



REGULAR MEETING AGENDA

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, November 15, 2023, at 6:30 p.m.

**Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255**

Any person who requires a disability-related modification or accommodation, including auxiliary aids or services, in order to participate in the public meeting may request such modification, accommodation, aid or service by contacting the City Clerk's Office either in person at 6550 Miles Avenue, Huntington Park, California or by telephone at (323) 584-6230. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

NOTE: Any person who has a question concerning any agenda item may contact the Community Development Department at (323) 584-6210. Materials related to an item on this agenda are available for inspection in the office of the Community Development Department at 6550 Miles Avenue, Huntington Park, California during the hours of 7:00 a.m. to 5:30 p.m., Monday through Thursday.

Assembly Bill No. 2674 amended several provisions of the Ralph M. Brown Act (Section 54950 et seq. of the Government Code) effective January 1, 1987. This bill prohibits the legislative body from taking any action on any item, which did not appear on the agenda, which was posted 24 hours prior to the Planning Commission meeting. If action is necessary on subject matter, which the public presents, the matter should be presented in writing to the Planning Division for placement on the agenda by Thursday noon prior to the next Planning Commission meeting.

CALL TO ORDER

ROLL CALL

Chair Jonathan Sanabria
Commissioner Angelica Montes
Commissioner Eduardo Carvajal
Commissioner Erika Nuno
Commissioner Ricardo Barba-Ochoa

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

*For both open and closed sessions, each speaker will be limited to three minutes per Huntington Park Municipal Code Section 2-1.207. Time limits may not be shared with other speakers and may not accumulate from one period of public comment to another or from one meeting to another. **This is the only opportunity for public input except for scheduled public hearing items.***

CONSENT ITEMS

All matters listed under the Consent Calendar are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items before the time the Commission votes on the motion unless members of the Commission, staff, or the public request specific items to be discussed and/or removed from the Consent Calendar for separate action.

1. MINUTES APPROVAL FOR SEPTEMBER 20, 2023, PLANNING COMMISSION MEETING
2. MINUTES APPROVAL FOR OCTOBER 11, 2023, SPECIAL PLANNING COMMISSION MEETING
3. MINUTES APPROVAL FOR OCTOBER 18, 2023, PLANNING COMMISSION MEETING
4. CANCELLATION OF REGULARLY HELD MEETING ON DECEMBER 20, 2023.
 - a. SPECIAL MEETING TO BE HELD DECEMBER 13, 2023.

REGULAR AGENDA

PUBLIC HEARINGS

1. **CASE NO. CUP-2023-05 CONDITIONAL USE PERMIT (CUP) - A REQUEST TO REVIEW EXISTING CONDITIONAL USE PERMIT (PREVIOUSLY APPROVED AS CASE NO. 1299-CUP) FOR A NIGHTCLUB WITH ON-SALE OF BEER AND WINE IN CONJUNCTION WITH LIVE ENTERTAINMENT AND DANCING AT AN EXISTING BUSINESS LOCATED AT 6927 PACIFIC BOULEVARD, LOCATED WITHIN DISTRICT B - FESTIVAL OF THE DOWNTOWN HUNTINGTON PARK SPECIFIC PLAN (DTSP).**

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Provide clarification on the erroneous case number assignment for CUP 2023-05
2. **CASE NO. CUP-1299 CONDITIONAL USE PERMIT (CUP) - A REQUEST TO REVIEW THE EXISTING CONDITIONAL USE PERMIT (1299-CUP) TO ALLOW ON-SALE BEER AND WINE IN CONJUNCTION WITH LIVE ENTERTAINMENT AND DANCING AT AN EXISTING BUSINESS LOCATED AT 6927 PACIFIC BOULEVARD, LOCATED WITHIN DISTRICT B - FESTIVAL OF THE DOWNTOWN HUNTINGTON PARK SPECIFIC PLAN (DTSP).**

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Receive a presentation of the Review from City staff
2. Open the public hearing and receive public testimony
3. Provide comments on the Review
4. Render a decision based on the Staff Report and Resolution
3. **CASE NO. 2023-05 CONDITIONAL USE PERMIT TRANSFER (CUPTR) - A REQUEST FOR A CONDITIONAL USE PERMIT TRANSFER FOR THE CONTINUED OPERATION OF AN AUTOMOBILE SALES DEALERSHIP ON PROPERTY LOCATED AT 6333 S. ALAMEDA STREET, WITHIN THE COMMERCIAL GENERAL (CG) ZONE.**

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Provide clarification on the erroneous case number assignment for CUPTR 2023-05

4. CASE NO. 2022-01 VARIANCE (V), CASE NO. 2022-01 DEVELOPMENT PERMIT (DP) AND CASE NO. 2023-02 TENTATIVE TRACT MAP (TTM) – A REQUEST FOR A VARIANCE, DEVELOPMENT PERMIT, AND TENTATIVE TRACT MAP FOR THE CONSTRUCTION OF FOUR (4) TWO-STORY SINGLE FAMILY DWELLING UNITS AT 7040 NEWELL STREET, WITHIN THE HIGH DENSITY RESIDENTIAL (R-H) ZONE.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Receive a presentation of the Project from City staff
2. Open the public hearing and receive public testimony
3. Provide comments on the Project
4. Render a decision based on the findings stipulated in the Staff Report and Resolution

RECEIVE AND FILE

1. No items scheduled.

STAFF COMMENTS

PLANNING COMMISSION COMMENTS

ADJOURNMENT

The City of Huntington Park Planning Commission will adjourn until the next special meeting on Wednesday, December 13, 2023, at 6:30 p.m.

I, Steve Forster, hereby certify under penalty of perjury under the laws of the State of California that the foregoing notice and agenda were posted at the City of Huntington Park City Hall and made available at www.hpca.gov not less than 72 hours before the meeting.



Steve Forster
Community Development Director



MINUTES

CITY OF HUNTINGTON PARK REGULAR PLANNING COMMISSION

Wednesday, September 20th, 2023, at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chairperson Jonathan Sanabria called the meeting to order at 6:56 p.m.

PRESENT IN PERSON: Chairperson Jonathan Sanabria, Commissioner Angelica Montes, Commissioner Eduardo Carvajal, and Commissioner Ricardo Barba-Ochoa.

ABSENT: Commissioner Erika Nuno

STAFF PRESENT: Community Development Director, Steve Forster; Planning Division Manager, Luis Rodriguez; Associate Planner, Lemesis Quintero and Assistant Planner, Jordan Martinez

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Chairperson Sanabria.

PUBLIC COMMENT

Somos Advisor's Partner, Alfred Fraijo, opened public comment regarding Case No. 1660R-CUP's request to consider the revocation and any extensions or permits in connection with resolution No. 1660-CUP. Mr. Fraijo approached the stand and requested a translator. Mr. Fraijo stated that there are a significant number of supporters for the aforementioned item, he requested for the item be moved up in the agenda.

CONSENT ITEMS –

The Approval of Planning Commission Meeting Minutes for August 16, 2023, was cancelled due to lack of quorum.

PRESENTATIONS

1. **CASE NO. CUP-2023-05 CONDITIONAL USE PERMIT (CUP) - A REQUEST TO REVIEW EXISTING CONDITIONAL USE PERMIT (PREVIOUSLY APPROVED AS CASE NO. 1299-CUP) FOR A NIGHTCLUB WITH ON-SALE OF BEER AND WINE IN CONJUNCTION WITH LIVE ENTERTAINMENT AND DANCING AT AN EXISTING BUSINESS LOCATED AT 6927 PACIFIC BOULEVARD, LOCATED WITHIN**

DISTRICT B - FESTIVAL OF THE DOWNTOWN HUNTINGTON PARK SPECIFIC PLAN (DTSP).

Community Development Director Steve Forster stated that Planning Division Staff has routed the item and comments are pending. Community Development Director Forster requested the item be continued.

Chairperson Sanabria motioned to **Approve** continuing **CASE NO. CUP-2023-05 CONDITIONAL USE PERMIT (CUP)** for Planning Commission Meeting in October, seconded by Commissioner Ricardo Barba-Ochoa. Motion **passed 4-0-1**, by the following vote:

AYES: Commissioner(s): Commissioner Ricardo Barba-Ochoa
Commissioner Eduardo Carvajal
Commissioner Angelica Montes
Chairperson Jonathan Sanabria

ABSENT: Commissioner(s): Commissioner Erika Nuno

2. CASE NO. 2023-03 CONDITIONAL USE PERMIT TRANSFER (CUPTR) - A REQUEST FOR A CONDITIONAL USE PERMIT TRANSFER FOR THE CONTINUED OPERATION OF AN AUTOMOBILE BODY REPAIR CENTER AT PROPERTY LOCATED AT 6000 S. ALAMEDA STREET, WITHIN THE MANUFACTURING PLANNED DEVELOPMENT (MPD) ZONE

Associate Planner, Lemessis Quintero presented a PowerPoint to the Commission describing the request for a Conditional Use Permit Transfer allowing the use of an automobile body repair center. Associate Planner Quintero provided background information on the business, previous entitlement and provided details related to the operation of the business. The presentation included the environmental review and conditions of approval.

With no more comments from the Commission or Staff, Chairperson Sanabria, seconded by Commissioner Barba-Ochoa to **Approve CASE NO. 2023-03 CONDITIONAL USE PERMIT TRANSFER (CUPTR)**. Motion **passed 4-0-1**, by the following vote:

AYES: Commissioner(s): Commissioner Ricardo Barba-Ochoa
Commissioner Eduardo Carvajal
Commissioner Angelica Montes
Chairperson Jonathan Sanabria

ABSENT: Commissioner(s): Commissioner Erika Nuno

3. **CASE NO. 2023-04 CONDITIONAL USE PERMIT TRANSFER (CUPTR) - A REQUEST FOR A CONDITIONAL USE PERMIT TRANSFER FOR THE CONTINUED OPERATION OF AN AUTOMOBILE SALES DEALERSHIP ON PROPERTY LOCATED AT 6201 S. ALAMEDA STREET, WITHIN THE COMMERCIAL GENERAL (CG) ZONE.**

Associate Planner, Lemessis Quintero presented a PowerPoint to the Commission describing the request for a Conditional Use Permit Transfer allowing the use of an automobile sales dealership. Associate Planner Quintero provided background information on the business, previous entitlement, and provided details related to the operation of the business. The presentation included the environmental review and conditions of approval.

With no more comments from the Commission or Staff, Chairperson Sanabria, seconded by Commissioner Barba-Ochoa to **Approve CASE NO. 2023-04 CONDITIONAL USE PERMIT TRANSFER (CUPTR).** Motion **passed 4-0-1,** by the following vote:

AYES: Commissioner(s): Commissioner Ricardo Barba-Ochoa
Commissioner Eduardo Carvajal
Commissioner Angelica Montes
Chairperson Jonathan Sanabria

ABSENT: Commissioner(s): Commissioner Erika Nuno

4. **CASE NO. 2023-05 CONDITIONAL USE PERMIT TRANSFER (CUPTR) - A REQUEST FOR A CONDITIONAL USE PERMIT TRANSFER FOR THE CONTINUED OPERATION OF AN AUTOMOBILE SALES DEALERSHIP ON PROPERTY LOCATED AT 6333 S. ALAMEDA STREET, WITHIN THE COMMERCIAL GENERAL (CG) ZONE.**

Community Development Director Steve Forster stated that City staff is conducting research on previous entitlements associated with the subject site. Community Development Director Forster requested the item be continued.

