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 136    | 3' - 0"       | 6' - 8"      | Single Swinging Self Closing Door | Interior |
| LEVEL 1           | 137    | 3' - 0 1/2"   | 6' - 11 1/2" | Single Swinging Self Closing Door | Interior |
| LEVEL 1           | 138    | 11' - 11 1/2" | 12' - 0"     | Garage                            | Interior |
| LEVEL 1           | 139    | 3' - 3 1/2"   | 7' - 1 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 140    | 10' - 3"      | 10' - 7 1/2" | Double Barn                       | Interior |
| LEVEL 1           | 141    | 3' - 3 1/2"   | 6' - 7"      | Single Swinging                   | Interior |
| LEVEL 1           | 142    | 10' - 3"      | Single Barn  | Interior                          |          |
| LEVEL 1           | 143    | 3' - 3 1/2"   | 6' - 7 1/2"  | Single Swinging                   | Interior |
| LEVEL 1           | 144    | 10' - 3 1/2"  | 10' - 2 1/2" | Single Barn                       | Interior |
| LEVEL 2           | 201    | 3' - 0"       | 6' - 8"      | Single Swinging Self Closing Door | Exterior |
| LEVEL 2           | 202    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 2           | 203    | 3' - 0 1/2"   | 6' - 8"      | Single Swinging                   | Interior |
| LEVEL 2           | 204    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 2           | 205    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 2           | 206    | 2' - 8 1/2"   | 6' - 9"      | Single Swinging                   | Interior |
| LEVEL 2           | 207    | 3' - 0"       | 6' - 9"      | Single Swinging                   | Interior |
| LEVEL 2           | 208    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging Self Closing Door | Interior |
| LEVEL 2           | 209    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 2           | 210    | 3' - 0 1/2"   | 6' - 8"      | Single Swinging                   | Interior |
| LEVEL 2           | 211    | 7' - 4 1/2"   | 8' - 10 1/2" | Accordion                         | Interior |
| LEVEL 2           | 212    | 3' - 0 1/2"   | 6' - 9"      | Single Swinging                   | Interior |
| LEVEL 2           | 213    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 2           | 214    | 3' - 0 1/2"   | 6' - 8"      | Single Swinging                   | Interior |
| LEVEL 2           | 215    | 3' - 0 1/2"   | 6' - 8 1/2"  | Single Swinging                   | Interior |
| LEVEL 2           | 216    | 3' - 0 1/2"   | 6' - 9"      | Single Swinging                   | Interior |

| [E] WINDOW SCHEDULE |        |              |              |                |
|---------------------|--------|--------------|--------------|----------------|
| Location            | Number | Width        | Height       | Operation      |
| LEVEL 1             | 101    | 7' - 2 1/2"  | 10' - 1 1/2" | Fixed          |
| LEVEL 1             | 102    | 7' - 2"      | 6' - 8"      | Fixed          |
| LEVEL 1             | 103    | 2' - 11"     | 2' - 11 1/2" | Double Sliding |
| LEVEL 1             | 104    | 1' - 10 1/2" | 1' - 10 1/2" | Fixed          |
| LEVEL 1             | 105    | 1' - 0 1/2"  | 5' - 0 1/2"  | Fixed          |
| LEVEL 1             | 106    | 1' - 0 1/2"  | 5' - 0 1/2"  | Fixed          |
| LEVEL 1             | 107    | 2' - 6"      | 2' - 1"      | Double Sliding |
| LEVEL 1             | 108    | 2' - 7 1/2"  | 1' - 11"     | Double Sliding |
| LEVEL 1             | 109    | 3' - 0"      | 3' - 0"      | Fixed          |
| LEVEL 1             | 110    | 3' - 0"      | 3' - 0"      | Fixed          |
| LEVEL 1             | 111    | 2' - 10"     | 2' - 0 1/2"  | Double Sliding |
| LEVEL 1             | 112    | 3' - 11"     | 3' - 10"     | Single Sliding |
| LEVEL 1             | 113    | 5' - 10 1/2" | 3' - 10"     | Single Sliding |
| LEVEL 1             | 114    | 3' - 11"     | 2' - 11 1/2" | Double Sliding |
| LEVEL 1             | 115    | 3' - 10 1/2" | 3' - 11"     | Single Sliding |
| LEVEL 1             | 116    | 3' - 10 1/2" | 3' - 10"     | Single Sliding |
| LEVEL 1             | 117    | 3' - 10 1/2" | 3' - 10"     | Custom Sliding |
| LEVEL 1             | 118    | 2' - 10 1/2" | 3' - 10"     | Custom Sliding |
| LEVEL 1             | 119    | 2' - 11 1/2" | 4' - 0"      | Fixed          |
| LEVEL 1             | 120    | 2' - 7 1/2"  | 3' - 7"      | Single Sliding |
| LEVEL 1             | 121    | 3' - 11"     | 3' - 11"     | Double Sliding |
| LEVEL 1             | 122    | 2' - 11 1/2" | 4' - 0"      | Fixed          |
| LEVEL 1             | 123    | 3' - 10 1/2" | 3' - 9 1/2"  | Single Sliding |
| LEVEL 1             | 124    | 4' - 0"      | 3' - 10 1/2" | Single Sliding |