Chairperson Sanabria motioned to **Approve** continuing **CASE NO. 2023-05 CONDITIONAL USE PERMIT TRANSFER (CUPTR)** for the Planning Commission Meeting in October, seconded by Commissioner Ricardo Barba-Ochoa. Motion **passed 4-0-1,** by the following vote:

AYES: Commissioner(s): Commissioner Ricardo Barba-Ochoa
Commissioner Eduardo Carvajal
Commissioner Angelica Montes
Chairperson Jonathan Sanabria

ABSENT: Commissioner(s): Commissioner Erika Nuno

5. **CASE NO. 1660R-CUP – CONDITIONAL USE PERMIT – A REQUEST TO CONSIDER THE REVOCATION OF RESOLUTION NO. 1660-CUP AND ANY EXTENSIONS OR PERMITS IN CONNECTION WITH RESOLUTION NO. 1660-CUP, IN CONJUNCTION WITH A SMALL COLLECTION FACILITY FOR RECYCLABLE MATERIALS WITHIN THE PARKING LOT OF AN EXISTING SHOPPING CENTER LOCATED AT 6000-6046 PACIFIC BOULEVARD, WITHIN THE COMMERCIAL GENERAL (CG) ZONE.**

Community Development Director Steve Forster stated that City staff along with the City Attorney is reviewing new information associated with the subject site. Community Development Director Forster requested the item be continued.

Chairperson Sanabria motioned to **Approve** continuing **CASE NO. 1660R-CUP – CONDITIONAL USE PERMIT** for the Planning Commission Meeting in October, seconded by Commissioner Ricardo Barba-Ochoa. Motion **passed 4-0-1**, by the following vote:

AYES: Commissioner(s): Commissioner Ricardo Barba-Ochoa
Commissioner Eduardo Carvajal
Commissioner Angelica Montes
Chairperson Jonathan Sanabria

ABSENT: Commissioner(s): Commissioner Erika Nuno

PUBLIC COMMENT

Somos Advisor's Partner, Alfred Fraijo, expressed his frustration with the decision of the Planning Commission to continue Item No. 5 to the next Planning Commission Meeting. Mr. Fraijo argued that since the item was on the agenda 72 hours before the meeting, the item should be presented.

RECEIVE AND FILE – No items to present.

STAFF COMMENTS

Director Forster provided brief updates regarding ongoing development projects:

- Farmer Boys is up and running. The business has been doing very well so far.
- Raising Canes has broken ground.
- City Council acted on approving Grant Funding for the community.

PLANNING COMMISSION COMMENTS

1. Commissioner Barba-Ochoa thanked staff for their continuing efforts in compiling the data needed to get the right information to the Commissioners.

2. Commissioner Carvajal thanked staff and Community Development Director Steve Forster for all the hard work and concurring improvements in the City.
3. Commissioner Montes shared the same sentiment as her fellow commissioners. Ms. Montes thanked staff for the work completed to inform the Commission.
4. Chairperson Sanabria Thanked staff for the wonderful presentations. Mr. Sanabria said that he looks forward to future meetings.

ADJOURNMENT

At 7:34 p.m. the City of Huntington Park Planning Commission was adjourned to a Regular Meeting on Wednesday, October 18, 2023, at 6:30 p.m.

Respectfully Submitted,



Steve Forster
Community Development Director



MINUTES

CITY OF HUNTINGTON PARK SPECIAL PLANNING COMMISSION

Wednesday, October 11th, 2023, at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chairperson Jonathan Sanabria called the meeting to order at 6:33 p.m.

PRESENT IN PERSON: Chairperson Jonathan Sanabria, Commissioner Angelica Montes, Commissioner Erika Nuno, and Commissioner Ricardo Barba-Ochoa.

ABSENT: Commissioner Eduardo Carvajal

STAFF PRESENT: Community Development Director, Steve Forster, and Planning Division Manager, Luis Rodriguez.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Chairperson Sanabria.

PUBLIC COMMENT – None

CONSENT ITEMS – None

PRESENTATIONS

1. **CASE NO. 2023-01 GENERAL PLAN AMENDMENT AND ZONING ORDINANCE AMENDMENT (GPA-ZOA) – CONSIDERATION AND RECOMMENDATION TO THE CITY COUNCIL TO ADOPT THE CITY OF HUNTINGTON PARK'S HOUSING ELEMENT UPDATE, HEALTH AND SAFETY ELEMENT UPDATE, LAND USE ELEMENT UPDATE, ZONING ORDINANCE AMENDMENT, AND ZONING MAP AMENDMENT FOR CONSISTENCY WITH THE GENERAL PLAN AMENDMENTS TO IMPLEMENT THE 2021-2029 HOUSING ELEMENT UPDATE**

Community Development Director Steve Forster introduced the consultant team of Rincon Consultants. Consultant Principal Kimiko Lizardi presented a PowerPoint to the Commission explaining the resolution and ordinance to adopt the Housing Element (2021-2029), Health and Safety Element, Amendments to the Land Use Element, and Ordinance Amending the Zoning Code and Zoning Map to implement the Housing Element. Ms. Lizardi provided information on the Updates to the City's General Plan, as well as Housing Element Goals, Housing Plan, and Transit Oriented Development (TOD).

Director Forster pointed out that the 10 Zoning Code Amendments aren't an effort to transfer the balance of power from the Planning Commission and/or City Council to a Department Head. Director Forster explained that these were negotiated and codified via state law in requirements for upcoming housing laws by the State. In the eyes of the State, this needs to be ministerial and done at a department level rather than go to formal hearings before the Planning Commission and/or the City Council.

Chairperson Jonathan Sanabria asked about section 4 of the Zoning Code Amendments (Removes constraints in existing zoning regulations to provide reasonable accommodations for housing designed for persons with disabilities).

Director Forster explained that there have been conversations with HCD regarding ADA applying to this section. The State of California is now trying to govern when exceptions take place, which is not the state's authority. The premise was that they wanted to take out the potential opportunity of having someone with disabilities explain this before a Planning Commission or a City Council.

Chairperson Jonathan Sanabria asked about churches and how to abuse their land in order to bring in some revenue. Director Forster said that there has not been a re-zoning of churches, but depending on what gets approved in the near future might change the course of development. Principal Consultant Lizardi mentioned that there is a passed state law that allows churches to build affordable housing so there was no need for re-zoning.

With no more comments from the Commission or Staff, Chairperson Sanabria, seconded by Commissioner Barba-Ochoa to **Approve CASE NO. 2023-01 GENERAL PLAN AMENDMENT AND ZONING ORDINANCE AMENDMENT (GPA-ZOA).** Motion **passed 4-0-1,** by the following vote:

AYES: Commissioner(s): Commissioner Ricardo Barba-Ochoa
Commissioner Erika Nuno
Commissioner Angelica Montes
Chairperson Jonathan Sanabria

NOES: Commissioner(s): None

ABSENT: Commissioner(s): Commissioner Eduardo Carvajal

PUBLIC COMMENT – None

RECEIVE AND FILE – No items to present.

STAFF COMMENTS

Director Forster invited the Planning Commission to take a tour and look at opportunity zones and economic development throughout the City. Director Forster explained that it would allow them to see what other departments in the City are doing in conjunction with capital improvement projects, street improvement projects, and what new stores and restaurants are coming into town. Director Forster said he could facilitate this in case the Planning Commission is interested.

PLANNING COMMISSION COMMENTS

1. Commissioner Barba-Ochoa thanked staff and Rincon Consultant for their great work. Mr. Barba-Ochoa also said that even though the Housing Element is a huge project, he sees it as a big and positive challenge for the City.
2. Commissioner Nuno mentioned she feels privileged to be a part of the Planning Commission and said she is grateful for these meetings that help make the right decisions for the City.
3. Commissioner Montes shared the same sentiment as her fellow commissioners and expressed her gratitude to staff and Director Forster for making things actually happen. Ms. Montes said that she feels very honored to be a Commissioner.
4. Chairperson Sanabria thanked Director Forster for the amazing work he is doing in completing projects like the Housing Element.

ADJOURNMENT

At 7:37 p.m. the City of Huntington Park Planning Commission was adjourned to a Regular Meeting on Wednesday, October 18, 2023, at 6:30 p.m.

Respectfully Submitted,



Steve Forster
Community Development Director



MINUTES

CITY OF HUNTINGTON PARK REGULAR PLANNING COMMISSION

Wednesday, October 18th, 2023, at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chairperson Jonathan Sanabria called the meeting to order at 6:30 p.m.

PRESENT IN PERSON: Chairperson Jonathan Sanabria, Commissioner Erika Nuno, and Commissioner Ricardo Barba-Ochoa.

ABSENT: Commissioner Eduardo Carvajal, and Commissioner Angelica Montes

STAFF PRESENT: Community Development Director, Steve Forster; Planning Division Manager, Luis Rodriguez; and Associate Planner, Lemesis Quintero.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Chairperson Sanabria.

PUBLIC COMMENT

CONSENT ITEMS – Approve Planning Commission Meeting Minutes:

1. Regular Planning Commission Meeting held on August 16, 2023

MOTION: Commissioner Ricardo Barba-Ochoa to approve Minutes, seconded by Commissioner Nuno. Motion **passed 3-0-2**, by the following vote:

AYES:	Commissioner(s):	Commissioner Ricardo Barba-Ochoa Commissioner Erika Nuno Chairperson Jonathan Sanabria
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NOES:	Commissioner(s):	None
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ABSENT:	Commissioner(s):	Commissioner Eduardo Carvajal. Commissioner Angelica Montes
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The Approval of Planning Commission Meeting Minutes for September 20, 2023, was postponed due to a lack of quorum

PRESENTATIONS

1. **CASE NO. CUP-2023-05 CONDITIONAL USE PERMIT (CUP)** - A REQUEST TO REVIEW EXISTING CONDITIONAL USE PERMIT (PREVIOUSLY APPROVED AS CASE NO. 1299-CUP) FOR A NIGHTCLUB WITH ON-SALE OF BEER AND WINE IN CONJUNCTION WITH LIVE ENTERTAINMENT AND DANCING AT AN EXISTING BUSINESS LOCATED AT 6927 PACIFIC BOULEVARD, LOCATED WITHIN DISTRICT B - FESTIVAL OF THE DOWNTOWN HUNTINGTON PARK SPECIFIC PLAN (DTSP).

Community Development Director Steve Forster stated that Planning Division Staff has routed the item and comments are pending. Community Development Director Forster requested the item be continued.

Chairperson Sanabria motioned to **Approve** continuing **CASE NO. CUP-2023-05 CONDITIONAL USE PERMIT (CUP)** for Planning Commission Meeting in November, seconded by Commissioner Ricardo Barba-Ochoa. Motion **passed 3-0-2**, by the following vote:

AYES: Commissioner(s): Commissioner Ricardo Barba-Ochoa
Commissioner Erika Nuno
Chairperson Jonathan Sanabria

NOES: Commissioner(s): None

ABSENT: Commissioner(s): Commissioner Eduardo Carvajal
Commissioner Angelica Montes

2. **CASE NO. 2023-05 CONDITIONAL USE PERMIT TRANSFER (CUPTR)** - A REQUEST FOR A CONDITIONAL USE PERMIT TRANSFER FOR THE CONTINUED OPERATION OF AN AUTOMOBILE SALES DEALERSHIP ON PROPERTY LOCATED AT 6333 S. ALAMEDA STREET, WITHIN THE COMMERCIAL GENERAL (CG) ZONE.