| LEVEL 1             | 125    | 4' - 11"     | 3' - 9 1/2"  | Single Sliding |
| LEVEL 2             | 201    | 5' - 6 1/2"  | 2' - 9 1/2"  | Double Sliding |
| LEVEL 2             | 202    | 10' - 1 1/2" | 3' - 10"     | Fixed          |
| LEVEL 2             | 203    | 2' - 9 1/2"  | 2' - 9 1/2"  | Fixed          |

Grand total: 28

| [E] ROOM SCHEDULE | | |
| --- | --- | --- |
| Level | Name | Area |




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| No. | Description                     | Date     |
|-----|---------------------------------|----------|
| 8   | Equipment schedule was updated. | 05-15-24 |
|     |                                 |          |
|     |                                 |          |
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## FINISH SCHEDULE

| CEILINGS   | BASE   | FLOORING  | KEY  |
|--|--|---|--|
| REPACKING/STORAGE AREAS/COOLER /FREEZER ROOM<br><br>EX - 1 EXISTING EXPOSED CEILING<br>ACT-1 ACOUSTIC CEILING TILE - EXISTING 24" x 48"<br>GYP-1 GYPSUM BOARD CEILING - EXISTING<br><br>BREAKROOM<br>ACT-1 ACOUSTIC CEILING TILE - EXISTING 24" x 48"<br><br>OFFICE<br>GYP - 1 GYPSUM BOARD CEILING - EXISTING<br>ACT-1 ACOUSTIC CEILING TILE - EXISTING 24" x 48" | BATHROOM<br>GYP - 1 GYPSUM BOARD CEILING - EXISTING<br><br>JANITORIAL CLOSET<br>EX - 1 EXISTING EXPOSED CEILING<br>ACT-1 ACOUSTIC CEILING TILE - EXISTING 24" x 48"<br>GYP - 1 GYPSUM BOARD CEILING - EXISTING<br><br>LOCKER AREA<br>EX - 1 EXISTING EXPOSED CEILING | REPACKING/STORAGE AREAS/COLD ROOM/FREEZER ROOM/JANITORIAL CLOSET<br>RB-1 RUBBER BASE COVING - CEMENT 6" UP THE WALL AT A 3" RADIUS<br><br>BREAKROOM / OFFICE / BATHROOM<br>CT-1 CERAMIC TILE COVE BASE MANUFACTURER: DEL-TILE (SC3619T OR S3614T)<br>COLOR: GREY<br>SIZE: 6'X 6", SEE SHEET A2.2 DETAIL B | REPACKING/STORAGE AREAS/LOCKER AREAS/COOLER/FREEZER /LOCKER AREA<br>UNCOATED CEMENT FLOOR<br><br>BREAKROOM<br>LF-LINOLEUM FLOOR<br>RB-1 RUBBER BASE COVING<br><br>BATHROOM<br>LF-LINOLEUM FLOOR<br>CT-1 CERAMIC TILE COVE BASE MANUFACTURER: DEL-TILE (SC3619T OR S3614T)<br>COLOR: GREY<br>SIZE: 6'X 6", SEE SHEET A2.2 DETAIL B<br><br>OFFICES<br>CEM-1 CARPET WITH CEMENT |

## [E] EQUIPMENT LIST

| Area/Room                  | Equipment -Name                                | Code       | Type        | Zone | Frequency |
|----------------------------|--|------------|-------------|------|-----------|
| Dry Repack                 | Stainless Steel Table -SSB#1                   | R-SS-B#1   | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Table -SSB#2                   | R-SS-B#2   | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Table -SSB#3                   | R-SS-B#3   | Contact     | 1    | Monthly   |
| Refrigerated Cold Room     | Stainless Steel Table #2                       | R-SS-2     | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Table #3                       | R-SS-3     | Contact     | 1    | Monthly   |
| Refrigerated Cold Room     | Stainless Steel Table #5                       | R-SS-5     | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Table #7                       | R-SS-7     | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Table#9                        | R-SS-9     | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Table#10                       | R-SS-10    | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Table #14                      | R-SS-14    | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Table #16                      | R-SS-16    | Contact     | 1    | Monthly   |
| Refrigerated Cold Room     | Stainless Steel Table #17                      | R-SS-17    | Contact     | 1    | Monthly   |
| Refrigerated Cold Room     | Stainless Steel Table #18                      | R-SS-18    | Contact     | 1    | Monthly   |
| Refrigerated Cold Room     | Stainless Steel Table #20                      | R-SS-20    | Contact     | 1    | Monthly   |
| Dry repack                 | Stainless Steel Plate 6                        | R-SP-6     | Contact     | 1    | Monthly   |
| Refrigerated Cold Room     | Stainless Steel Plate 8                        | R-SP-8     | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Plate 9                        | R-SP-9     | Contact     | 1    | Monthly   |
| Dry Repack                 | Stainless Steel Plate 10                       | R-SP-10    | Contact     | 1    | Monthly   |
| Rearpack Electric Vehicles | Electric Pallet Jack #6                        | R-EP-6     | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Electric Pallet Jack #7                        | R-EP-7     | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Electric Pallet Jack #19                       | R-EP-19    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Electric Pallet Jack #22                       | R-EP-22    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Electric Pallet Jack #23                       | R-EP-23    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Electric Pallet Jack #24                       | R-EP-24    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Electric Pallet Jack #89                       | R-EP-89    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Sitdown Forklift #35                           | R-SF-35    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Sitdown Forklift #5                            | R-SF-5     | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Sitdown Forklift #2                            | R-SF-2     | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Double Reach Forklift #6                       | R-DRF-6    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Double Reach Forklift #11                      | R-DRF-11   | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Single Rider PJ #5                             | R-SRPJ-5   | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Single Rider PJ #583                           | R-SRPJ-583 | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Double Ryder PJ #8                             | R-DRPJ-8   | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Double Ryder PJ #13                            | R-DRPJ-13  | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Double Ryder PJ #12                            | R-DRPJ-12  | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Stand Up Forklift #1                           | R-SUF-1    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Stand Up Forklift #2                           | R-SUF-2    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Stand Up Forklift #3                           | R-SUF-3    | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Scissor Lift 1 (blue)                          | SL-1B      | Non-Contact | 3    | Monthly   |
| Rearpack Electric Vehicles | Scissor Lift 2                                 | SL-2       | Non-Contact | 3    | Monthly   |
| Rearpacking Dry Area       | Actionpak- hopper/filler (bulk dry product)    | R-AP       | Contact     | 1    | Monthly   |
| Rearpacking Area           | Kwik Lok- Bag Clip Closer -(potatoes)          | R-KL       | Non-Contact | 2    | Monthly   |
| Rearpacking Area           | Belco- Card/Bag sealer (dry product)           | R-BCO      | Non-Contact | 2    | Monthly   |
| Refrigerated Cold Room     | Oven Stretch Film Wrap #1-(product/tray wrap)  | R-OSW-1    | Non-Contact | 2    | Monthly   |
| Refrigerated Cold Room     | Oven Stretch Film Wrap #2- (product/tray wrap) | R-OSW-2    | Non-Contact | 2    | Monthly   |
| Refrigerated Cold Room     | Heat Tunnel #2                                 | R-HT-2     | Non-Contact | 2    | Monthly   |
| Refrigerated Cold Room     | ILA-Bar- Film Cutter                           | R-LBF      | Non-Contact | 2    | Monthly   |
| Dry Repack                 | 3 Faucet Hand Sink                             | R-HS#8     | Non-Contact | 2    | Monthly   |
| Dry Repack                 | Hand Sink                                      | R-HS#9     | Non-Contact | 2    | Monthly   |
| Dry Repack                 | 3 com sink                                     | R-3C       | Non-Contact | 2    | Monthly   |
| Break Room                 | Breakroom- hand Sink                           | HS#1       | Non-Contact | 4    | Monthly   |
| Women's Restroom           | Hand Sink                                      | HS#2       | Non-Contact | 4    | Monthly   |