Community Development Director Steve Forster stated that Planning Division Staff has routed the item and comments are pending. Community Development Director Forster requested the item be continued.

Chairperson Sanabria motioned to **Approve** continuing **CASE NO. 2023-05 CONDITIONAL USE PERMIT TRANSFER (CUPTR)** for the Planning Commission Meeting in November, seconded by Commissioner Ricardo Barba-Ochoa. Motion **passed 3-0-2**, by the following vote:

AYES: Commissioner(s): Commissioner Ricardo Barba-Ochoa
Commissioner Erika Nuno
Chairperson Jonathan Sanabria

NOES: Commissioner(s): None

ABSENT: Commissioner(s): Commissioner Eduardo Carvajal
Commissioner Angelica Montes

3. CASE NO. 2023-04 CONDITIONAL USE PERMIT (CUP) – A REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW A TYPE 20 (BEER AND WINE) ALCOHOLIC BEVERAGE CONTROL (ABC) LICENSE IN CONNECTION WITH A GROCERY STORE LOCATED AT 2857 E. FLORENCE AVE WITHIN THE COMMERCIAL GENERAL (C-G) ZONE.

Associate Planner, Lemessis Quintero presented a PowerPoint to the Commission describing the request for a Conditional Use Permit allowing a type 20 alcoholic beverage control license. Associate Planner Quintero provided background information on the business and provided details related to the operation of the business. The presentation included the environmental review and conditions of approval. The six findings needed to recommend approval of the Conditional Use Permit were met.

PUBLIC COMMENT & QUESTIONS

Commissioner Barba-Ochoa pointed out that there was an accident with a water leak at the corner of the mentioned location by Associate Planner Quintero. Mr. Barba-Ochoa asked if the water problem was fixed.

Director Forster said that it has been resolved and that it also triggered multiple Code Enforcement responses to the entire property. Mr. Forster added that some of the work that is surrounding the building and tenant improvements are part of an investigation that is being conducted inside the building.

Commissioner Barba-Ochoa requested for the site to provide checks for backflow devices. Mr. Barba-Ochoa explained that the City is a single pressure zone, meaning that the City does not have the greatest pressure because of all the equipment used.

Director Forster responded that the water filtration operations would have to go through Building and Safety and would include a backflow type prevention for the individualized location. Being that is a commercial building, it would be subject to putting a backflow preventer on there. Director Forster said that he would discuss it with Code Enforcement and Building and Safety to make it a condition.

Applicant, Oscar Vaquero approached the podium to express his sentiment to be able to provide more business operations to the community.

With no more comments from the Commission or Staff, Chairperson Sanabria, seconded by Commissioner Barba-Ochoa to **Approve CASE NO. 2023-04 CONDITIONAL USE PERMIT (CUP).** Motion **passed 3-0-2,** by the following vote:

AYES: Commissioner(s): Commissioner Ricardo Barba-Ochoa
Commissioner Erika Nuno
Chairperson Jonathan Sanabria

NOES: Commissioner(s): None

ABSENT: Commissioner(s): Commissioner Eduardo Carvajal
Commissioner Angelica Montes

RECEIVE AND FILE – No items to present.

STAFF COMMENTS

Community Development Director Steve Forster mentioned that both the Housing and Safety Element were adopted on a 5-0 motion at the City Council Meeting on October 17th, 2023. Director Forster asked the Commission to consider moving the Regular Planning Commission December Meeting to an earlier date, taking place on Wednesday, December 13th, 2023.

Director Forster cordially invited the Commission to the Holiday Parade that will happen on December 9th, 2023.

PLANNING COMMISSION COMMENTS

1. Commissioner Barba-Ochoa expressed his gratitude to staff for their hard work. Mr. Barba-Ochoa thanked Director Forster and staff for the adoption of Housing Element.
2. Commissioner Nuno thanked staff and Director Forster for their hard work and expressed that it has been a pleasure to be a Commissioner to such an amazing team
3. Chairperson Sanabria Thanked staff for being concise and straight to the point when it comes to presenting different projects.

ADJOURNMENT

At 6:56 p.m. the City of Huntington Park Planning Commission was adjourned to a Regular Meeting on Wednesday, November 15, 2023, at 6:30 p.m.

Respectfully Submitted,



Steve Forster
Community Development Director



CITY OF HUNTINGTON PARK

PLANNING DIVISION AGENDA REPORT

DATE: NOVEMBER 15, 2023

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTN: STEVE FORSTER, COMMUNITY DEVELOPMENT DIRECTOR

FROM: JORDAN MARTINEZ, ASSISTANT PLANNER

SUBJECT: PLANNING COMMISSION REVIEW OF CASE NO. 1299-CUP
(CONDITIONAL USE PERMIT)

REQUEST: A REQUEST TO REVIEW THE EXISTING CONDITIONAL USE PERMIT (1299-CUP) TO ALLOW ON-SALE BEER AND WINE IN CONJUNCTION WITH LIVE ENTERTAINMENT AND DANCING AT AN EXISTING BUSINESS LOCATED AT 6927 PACIFIC BOULEVARD, LOCATED WITHIN DISTRICT B - FESTIVAL OF THE DOWNTOWN HUNTINGTON PARK SPECIFIC PLAN (DTSP).

APPLICANT: City of Huntington Park
6550 Miles Avenue
Huntington Park, CA 90255

BUSINESS OWNER: Isidra Barba De San Juan
2735 Olive Street
Huntington Park, CA 90255

PROPERTY OWNER: Rosado Mercedes
1050 W. Foothill Boulevard
Arcadia, CA 91006

PROPERTY OWNER'S MAILING ADDRESS: 6927 Pacific Boulevard
Huntington Park, CA 90255

PROJECT LOCATION: 6927 Pacific Boulevard

ASSESSOR'S PARCEL NUMBER: 6322-023-018

CURRENT USE: Nightclub

LOT SIZE: 8,572 square feet

BUILDING SIZE: 4,824 square feet

GENERAL PLAN: Downtown Huntington Park Specific Plan (DTSP)

ZONE: District B (Festival) - DTSP

SURROUNDING LAND USES:

North: District B (Festival) - DTSP
West: District C (Neighborhood) - DTSP
South: District B (Festival) - DTSP
East: District B (Festival) - DTSP

MUNICIPAL CODE APPLICABILITY OF REQUIREMENTS FOR CONDITIONAL PERMIT REVIEW:

Pursuant to Huntington Park Municipal Code (HPMC) Section 9-2.1107, the Planning Commission may impose a condition that requires subsequent review of the permit’s continuing compatibility and condition compliance at specified time intervals.

The current business (Kalua’s Night Club) at the property possesses a Conditional Use Permit (1299-CUP) with conditions of approval. Condition of Approval number 11 from Resolution No. 1299 states, “the permit shall be subject to review for compliance with conditions of issuance at such intervals as the City Planning Commission shall deem appropriate...” Therefore, the entitlement is now being called into review by staff to ensure that the business is operating in compliance with the original conditions of approval and with the Municipal Code. The review also includes updates to the existing conditions of approval language.

REQUIRED FINDINGS FOR NOTICE OF DECISION - COMMISSION:

The Commission shall announce and record its decision after the conclusion of the scheduled public hearing. The decision shall contain the action of the Commission, including all findings, conditions of approval and reporting/monitoring requirements deemed necessary to

mitigate any impacts and protect the health, safety and welfare of the City.

Following the Commission's action, a notice of the decision and any conditions of approval shall be mailed to the applicant at the address shown upon the application. The decision of the Commission shall be final unless appealed to the Council or called for review by the Council, as provided for in this Article:

The recommendation with findings of the Commission for the following applications shall be transmitted to the Council for final action:

1. Development Agreements
2. General Plan Amendments;
3. Specific Plans;
4. Zoning Code Amendments; and;
5. Zoning Map Amendments.

**ENVIRONMENTAL
REVIEW:**

Categorically Exempt from further environmental review pursuant to Article 19, Section 15321, Class 21 (Enforcement Actions by Regulatory Agencies) of the California Environmental Quality Act (CEQA) Guidelines.

BACKGROUND:

- ***Site Description***

The subject site is located along the western side of Pacific Boulevard. Saturn Avenue is located to the north, an alley is located to the west of the property, and Florence Avenue is located to the south. The site measures approximately 8,572 square feet. The site is developed with an existing multi-tenant commercial building, measuring approximately 4,824 square feet, where the existing business (Kalua's Night Club) occupies approximately 2,393 square feet. The subject site is surrounded by commercial uses to the north, east, and south along with residential uses located to the west.

- ***Resolution No. 1299***

Resolution No. 1299 granted a Conditional Use Permit to Mr. Victor Becerra to allow on-sale beer and wine in conjunction with live entertainment and dancing for the property at 6925-27 Pacific Boulevard on July 3, 1990. The Planning Commission approved the CUP subject to conditions. Resolution No. 1299 included a total of twenty-four (24) conditions of approval. This entitlement was transferred to the current business owner (Isidra Barba De San Juan) of the Kalua's Nigh Club on February 9, 2017 via a CUP Transfer. The entitlement allows for the on-sale of beer and wine with live entertainment at the property

- ***Business Operation***

Isidra Barba De San Juan is the current business owner for the Kalua's Night Club at 6927 Pacific Boulevard. The business is operating with the on-sale of beer and wine in conjunction with live entertainment and dancing. The business license for Kalua's Night Club was approved January 18, 2017. The business operates Monday to Sunday from 12:00 PM to 2:00 AM. Ingress and egress to the business is available from Pacific Boulevard to the east and the alley located to the west. The business has a parking lot in the rear of the business for patrons as well (11 compact and 1 handicapped spaces).

- ***Site Inspection***

The business has drawn several complaints from neighboring residents and businesses. As a result, City Staff conducted a site inspection at the business on February 28, 2023, to review the business's compliance with the Municipal Code and Conditions of Approval under Resolution No. 1299. Staff observed some deviations from the approved Resolution and noted some conditions that can be updated to ensure compliance to today's Municipal Code that were not a part of the original conditions of approval. For instance, there is an inoperable phone booth located in front of the business. Additionally, a billiard table was present at the business. However, there is no mention of a billiard table being a part of Resolution No. 1299. Also, the seating configuration poses as a safety hazard, because aisles are obstructing walking paths for staff and patrons.

ANALYSIS:

- **Noise**

The night club's operation has drawn several noise complaints from the neighboring residential uses located immediately to the west of the property. The Huntington Park Police Department responded to multiple service calls to the business. The calls included excessive loud music, loitering in the rear parking lot, fights, etc. The business closes until 2:00 AM every day. As such, residents have to deal with the disturbances on a daily basis. Knowing this, Staff is recommending that the rear door be kept close and serve as an emergency exit only. Entry and exit shall be restricted to Pacific Boulevard. In doing so, noise spillover will be reduced for the residential uses across the alley located to the west of the business. Furthermore, patrons will not be loitering around the rear of the business in the alley because entry would be from Pacific Boulevard only.

- **Conditions of Approval**

Resolution No. 1299 has twenty-four (24) conditions of approval. The entitlement (1299-CUP) was reviewed by City Departments and Divisions to check if they have any concerns or questions about the operation. It also provided them with the opportunity to include measures to facilitate in the business's goal to comply with the Municipal Code. Consequently, Resolution No. 1299 now includes new updated conditions of approval that are current with the Municipal Code and relevant to the business's existing state of affairs.

CONCLUSION:

Based on the above analysis, staff has recommended the adoption of updated conditions of approval for Resolution No. 1299 to allow on-sale beer and wine in conjunction with live entertainment and dancing for the property at 6927 Pacific Boulevard. In doing so, the operation of the business will adhere to the Huntington Park Municipal Code and mitigate any impacts and protect the health, safety and welfare of the City. However, the Planning Commission may approve, deny, or request modifications to the entitlement.

RECOMMENDATION:

Based on the evidence presented, it is the recommendation of Planning Division Staff that the Planning Commission

approve the updated conditions of approval to **Resolution No. 1299 and rename it to PC Resolution No. 1299 CUP.**

**CONDITIONS OF APPROVAL:
PLANNING**

1. That the applicant/property owner and each successor in interest to the property which is the subject of this project shall defend, indemnify and hold harmless the City of Huntington Park and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, City Council, or Planning Commission. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications and plans submitted.
3. The proposed project shall comply with all applicable federal, state and local agency codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Zoning, and Business License Regulations of the City of Huntington Park.
4. The property be developed and maintained in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal Code.
5. All proposed on-site utilities, including electrical and equipment wiring, shall be installed underground and/or routed along the ground floor and shall be completely concealed from public view as required by the City prior to authorization to operate.
6. That any existing and/or future graffiti, as defined by the Huntington Park Municipal Code Section 5-27.02(d), shall be diligently removed within a reasonable time period.
7. That the operator shall obtain a valid City of Huntington Park Business License prior to commencing business operations.
8. That no loitering or consumption of alcohol take place outside of the establishment or in surrounding parking area(s) and that sign be posted in both English and Spanish on the site prohibiting such activities. The number, design, location, size and text of the signs shall be subject of Planning Division and Police Department review and approval.
9. That the hours of operation shall be Monday to Sunday from 12:00 PM to 2:00 AM. Any modification to the hours of operation shall be subject to the approval of the Community Development Director.

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CASE NO. 1299 CUP – 6927 Pacific Boulevard

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10. That all windows and doors shall be coated with anti-graffiti film, as approved by the Planning Division.
11. That the Applicant comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The Applicant shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) requirements.
12. That this entitlement shall be subject to review for compliance with conditions of approval at the issuance at such intervals as the City Planning Commission or Community Development Director shall deem appropriate.
13. That the violation of any of the conditions of this entitlement may result in a citation(s) and/or the revocation of the entitlement.
14. That this entitlement may be subject to additional conditions after its original issuance, upon a duly noticed public hearing item. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
15. All vehicles associated with the employees and patrons of the business shall be parked on-site and not in adjoining alleys.
16. No outdoor storage shall be permitted on the property, including but not limited to, recreational vehicles, motorhomes, trailers, campervans, boats, motorcycles, etc.
17. To control noise, patrons shall utilize the front entrance to enter and exit the premises. Specifically, ingress and egress of the building, shall be made by patrons from Pacific Boulevard to the east of the building. The rear door may be used by patrons only during emergencies for safe exiting. The rear door shall be kept closed during operation and shall be used as an emergency exit only.
18. Applicant shall provide and maintain one (1) loading space with a minimum dimension of 10 feet in width by 25 feet in length. The loading space is required to be compliant with Title 9, Chapter 3, Article 7 (Off-street Loading Standards).
19. No payphones shall be allowed on the subject site.
20. The billiards table shall be removed from the establishment.
21. The seating configuration shall not impede circulation and shall abide to the seating arrangement presented on the approved plans.

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22. The facility shall provide a trash enclosure for the refuse containers per HPMC 9-3.103.24.B. The trash enclosure(s) shall be of decorative material and have a decorative trellis.
23. Any proposed mechanical equipment and appurtenances, including satellite dishes, gutters, etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to final building inspection.
24. The applicant shall provide adequate on-site security at all times to ensure the safety of patrons and maintenance of the property. Security Plan shall be submitted and approved by the Police Department.
25. If the use ceases to operate for a period of six (6) months, the entitlement shall be null, and void.
26. If the operation of this establishment be granted, deemed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall be null, and void.
27. Any new business owner at 6927 Pacific Boulevard will be required to file a Conditional Use Permit for the serving of alcohol and a separate Dance and Entertainment Permit.
28. That should at any time, the Alcoholic Beverage Control (ABC) license issued to the applicant by the State of California be surrendered pursuant to Rule 65 thereof, this conditional use permit shall be automatically become null and void.
29. That the Applicant shall comply with all applicable property development standards including, but not limited to, signage, outdoor storage, fumes and vapors, property maintenance, and noise.
30. The Director of Community Development is authorized to make minor modifications to the approved plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
31. All on-site lighting shall be energy efficient, stationary, and directed away from adjoining properties and public rights-of-way.
32. That the applicant comply with all regulations pertaining to signage as listed in HPMC Title 9, Chapter 3, Article 12 (Sign Standards).

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33. That all other illegal signs shall be removed.
34. That the rear parking shall be maintained and parking spaces be re-stripped.
35. That any broken windows or doors be repaired or replaced.
36. That the applicant shall be required to apply for a new conditional use permit should the floor area of the existing use be expanded or the use be modified in any way.
37. That the permit shall be subject to review for compliance with conditions of this issuance at such intervals as the City Planning Commission shall deem appropriate.
38. That the Applicant agree in writing to the above conditions.

BUILDING AND SAFETY

39. All entrances and exits shall remain unlocked, in the closed position, and completely unobstructed at all times including during business hours. Above all entrances, on the interior side, shall read "This door to remain unlocked during business hours."
40. If there are proposed tenant improvements or alterations of the existing building or floor plan, the applicant shall submit full tenant improvement plans to the building and safety department.
41. Plans submitted for improvements or alterations shall be completed by a registered design professional, such as a licensed architect or registered professional engineer. All plan sheets shall be stamped and signed by the registered design professional.
42. All improvements, alterations, and additions shall follow the 2022 California Building Code and all associated codes within the 2022 code cycle.
43. Improvements within existing buildings shall be required to comply with disabled access requirements outlined in chapter 11B of the 2022 California Building Code. Some alterations may "Trigger" full compliance with accessibility features outlined in chapter 11B-202 of the 2022 CBC.
44. Improvements may be subject to path of travel and site arrival point requirements outlined in chapter 11-B of the 2022 CBC, pertaining to parking spaces and building entrances.
45. All work, if any, is to be completed by a licensed contractor.

CODE ENFORCEMENT

46. Rear doors of the business leading to the rear parking lot area must be kept closed at all times.

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47. The rear exit door to alley parking lot must have an emergency panic bar installed.
48. The 1st floor interior of the building including patron area(s) and behind bar(s) cannot be used to store either full or empty boxes nor can any be visible.
49. The Entertainment equipment and entertainment stage cannot have electrical wires/cords to be used in an unsafe manner that can cause a trip and fall scenario. All electrical wires/cords must be used in such a way that exceeds the electrical outlets and/or power strips capacity.
50. Only employees are to use the parking lot in the rear of the building, all patrons must park in other approved areas of the city.
51. The placement of tables and/or chairs must not be placed around the dance floor causing an issue with ingress/egress to the dance floor and other areas patrons may travel.
52. Property maintenance must be managed to include cleaning of trash and debris both in front and rear areas of the property. All exterior trash must be placed in the approved trash container within the approved trash enclosure.
53. Graffiti must be removed immediately, if paint is required, planning approval must be given if any color is used other than anything approved at this time.

POLICE DEPARTMENT

54. The operation of the establishment shall be limited to those activities and elements expressly indicated on the permit application and approved by the Planning Commission. Any change in the operation, which exceeds the conditions of the approved permit, will require that a new permit application be submitted to the Planning Commission for their review and approval.
55. Noise emanating from the permittee's premises shall not be audible 50 feet or more from the property line of the premises. The permittee shall be responsible for determining how to best meet this requirement, either by keeping doors and windows closed, limiting hours of entertainment, or by offering non-amplified entertainment.
56. The permittee shall not allow employees to discard trash or beer bottles into the outside dumpster between the hours of 8 p.m. and 7 a.m. per section 9-3.507 HPMC.
57. The permittee shall take reasonable measures to prohibit and prevent the loitering of persons immediately outside any of the entrance/exit doors and the parking lot, at all times while open for business. This should be done by utilizing security guards and signage with verbiage such as, "Please respect our neighbors", or something similar. At the conclusion of each event, the permittee shall take reasonable measures to

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ensure that exiting patrons walk directly to their vehicles and not loiter in the parking lot or the immediate area.

58. Current occupancy loads shall be posted at all times.
59. The posting of flyers, and/or placards, or cards on windshields or similar literature, advertising entertainment activities at the business including promotional events, shall be strictly prohibited within the City of Huntington Park per HPMC sections 5-1.02, 5-1.03, & 5-1.02.1. Violation of this condition shall be cause for the Planning Commission to take punitive action against the permittee, including revocation, suspension, or modification of this permit.
60. The permittee shall maintain full compliance with all applicable laws, ABC laws, ordinances, and stated conditions. In the event of a conflict between the requirements of this permit, your conditional use permit, or your Alcoholic Beverage Control license, the more stringent regulation shall apply.
61. The permittee shall be responsible for installing and maintaining a video surveillance system that monitors no less than the front and rear of the business, with full view of the public right-of-ways, and any parking lot under the control of the permittee. These cameras shall record video for a minimum of 30 days.
62. The permittee agrees to reimburse the City of Huntington Park whenever excessive police services, as determined by the Chief of Police, are required as the result of any incident or nuisance arising out of, or in connection with the permittee's operations.
63. The surrounding area (exterior & parking lot) shall be illuminated in order to make easily discernible the appearance and conduct of all person on or about the property.
64. The permittee shall be responsible for maintaining an adequate security staff to supervise patrons inside the establishment and those waiting to enter. Potential patrons awaiting entry in a defined "queue" shall be counted toward the calculation of required security staffing levels. For crowds up to fifty (50) patrons, the permittee shall provide a minimum of two (2) uniformed security guards. For crowds over (50) fifty patrons, the permittee shall provide a minimum of one (1) additional uniformed security guard per fifty (50) people. Should the permittee's operations give rise to a substantial increase in complaints/calls for service, or trash left in the parking lot or adjacent property, the permittee shall increase security as directed by the Chief of Police.
65. **Noncompliance with conditions:** when the Chief of Police determines that permittee has violated the terms of the permit, including the permittee's obligation to comply with all other laws and regulations, but believes those violations can be remedied through education and/or minor modifications to permittee's operation, permittee will be asked to attend a meeting with the involved departments to address

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the community concerns and discuss how additional restrictions and/or revocation can be avoided.

66. Moreover, the City reserves the right to review the permittee's compliance with the terms and conditions of this dance and entertainment permit and if necessary, revoke, suspend or modify the permit if the conduct of the business staff and /or customers creates problems as described in these conditions and subject to regulations of the Huntington Park Municipal Code.