## [E] EQUIPMENT LIST

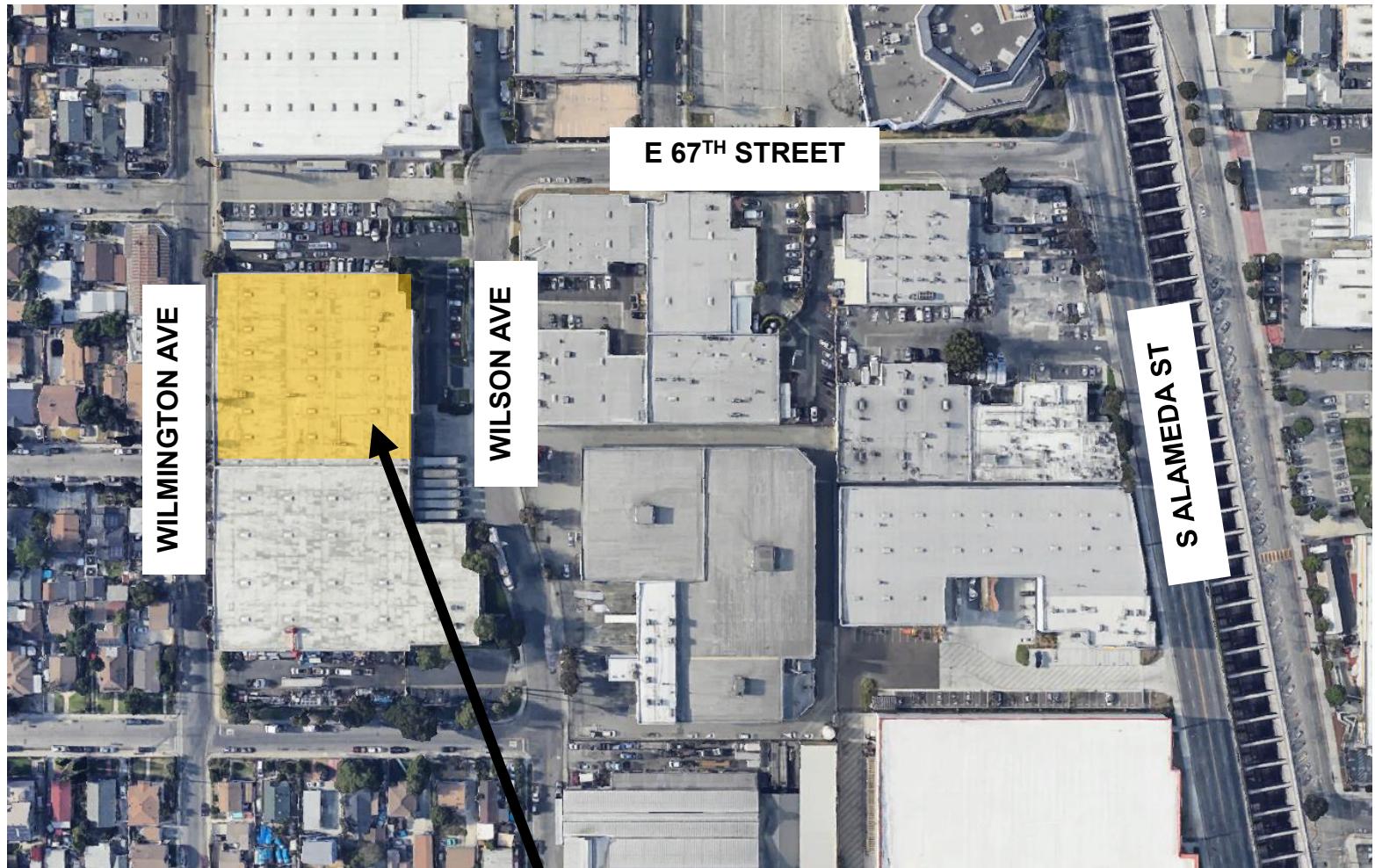
| Area/Room              | Equipment -Name             | Code      | Type        | Zone | Frequency |
|------------------------|-----------------------------|-----------|-------------|------|-----------|
| Women's Restroom       | Hand Sink                   | HS#3      | Non-Contact | 4    | Monthly   |
| Men's Restroom         | Hand Sink                   | HS#4      | Non-Contact | 4    | Monthly   |
| Unisex Restroom 1      | Handsink                    | HS#5      | Non-Contact |      | Monthly   |
| Unisex Restroom 2      | Handsink                    | HS#6      | Non-Contact |      | Monthly   |
| Single Office Restroom | Handsink                    | HS#7      | Non-Contact |      | Monthly   |
| Janitor Room           | Mop Sink                    | MS#1      |             |      | Monthly   |
| Rearpack Dry Area      | Trench Drain                | R-TD-1    | Non-Contact | 3    | Monthly   |
| Refrigerated Cold Room | Dock Door 6                 | CR-6RD    | Non-Contact | 4    | Monthly   |
| Refrigerated Cold Room | Dock Door 7                 | CR-7RD    | Non-Contact | 4    | Monthly   |
| Refrigerated Cold Room | Dock Door 8                 | CR-8RD    | Non-Contact | 4    | Monthly   |
| Refrigerated Cold Room | Dock Door 9                 | CR-9RD    | Non-Contact | 4    | Monthly   |
| Refrigerated Cold Room | Dock Door 10                | CR-10RD   | Non-Contact | 4    | Monthly   |
| Refrigerated Cold Room | Floor                       | CR-F      | Non-Contact | 3    | Monthly   |
| Refrigerated Cold Room | Wall                        | CR-W      | Non-Contact | 3    | Monthly   |
| Refrigerated Cold Room | Rack                        | CR-R      | Non-Contact | 3    | Monthly   |
| Dry Repack             | Floor                       | R1-F      | Non-Contact | 3    | Monthly   |
| Dry Repack             | Wall                        | R1-W      | Non-Contact | 3    | Monthly   |
| Dry Repack             | Rack                        | R1-R      | Non-Contact | 3    | Monthly   |
| Cooler 1               | Floor                       | C1-F      | Non-Contact | 4    | Monthly   |
| Cooler 1               | Wall                        | C1-W      | Non-Contact | 4    | Monthly   |
| Cooler 1               | Rack                        | C1-R      | Non-Contact | 4    | Monthly   |
| Cooler 2               | Floor                       | C2-F      | Non-Contact | 4    | Monthly   |
| Cooler 2               | Wall                        | C2-W      | Non-Contact | 4    | Monthly   |
| Cooler 2               | Rack                        | C2-R      | Non-Contact | 4    | Monthly   |