EXHIBITS:

- A: PC Resolution No. 1299 CUP (Updated November 15, 2023)
- B: Resolution No. 1299 (July 3, 1990)
- C: Site Plan
- D: Floor Plan
- E: Site Inspection Photographs (February 28, 2023)
- F: Approved Business License for Kalua's Night Club (January 18, 2017)
- G: CUP Transfer for Kalua's Night Club (February 9, 2017)
- H: Huntington Park Police Department Call Log Report; 2/16/23 – 6/4/23

**PC RESOLUTION NO. 1299
(UPDATED NOVEMBER 15, 2023)**

EXHIBIT A

CASE NO. 1299 CUP

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WHEREAS, a public hearing was held at City Hall, 6550 Miles Avenue, Huntington Park, California on Wednesday, November 15 2023 at 6:30 p.m. pursuant to the notification as required by law in accordance with the provisions of the Huntington Park Municipal Code, upon a request by the Planning Commission requesting a review of an existing Conditional Use Permit for on-sale beer and wine in conjunction with live entertainment and dancing at an existing business located at 6927 Pacific Boulevard, located within District B - Festival of the Downtown Huntington Park Specific Plan (DTSP), described as:

WHEREAS, on July 3, 1990, the Planning Commission approved a request by Mr. Victor Becerra for a Conditional Use Permit to allow on-sale beer and wine in conjunction with live entertainment and dancing in the Central Business District (CBD) Zone; and

WHEREAS, the Planning Commission exercised its authority pursuant to Huntington Park Municipal Code (HPMC) Section 9-2.1107 and with Condition of Approval No. 11 of Resolution No. 1299 of the entitlement for the existing business located at 6927 Pacific Boulevard (CUP-1299), which states, “the permit shall be subject to review for compliance with conditions of issuance at such intervals as the City Planning Commission shall deem appropriate...”; and

WHEREAS, all persons appearing for or against the review and approval of the Conditional Use Permit were given the opportunity to be heard in connection with said

1 matter; and

2 **WHEREAS**, all written comments received prior to the hearing, and responses to
3 such comments, were reviewed by the Planning Commission; and

4 **WHEREAS**, the Planning Commission is required to announce its actions and
5 recommendations.

6 **NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF**
7 **HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS**
8 **FOLLOWS:**

9 **SECTION 1:** Based on the evidence within staff report and public hearing testimony,
10 the Planning Commission adopts the findings and determines that the CUP, as modified,
11 will have no significant adverse effect on the environment and adopts an Environmental
12 Categorical Exemption (CEQA Guidelines, Section 15321, Class 21, Enforcement
13 Actions by Regulatory Agencies).

14 **SECTION 2:** The Planning Commission hereby makes the following actions in
15 connection with the existing Conditional Use Permit that is called for review:

16 *Staff observed some deviations from the approved Resolution during a site inspection*
17 *and noted some conditions that can be updated to ensure compliance to today's*
18 *Municipal Code that were not a part of the original conditions of approval. Resolution No.*
19 *1299 has twenty-four (24) conditions of approval. The entitlement (1299-CUP) was*
20 *reviewed by City Departments and Divisions to check if they have any concerns or*
21 *questions about the operation. It also provided them with the opportunity to include*
22 *measures to facilitate in the business's goal to comply with the Municipal Code.*
23 *Consequently, Resolution No. 1299 now includes new updated conditions of approval*
24 *that are current with the Municipal Code and relevant to the business's existing state of*
25 *affairs.*

26 **SECTION 3:** Planning Staff has provided recommendations to ensure that the existing
27 entitlement will adhere to the Huntington Park Municipal Code and mitigate any impacts
28 and protect the health, safety and welfare of the City; therefore, the Planning Commission

hereby approves the updated conditions of approval to Resolution No. 1299 and rename it to PC Resolution No. 1299 CUP subject to the following conditions:

**CONDITIONS OF APPROVAL:
PLANNING**

1. That the applicant/property owner and each successor in interest to the property which is the subject of this project shall defend, indemnify and hold harmless the City of Huntington Park and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, City Council, or Planning Commission. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications and plans submitted.
3. The proposed project shall comply with all applicable federal, state and local agency codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Zoning, and Business License Regulations of the City of Huntington Park.
4. The property be developed and maintained in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal Code.
5. All proposed on-site utilities, including electrical and equipment wiring, shall be installed underground and/or routed along the ground floor and shall be completely concealed from public view as required by the City prior to authorization to operate.
6. That any existing and/or future graffiti, as defined by the Huntington Park Municipal Code Section 5-27.02(d), shall be diligently removed within a reasonable time period.
7. That the operator shall obtain a valid City of Huntington Park Business License prior to commencing business operations.
8. That no loitering or consumption of alcohol take place outside of the establishment or in surrounding parking area(s) and that sign be posted in both English and Spanish on the site prohibiting such activities. The number, design, location, size and text of the signs shall be subject of Planning Division and Police Department review and approval. This condition must be complied for continues use of business operations.
9. That the hours of operation shall be Monday to Sunday from 12:00 PM to 2:00 AM. Any modification to the hours of operation shall be subject to the approval of the Community Development Director.

10. That all windows and doors shall be coated with anti-graffiti film, as approved by the Planning Division, prior to the issuance of the City Business License.
11. That the Applicant comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The Applicant shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) requirements.
12. That this entitlement shall be subject to review for compliance with conditions of approval at the issuance at such intervals as the City Planning Commission or Community Development Director shall deem appropriate.
13. That the violation of any of the conditions of this entitlement may result in a citation(s) and/or the revocation of the entitlement.
14. That this entitlement may be subject to additional conditions after its original issuance, upon a duly noticed public hearing item. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
15. All vehicles associated with the employees and patrons of the business shall be parked on-site and not in adjoining alleys.
16. No outdoor storage shall be permitted on the property, including but not limited to, recreational vehicles, motorhomes, trailers, campervans, boats, motorcycles, etc.
17. To control noise, patrons shall utilize the front entrance to enter and exit the premises. Specifically, ingress and egress of the building, shall be made by patrons from Pacific Boulevard to the east of the building. The rear door may be used by patrons only during emergencies for safe exiting. The rear door shall be kept closed during operation and shall be used as an emergency exit only.
18. Applicant shall provide and maintain one (1) loading space with a minimum dimension of 10 feet in width by 25 feet in length. The loading space is required to be compliant with Title 9, Chapter 3, Article 7 (Off-street Loading Standards).
19. No payphones shall be allowed on the subject site.
20. The billiards table shall be removed from the establishment.
21. The seating configuration shall not impede circulation and shall abide to the seating arrangement presented on the approved plans.

22. The facility shall provide a trash enclosure for the refuse containers per HPMC 9-3.103.24.B. The trash enclosure(s) shall be of decorative material and have a decorative trellis.
23. Any proposed mechanical equipment and appurtenances, including satellite dishes, gutters, etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to final building inspection.
24. The applicant shall provide adequate on-site security at all times to ensure the safety of patrons and maintenance of the property. Security Plan shall be submitted and approved by the Police Department.
25. If the use ceases to operate for a period of six (6) months, the entitlement shall be null, and void.
26. If the operation of this establishment be granted, deemed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall be null, and void.
27. Any new business owner at 6927 Pacific Boulevard will be required to file a Conditional Use Permit for the serving of alcohol and a separate Dance and Entertainment Permit.
28. That should at any time, the Alcoholic Beverage Control (ABC) license issued to the applicant by the State of California be surrendered pursuant to Rule 65 thereof, this conditional use permit shall be automatically become null and void.
29. That the Applicant shall comply with all applicable property development standards including, but not limited to, signage, outdoor storage, fumes and vapors, property maintenance, and noise.
30. The Director of Community Development is authorized to make minor modifications to the approved plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
31. All on-site lighting shall be energy efficient, stationary, and directed away from adjoining properties and public rights-of-way.
32. That the applicant comply with all regulations pertaining to signage as listed in HPMC Title 9, Chapter 3, Article 12 (Sign Standards).
33. That all other illegal signs shall be removed.
34. That the rear parking shall be maintained and parking spaces be re-stripped.

- 1 35. That any broken windows or doors be repaired or replaced.
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- 3 36. That the applicant shall be required to apply for a new conditional use permit should
- 4 the floor area of the existing use be expanded or the use be modified in any way.
- 5 37. That the permit shall be subject to review for compliance with conditions of this
- 6 issuance at such intervals as the City Planning Commission shall deem appropriate.
- 7 38. That the Applicant agree in writing to the above conditions.

8 **BUILDING AND SAFETY**

- 9 39. All entrances and exits shall remain unlocked, in the closed position, and completely
- 10 unobstructed at all times including during business hours. Above all entrances, on the
- 11 interior side, shall read "This door to remain unlocked during business hours."
- 12 40. If there are proposed tenant improvements or alterations of the existing building or
- 13 floor plan, the applicant shall submit full tenant improvement plans to the building and
- 14 safety department.
- 15 41. Plans submitted for improvements or alterations shall be completed by a registered
- 16 design professional, such as a licensed architect or registered professional engineer.
- 17 All plan sheets shall be stamped and signed by the registered design professional.
- 18 42. All improvements, alterations, and additions shall follow the 2022 California Building
- 19 Code and all associated codes within the 2022 code cycle.
- 20 43. Improvements within existing buildings shall be required to comply with disabled
- 21 access requirements outlined in chapter 11B of the 2022 California Building Code.
- 22 Some alterations may "Trigger" full compliance with accessibility features outlined in
- 23 chapter 11B-202 of the 2022 CBC.
- 24 44. Improvements may be subject to path of travel and site arrival point requirements
- 25 outlined in chapter 11-B of the 2022 CBC, pertaining to parking spaces and building
- 26 entrances.
- 27 45. All work, if any, is to be completed by a licensed contractor.

28 **CODE ENFORCEMENT**

- 29 46. Rear doors of the business leading to the rear parking lot area must be kept closed
- 30 at all times.
- 31 47. The rear exit door to alley parking lot must have an emergency panic bar installed.
- 32 48. The 1st floor interior of the building including patron area(s) and behind bar(s)
- 33 cannot be used to store either full or empty boxes nor can any be visible.

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- 49. The Entertainment equipment and entertainment stage cannot have electrical wires/cords to be used in an unsafe manner that can cause a trip and fall scenario. All electrical wires/cords must be used in such a way that exceeds the electrical outlets and/or power strips capacity.
 - 50. Only employees are to use the parking lot in the rear of the building, all patrons must park in other approved areas of the city.
 - 51. The placement of tables and/or chairs must not be placed around the dance floor causing an issue with ingress/egress to the dance floor and other areas patrons may travel.
 - 52. Property maintenance must be managed to include cleaning of trash and debris both in front and rear areas of the property. All exterior trash must be placed in the approved trash container within the approved trash enclosure.
 - 53. Graffiti must be removed immediately, if paint is required, planning approval must be given if any color is used other than anything approved at this time.

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POLICE DEPARTMENT

- 54. The operation of the establishment shall be limited to those activities and elements expressly indicated on the permit application and approved by the Planning Commission. Any change in the operation, which exceeds the conditions of the approved permit, will require that a new permit application be submitted to the Planning Commission for their review and approval.
- 55. Noise emanating from the permittee's premises shall not be audible 50 feet or more from the property line of the premises. The permittee shall be responsible for determining how to best meet this requirement, either by keeping doors and windows closed, limiting hours of entertainment, or by offering non-amplified entertainment.
- 56. The permittee shall not allow employees to discard trash or beer bottles into the outside dumpster between the hours of 8 p.m. and 7 a.m. per section 9-3.507 HPMC.
- 57. The permittee shall take reasonable measures to prohibit and prevent the loitering of persons immediately outside any of the entrance/exit doors and the parking lot, at all times while open for business. This should be done by utilizing security guards and signage with verbiage such as, "Please respect our neighbors", or something similar. At the conclusion of each event, the permittee shall take reasonable measures to ensure that exiting patrons walk directly to their vehicles and not loiter in the parking lot or the immediate area.
- 58. Current occupancy loads shall be posted at all times.

59. The posting of flyers, and/or placards, or cards on windshields or similar literature, advertising entertainment activities at the business including promotional events, shall be strictly prohibited within the City of Huntington Park per HPMC sections 5-1.02, 5-1.03, & 5-1.02.1. Violation of this condition shall be cause for the Planning Commission to take punitive action against the permittee, including revocation, suspension, or modification of this permit.
60. The permittee shall maintain full compliance with all applicable laws, ABC laws, ordinances, and stated conditions. In the event of a conflict between the requirements of this permit, your conditional use permit, or your Alcoholic Beverage Control license, the more stringent regulation shall apply.
61. The permittee shall be responsible for installing and maintaining a video surveillance system that monitors no less than the front and rear of the business, with full view of the public right-of-ways, and any parking lot under the control of the permittee. These cameras shall record video for a minimum of 30 days.
62. The permittee agrees to reimburse the City of Huntington Park whenever excessive police services, as determined by the Chief of Police, are required as the result of any incident or nuisance arising out of, or in connection with the permittee's operations.
63. The surrounding area (exterior & parking lot) shall be illuminated in order to make easily discernible the appearance and conduct of all person on or about the property.
64. The permittee shall be responsible for maintaining an adequate security staff to supervise patrons inside the establishment and those waiting to enter. Potential patrons awaiting entry in a defined "queue" shall be counted toward the calculation of required security staffing levels. For crowds up to fifty (50) patrons, the permittee shall provide a minimum of two (2) uniformed security guards. For crowds over (50) fifty patrons, the permittee shall provide a minimum of one (1) additional uniformed security guard per fifty (50) people. Should the permittee's operations give rise to a substantial increase in complaints/calls for service, or trash left in the parking lot or adjacent property, the permittee shall increase security as directed by the Chief of Police.
65. **Noncompliance with conditions:** when the Chief of Police determines that permittee has violated the terms of the permit, including the permittee's obligation to comply with all other laws and regulations, but believes those violations can be remedied through education and/or minor modifications to permittee's operation, permittee will be asked to attend a meeting with the involved departments to address the community concerns and discuss how additional restrictions and/or revocation can be avoided.
66. Moreover, the City reserves the right to review the permittee's compliance with the terms and conditions of this dance and entertainment permit and if necessary, revoke, suspend or modify the permit if the conduct of the business staff and /or

customers creates problems as described in these conditions and subject to regulations of the Huntington Park Municipal Code.

SECTION 4: This resolution shall not become effective until 15 days after the date of decision rendered by the Planning Commission, unless within that period of time it is appealed to the City Council. The decision of the Planning Commission shall be stayed until final determination of the appeal has been effected by the City Council.

SECTION 5: The Secretary of the Planning Commission shall certify to the adoption of this resolution and a copy thereof shall be filed with the City Clerk.

PASSED, APPROVED, AND ADOPTED this 15th of November, 2023 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

HUNTINGTON PARK PLANNING COMMISSION

Jonathan Sanabria, Chairperson

ATTEST:

Steve Forster, Secretary

**RESOLUTION NO. 1299
(JULY 3, 1990)**

EXHIBIT B

CASE NO. 1299 CUP

RESOLUTION NO. 1299

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON PARK, STATE OF CALIFORNIA, GRANTING A CONDITIONAL USE PERMIT IN CONNECTION WITH REAL PROPERTY LOCATED AT 6925-27 PACIFIC BOULEVARD, HUNTINGTON PARK, CALIFORNIA

WHEREAS, a public hearing was held in the City Hall, 6550 Miles Avenue, Huntington Park, California, on Tuesday, July 3, 1990, at 4:00 p.m., pursuant to the notice published and posted as required by law in accordance with the provisions of the Huntington Park Municipal Code, upon the application from Victor Becerra requesting a CONDITIONAL USE PERMIT to allow on-sale beer and wine in conjunction with live entertainment and dancing in the Central Business District (CBD) Zone on the following described property:

Lot 20, Block 51 of the Huntington Park Tract as per maps recorded in Book 15, page 31 in the Office of the Recorder, County of Los Angeles

WHEREAS, all persons appearing for or against the granting of the CONDITIONAL USE PERMIT were given the opportunity to be heard in connection with said matter.

NOW, THEREFORE, THE PLANNING COMMISSION RESOLVES AS FOLLOWS:

SECTION 1: Pursuant to the requirements of Section 9-3.2013 of the Municipal Code, the Planning Commission hereby makes the following findings in connection with CONDITIONAL USE PERMIT NO. 1299:

(A) That the CONDITIONAL USE PERMIT applied for is authorized by the provisions of Subsection 9-3.1703(d);

(B) That the granting of such CONDITIONAL USE PERMIT will not adversely affect the established character of the surrounding neighborhood or be injurious to the property or improvements in such vicinity and zone in which the property is located;

//

1 (C) That the granting of such CONDITIONAL USE PERMIT will not
2 adversely affect the Master or General Plan of the City;

3 (D) That the establishment, maintenance or conducting of the use
4 for which a CONDITIONAL USE PERMIT is sought will not, under the particular
5 case, be detrimental to the health, safety, morals, comfort, convenience
6 or welfare of persons residing or working in the neighborhood of such
7 use; and will not, under the circumstances of the particular case, be
8 detrimental to the public welfare or injurious to property or improvements
9 in the neighborhood; and

10 (E) That in accordance with Environmental Impact Review Committee
11 findings, granting of such CONDITIONAL USE PERMIT would cause no significant
12 adverse effects to the environment, and the Planning Commission hereby
13 approves and adopts Negative Declaration No. 1299.

14 SECTION 2: The Planning Commission hereby grants CONDITIONAL USE
15 PERMIT NO. 1299, subject to the following conditions:

- 16 1. That the property shall be developed substantially in accordance
17 with the plot plan submitted and marked Exhibit "C".
- 18 2. That the applicant shall comply with all applicable codes, laws,
19 rules and regulations, including Health and Safety, Building,
20 Fire, Sign, Zoning, and Business License Codes of the City of
21 Huntington Park.
- 22 3. That the applicant comply with all regulations pertaining to
23 signage as listed in the H.P.M.C. Sec. 9, Article 26.
- 24 4. That the property be maintained in a neat and orderly manner at
25 all times and comply with the property maintenance standards as
26 set forth in H.P.M.C. Sec. 8-9.02.1.
- 27 5. That all new roof-mounted equipment installed by the applicant
28 shall be screened from street view with materials compatible
with the design and materials of the building and in a manner
approved by the Department of Community Development.
6. That this permits shall expire in the event the entitlement is
not exercised within one (1) year from the date of approval or
if there is a cessation of the use or uses authorized by this
permit for a continuous period of six (6) months or more.

//

7. That the violation of the conditions of this conditional use permit may result in a citation or revocation of the conditional use permit.
8. That should, at any time, the Alcoholic Beverage License issued to the applicant by the State of California be surrendered pursuant to Rule 65 thereof, this conditional use permit shall automatically become null and void.
9. That should the operation of this establishment be granted, deeded, conveyed, transferred, or should a change in management or proprietorship occur at any time, this conditional use permit shall automatically become null and void.
10. That all licenses and permits relating to the operation of the herein specified use shall be in the name of the applicant only.
11. That the permit shall be subject to review for compliance with conditions of issuance at such intervals as the City Planning Commission shall deem appropriate, but that the first such review shall be six (6) months after the issuance of the permit.
12. That the existing non-conforming projecting wall sign be removed.
13. That all other illegal signs be removed.
14. That the existing channel letter wall sign at front of building be maintained as required by H.P.M.C. Sec. 9, Article 26.
15. That all warning signs concerning parking in rear property be posted, professionally painted, or removed.
16. That the rear parking lot be resurfaced and parking spaces be restriped.
17. That all broken windows be replaced.
18. That the applicant shall be required to apply for a new conditional use permit should the floor area of the existing use be expanded or the use be modified in any way.
19. That trash enclosures be constructed and appropriately located per City Standards.
20. That adequate lighting be provided for the parking area and that all existing lighting be in operable condition.
21. That exposed wiring on rear of building be replaced per Building Department.
22. That all other damages on building be repaired.
23. That security guard service be provided during the hours in which live entertainment and dancing are taking place.

//

1 24. That the applicant and/or owner agree in writing to the above
2 conditions.

3 SECTION 3: This resolution shall not become effective until fifteen
4 (15) days after the date of decision rendered by the Planning Commission,
5 unless within that period of time it is appealed to the City Council. The
6 decision of the Planning Commission shall be stayed until final determin-
7 ation of the appeal has been effected by the City Council.

8 SECTION 4 : The Secretary of the Planning Commission shall certify
9 to the adoption of this resolution and a copy thereof shall be filed with
10 the City Clerk.

11 PASSED, APPROVED, and ADOPTED this 3rd day of July, 1990, by the
12 following vote:

13 AYES: Commissioners Roberts, Thompson, Mears

14 NOES: None

15 ABSENT: Commissioners Watson, Ledesma
16

17 HUNTINGTON PARK PLANNING COMMISSION
18

19 Lucille Mears
20 Chairman - Acting

21 ATTEST:

22 Genny Ochoa
23 Secretary - Acting
24

25 //

26 //

27 //

28 //

G19.38

SITE PLAN

EXHIBIT C

CASE NO. 1299 CUP

SITE NOTES

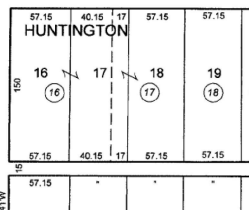
-THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNRESTRICTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWDER POLES/PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) TO THE LOCATION OF THE WED-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

-AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE LEAD STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING/OPER ORDINANCE 171.874 FOR WORK OVER \$10,000.)

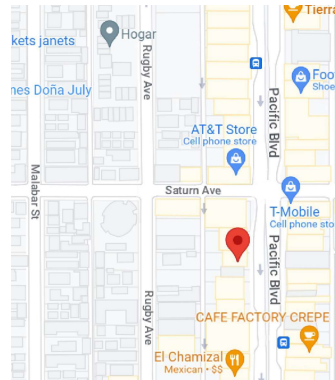
THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

Property Information
Assessor's ID No: 6322-023-018
Property Boundary Description
HUNTINGTON PARK LOT 19 BLK 31

PACIFIC



ASSESSOR MAP



VICINITY MAP

DETAILED SCOPE OF WORK

SPACE FOR DANCING = 231 SQ. FT.
BAR = 249.52 SQ. FT.
STORAGE 1 = 40.48 SQ. FT.
STORAGE 2 = 224.40 SQ. FT.
W.C MEN = 52.43 SQ. FT.
W.C WOMEN = 61.83 SQ. FT.
EXIT = 52.43 SQ. FT.
W.C = 35.83 SQ. FT.
STORAGE 3 = 70.26 SQ. FT.
AREA TOTAL = 2393 SQ. FT.