| Cooler 3               | Floor                       | C3-F      | Non-Contact | 4    | Monthly   |
| Cooler 3               | Wall                        | C3-W      | Non-Contact | 4    | Monthly   |
| Cooler 3               | Rack                        | C3-R      | Non-Contact | 4    | Monthly   |
| Freezer                | Floor                       | F1-F      | Non-Contact | 4    | Monthly   |
| Freezer                | Wall                        | F1-W      | Non-Contact | 4    | Monthly   |
| Freezer                | Rack                        | F1-R      | Non-Contact | 4    | Monthly   |
| Cooler 1               | catch pan Air handling unit | C1-AHU-1  | Non-Contact | 2    | Monthly   |
| Cooler 1               | catch pan Air handling unit | C1-AHU-2  | Non-Contact | 2    | Monthly   |
| Cooler 1               | catch pan Air handling unit | C1-AHU-3  | Non-Contact | 2    | Monthly   |
| Cooler 2               | catch pan Air handling unit | C2-AHU-1  | Non-Contact | 2    | Monthly   |
| Cooler 2               | catch pan Air handling unit | C2-AHU-2  | Non-Contact | 2    | Monthly   |
| Cooler 3               | catch pan Air handling unit | C3-AHU-1  | Non-Contact | 2    | Monthly   |
| Cooler 3               | catch pan Air handling unit | C3-AHU-2  | Non-Contact | 2    | Monthly   |
| Cooler 3               | catch pan Air handling unit | C3-AHU-3  | Non-Contact | 2    | Monthly   |
| Cooler 3               | catch pan Air handling unit | C3-AHU-4  | Non-Contact | 2    | Monthly   |
| Freezer                | catch pan Air handling unit | F1-AHU-1  | Non-Contact | 2    | Monthly   |
| Freezer                | catch pan Air handling unit | F1-AHU-2  | Non-Contact | 2    | Monthly   |
| Freezer                | catch pan Air handling unit | F1-AHU-3  | Non-Contact | 2    | Monthly   |
| Freezer                | catch pan Air handling unit | F1-AHU-4  | Non-Contact | 2    | Monthly   |
| Refrigerated Cold Room | catch pan Air handling unit | RCR-AHU-1 | Non-Contact | 2    | Monthly   |
| Refrigerated Cold Room | catch pan Air handling unit | RCR-AHU-2 | Non-Contact | 2    | Monthly   |
| Refrigerated Cold Room | Cooler strip curtain        | SC-1      | Non-Contact | 3    | Monthly   |
| Freezer                | Cooler strip curtain        | SC-2      | Non-Contact | 3    | Monthly   |
| Cooler-1               | Cooler strip curtain        | SC-3      | Non-Contact | 3    | Monthly   |
| Cooler-2               | Cooler strip curtain        | SC-4      | Non-Contact | 3    | Monthly   |
| Cooler-2               | Cooler strip curtain        |           |             |      |           |