LOT SIZE 11,122.5 SF
STORIES 1
TYPE OF CONSTRUCTION:
COMMERCIAL/INDUSTRIAL
OCCUPANCY R-141
RHS SPRINKLERED

LOT SIZE 8565 SQ FT
LOT COVERAGE 27%

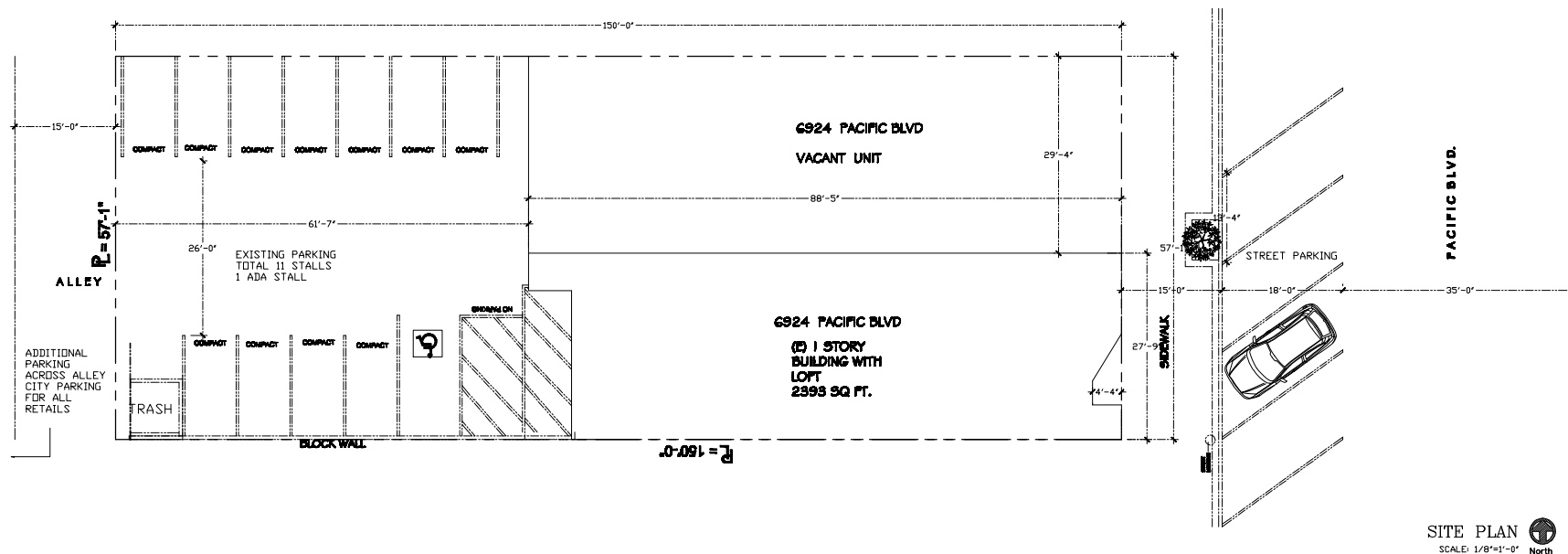
ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THIS PLANS.

2022 California Building Code
2022 California Residential Code
2022 California Plumbing Code
2022 California Mechanical Code
2022 California Electrical Code
2022 Green Building Code
2022 California Energy Code
2022 California Fire Code
WITH city MUNICIPAL CODE AMENDMENTS

CONSULTANTS

SHEET INDEX
1- SITE PLAN
2- EXISTING FLOOR PLAN
3- EXISTING ELEVATIONS

REGISTERED
CIVIL LAND ENGINEERING
12109 Woodruff Ave, Downey, CA 90241
Phone: (562) 922-9827 Fax: (562) 622-9827



SITE PLAN
SCALE: 1/8"=1'-0" North

REVISIONS
NO. DATE
NO. DATE
NO. DATE

NOTICE:
WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS FOR ALL WORK. ANY DISCREPANCIES AND CORRECTIONS SHOWN BY THESE DRAWINGS.
THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

CIVIL LAND ENGINEERS
CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING
STRUCTURAL ENGINEERING & ARCHITECTURAL PLANS
12109 Woodruff Ave, Downey, CA 90241
Phone: (562) 922-9827 Fax: (562) 622-9827

PROJECT: 6927 PACIFIC BLVD,
HUNTINGTON PARK, CA 90255
OWNER: ISIDRA BARBA DE SANJUAN
KAHLUA'S NIGHT CLUB

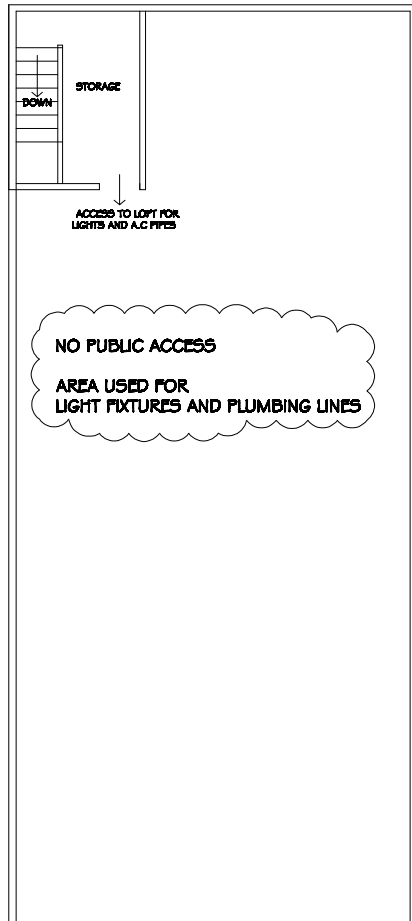
DRAWN
DATE: 7-12-23
SCALE
JOB NO.

SHEET
1 OF 3

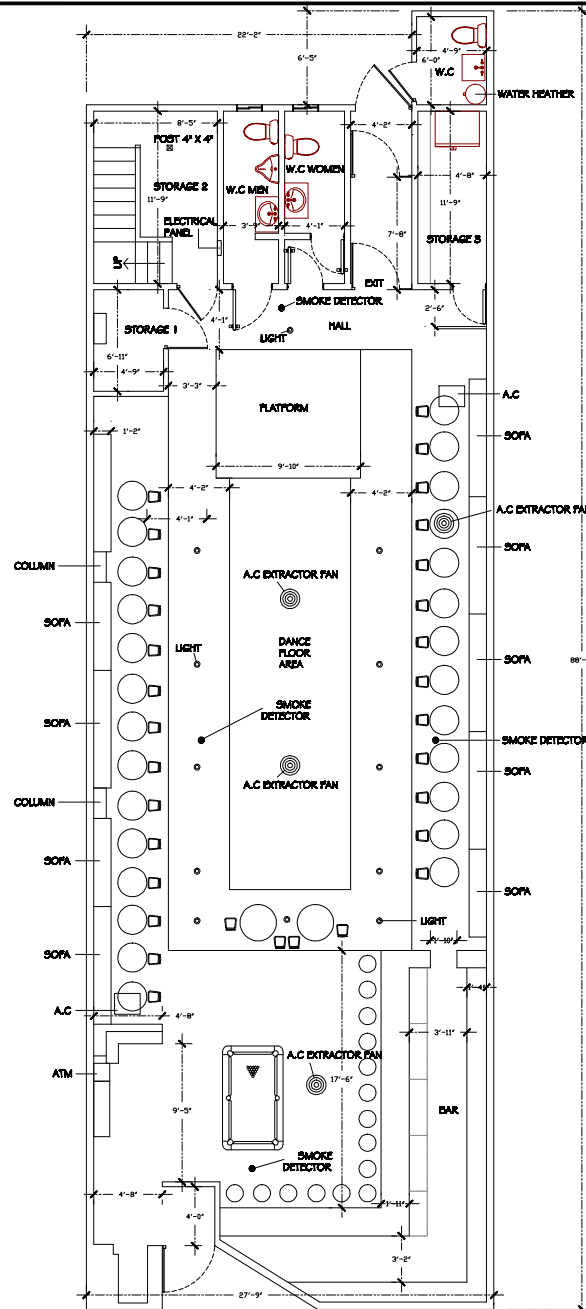
FLOOR PLAN

EXHIBIT D

CASE NO. 1299 CUP



existing
EXISTING ACCESS LOFT FLOOR PLAN
SCALE: 1/4"=1'-0"



existing
FLOOR PLAN
SCALE: 1/4"=1'-0" North

REVISIONS	
NO.	DATE
NO.	DATE
NO.	DATE

NOTICE:
WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALES. DIMENSIONAL CONFLICTS SHALL BE RESOLVED BY THE DESIGNER. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

CIVIL LAND ENGINEERS
CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING
STRUCTURAL ENGINEERING & ARCHITECTURAL PLANS
12109 Woodruff Ave. Downey, CA 90241
Phone: (862) 822-8827 Fax: (862) 822-8827

PROJECT: 6827 PACIFIC BLVD,
HUNTINGTON PARK, CA 90255
OWNER: ISIDRA BARBA DE SANJUAN
KAHLUA'S NIGHT CLUB

DRAWN: DATE: 7-12-23
SCALE: JOB NO.:

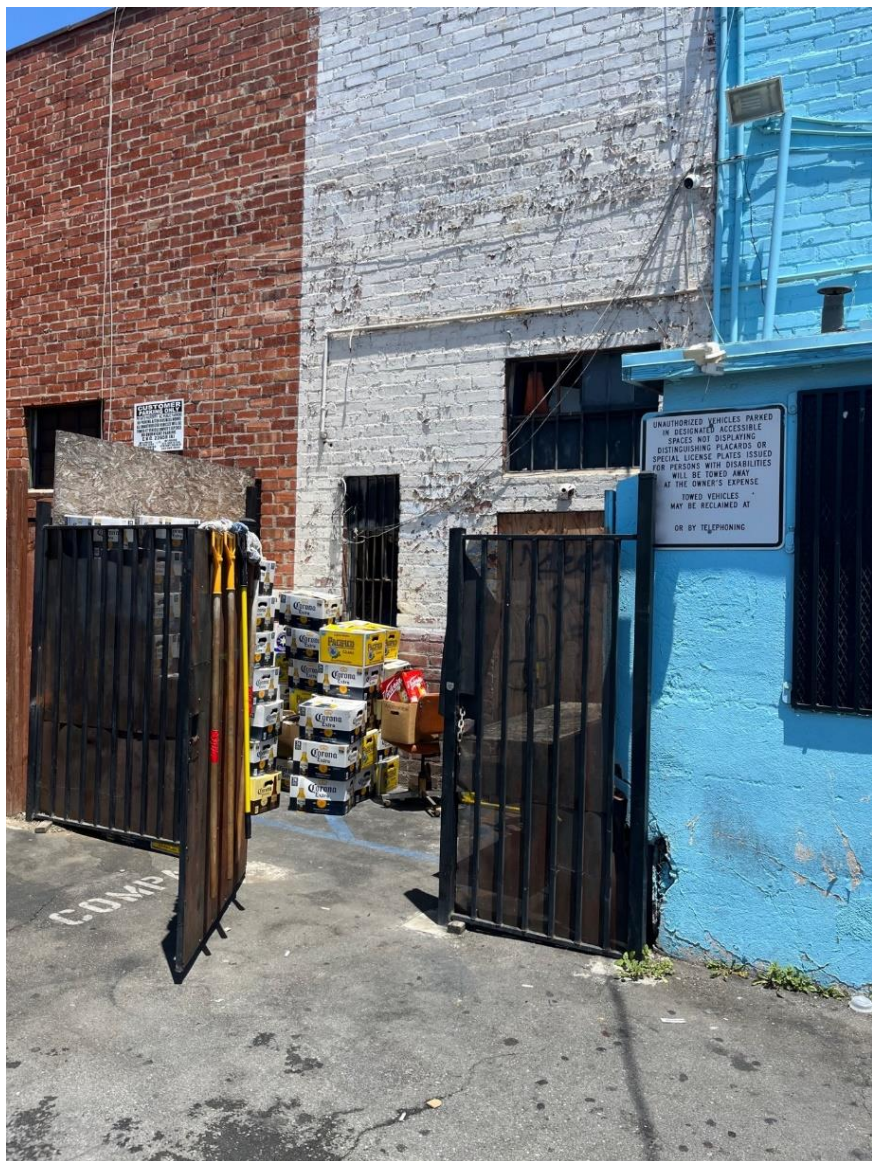
SHEET
2 OF 3

**SITE INSPECTION PHOTOGRAPHS
(FEBRUARY 28, 2023)**

EXHIBIT E

CASE NO. 1299 CUP















**APPROVED BUSINESS LICENSE FOR
KALUA'S NIGHT CLUB
(JANUARY 18, 2017)**

EXHIBIT F

CASE NO. 1299 CUP



CITY OF HUNTINGTON PARK

Finance Department | License Division
6550 Miles Avenue, #127 Huntington Park, CA 90255
Tel: (323) 584-6232 | Fax: (323) 588-2657
license@huntingtonpark.org