# **VICINITY MAP**

**EXHIBIT E**

**CASE NO. 2024-06 CUP**

# VICINITY MAP



**SUBJECT SITE**  
**6701 WILSON AVE**



# **ZONING MAP**

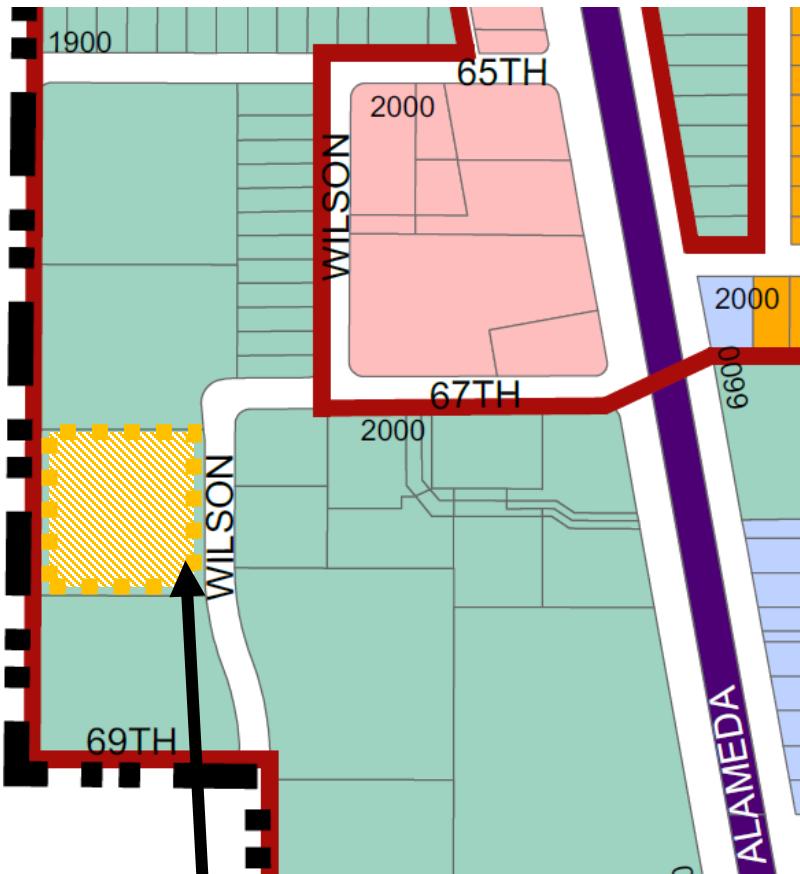
**EXHIBIT F**

**CASE NO. 2024-06 CUP**

# ZONING MAP

## LEGEND

- CG - Commercial General
- CN - Commercial Neighborhood
- CP - Commercial Professional
- PF - Public Facilities
- DTSP - Downtown Huntington Park Specific Plan
- RL - Low Density Residential (8.712 du/ac)
- RM - Medium Density Residential (17.424 du/ac)
- RH - High Density Residential (20 du/ac)
- MPD - Manufacturing Planned Development
- OS - Open Space
- T - Transportation
- Affordable Housing Overlay (70 du/ac)
- Medium Density Overlay (up to 17.424 du/ac)
- Senior Citizen Housing Overlay (225 du/ac)
- Single Room Occupancy Overlay (400 du/ac)
- Special Use Overlay Zone
- Historic District Overlay



**SUBJECT SITE**  
**6701 WILSON AVE**

# **NOTICE OF EXEMPTION**

**EXHIBIT G**

**CASE NO. 2024-06 CUP**

**Notice of Exemption****Appendix E**

**To:** Office of Planning and Research  
P.O. Box 3044, Room 113  
Sacramento, CA 95812-3044

**From:** (Public Agency): \_\_\_\_\_

County Clerk

County of: \_\_\_\_\_

(Address)

Project Title: \_\_\_\_\_

Project Applicant: \_\_\_\_\_

Project Location - Specific:

Project Location - City: \_\_\_\_\_ Project Location - County: \_\_\_\_\_

Description of Nature, Purpose and Beneficiaries of Project:

Name of Public Agency Approving Project: \_\_\_\_\_

Name of Person or Agency Carrying Out Project: \_\_\_\_\_

Exempt Status: **(check one):**

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption. State type and section number: \_\_\_\_\_
- Statutory Exemptions. State code number: \_\_\_\_\_

Reasons why project is exempt:

Lead Agency

Contact Person: \_\_\_\_\_ Area Code/Telephone/Extension: \_\_\_\_\_

**If filed by applicant:**

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? Yes \_\_\_\_\_ No \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_ Title: \_\_\_\_\_

Signed by Lead Agency      Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.      Date Received for filing at OPR: \_\_\_\_\_  
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.