BUSINESS LICENSE APPLICATION

Account No. _____

*The Huntington Park Municipal Code requires that all businesses operating in the City obtain a license.
It is the responsibility of the applicant to maintain an active business license by renewing each year.*

Type of Application:	<input type="checkbox"/> New Business	<input checked="" type="checkbox"/> Change of Ownership
<input type="checkbox"/> Change of Address	<input type="checkbox"/> Change of Business Name	<input type="checkbox"/> Change of Business Description
Type of License:	<input checked="" type="checkbox"/> Commercial/Industrial	<input type="checkbox"/> Non-Profit Organization
<input type="checkbox"/> Contractor	<input type="checkbox"/> Home Occupation	<input type="checkbox"/> Property Rental
Type of Ownership:	<input checked="" type="checkbox"/> Sole	<input type="checkbox"/> Partnership
<input type="checkbox"/> LLC	<input type="checkbox"/> Corporation	<input type="checkbox"/> Trust

Business Information	Business Name / DBA	KALUA'S NIGHT CLUB		
	Business Address	6927 PACIFIC BLVD	City, State, Zip	HUNTINGTON PARK, CA 90255
	Mailing Address			
	Business Phone	(323) 587-1922	Email	
	Federal ID No.	45-4812426	State Tax No.	964 1524 6
	State Class & License No.		Board of Equalization No.	100471143
Estimated Gross Receipts for First Year of Business				

Owners Information	Owner's Name/ Corporate Officer	LIDRA BARRA DE SAN JUAN		Date of Birth	03-15-1963
	Owner's Address	2735 OLIVE ST	City, State, Zip	HUNTINGTON PARK, CA 90255	
	Owner's Phone	(213) 300-0137	Email		
	Driver's License No.	A5999050	SSN	608-65-6001	
	2 nd Owner's Name	N/A	Date of Birth		
	Owner's Address		City, State, Zip		
	Owner's Phone		Email		
	Driver's License No.		SSN		

Business Description	Business operation statement. Include products/services offered or produced as well as any parts of the business that are incidental to the primary use.			NIGHT CLUB		
	Number of Employees	8	Hours of Operation	12:00 PM TO 2:00 AM	Gross Floor Area	
	Making Tenant Improvements	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Any existing business signs	<input type="checkbox"/> Yes <input type="checkbox"/> No		
	Sharing Tenant Space	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, business name			
Status of Business		<input type="checkbox"/> Vacant <input checked="" type="checkbox"/> Occupied	Current Business	SAME		



CITY OF HUNTINGTON PARK
BUSINESS LICENSE APPLICATION

Page 2

Supplemental		Will the business include any of the following? (Check all that apply)			
Adult-oriented items or activities	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Cyber cafe	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Pawn brokering	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Alcohol sales	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Dance	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Precious metals purchase	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Alcohol/drug counseling	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Entertainment	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Restaurant with seating	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Auto title loans	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Firearm/weapons sales	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Short-term/payday loans	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Banquet facility	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Fortune telling	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Tobacco sales	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Check cashing	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Gaming	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Used merchandise	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Currency exchange	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Medical marijuana	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Vending machines	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		Money transfer	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Video machines	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

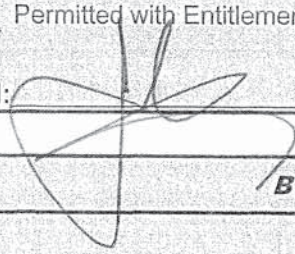
Affidavit	I hereby certify under penalty of perjury that the information provided herein is to the best of my knowledge and belief, a true and complete statement. I understand that this application is not a license and that no business activity may commence until a business license is issued.	
Signature	<u>Isidra Barba de Santiago</u>	
Date	<u>01-18-17</u>	
Printed Name and Title		

If processing by mail please include the following:

- ✓ Completed Application Form
- ✓ All applicable schedules
- ✓ Check payable to City of Huntington Park
- ✓ Mail to the attention of:

City of Huntington Park – Business License Division
6550 Miles Avenue, #127
Huntington Park, CA 90255

PLANNING (OFFICE USE ONLY)

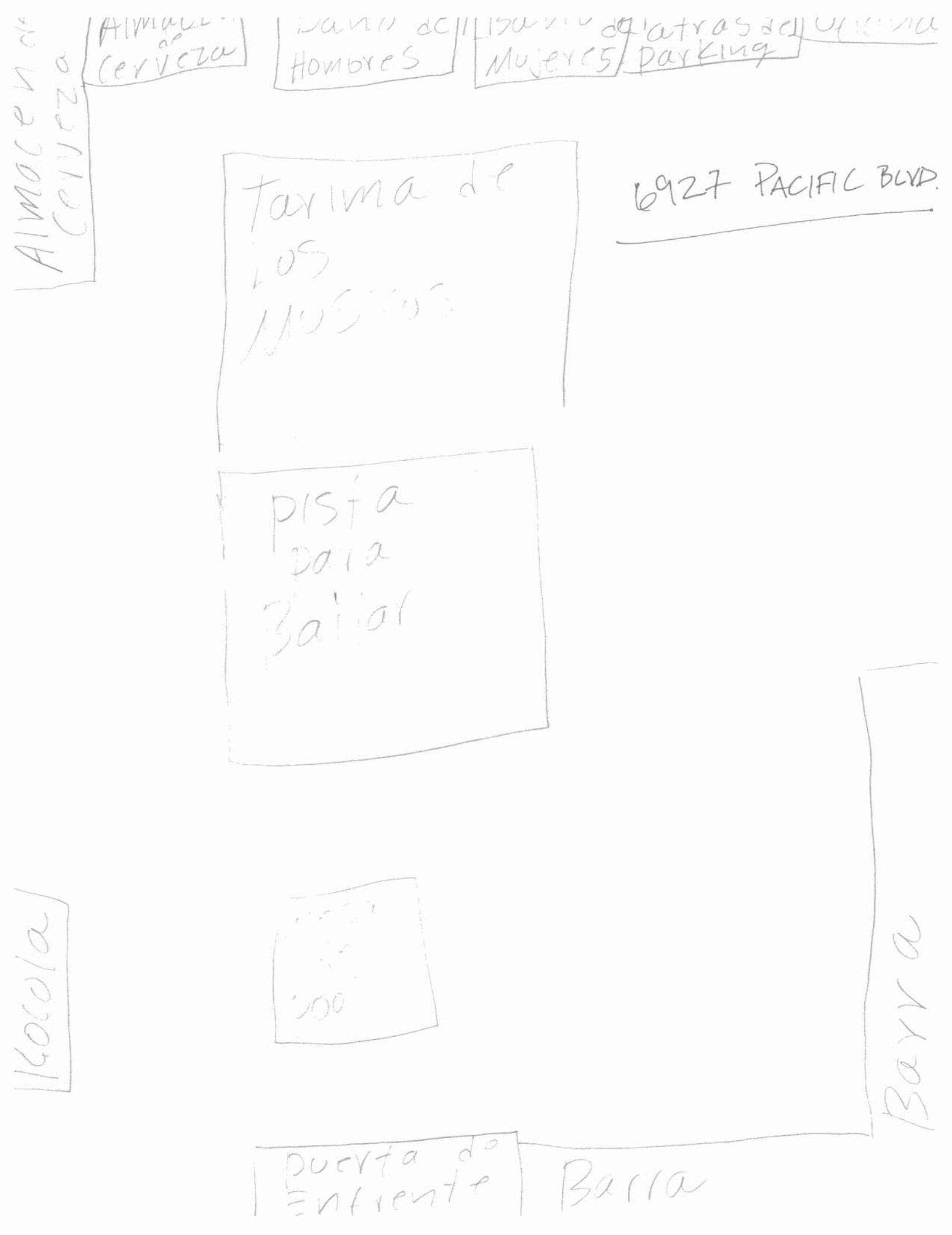
General Plan:	<u>DTSP</u>	Zone:	<u>DTSP</u>	SIC Code:	
Previous Use/Business:	<u>BAR</u>				
Note:	<u>CONTINUED USE, CHANGE OF OWNER ONLY</u>				
<input type="checkbox"/> Permitted	<input checked="" type="checkbox"/> Permitted with Entitlement (CUP/DP# <u>1299 - CUP</u>)	<input type="checkbox"/> Pending	<input type="checkbox"/> Prohibited		
Planning Approval:				Date:	<u>2.9.17</u>

BUILDING / FIRE (OFFICE USE ONLY)

Building Approval:	Date:	Fire Approval:	Date:
--------------------	-------	----------------	-------

FINANCE (OFFICE USE ONLY)

Business License Fee:	Occupancy Fee:	Misc. Fee:	Application Fee:	Change of Location Fee:	Penalty Fee:	Total:
\$	\$	\$	\$	\$	\$	\$ 0



**CUP TRANSFER FOR KALUA'S NIGHT CLUB
(FEBRUARY 9, 2017)**

EXHIBIT G

CASE NO. 1299 CUP



February 9, 2017

Kalua's Night Club
Attention: Ms. Isidra Barba
2735 Olive Street
Huntington Park, CA 90255

Re: Transfer of Conditional Use Permit for an existing bar with on-sale of beer and wine with live entertainment and dancing located at 6927 Pacific Boulevard, within the Downtown Specific Plan (DTSP) Zone.

Dear Ms. Barba:

On July 3, 1990, the Planning Commission of the City of Huntington Park adopted Resolution No. 1299 approving a request for a Conditional Use Permit (CUP) in connection with real property located at 6927 Pacific Boulevard, subject to the conditions contained therein.

The City requires that you accept the conditions of approval for the transfer of ownership of the use, and that you maintain the property in compliance with these conditions. The City conducted an inspection of the subject property on February 6, 2017, and the following violations must be corrected:

Violations of Resolution No. 1299

- **Condition No. 12** – That the existing non-conforming projecting wall sign be removed.
Corrective Action Required: Remove unpermitted projecting wall sign.
- **Condition No. 13** – That all other illegal signs be removed.
Corrective Action Required: Remove unpermitted banners.
- **Condition No. 16** – That the rear parking lot be resurfaced and parking spaces be restriped.
Corrective Action Required: Resurface and restripe the parking lot.
- **Condition No. 19** – That trash enclosures be constructed and appropriately located per City standards.
Corrective Action Required: Provide a trellis for the existing trash enclosure. Plans must be submitted to Planning for approval.

- **Condition No. 23** – That security guard service be provided during the hours in which live entertainment and dancing are taking place.

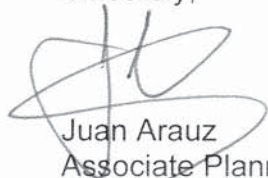
Corrective Action Required: Provide Planning a copy of contract for security services.

The above items need to be completed within thirty (30) days to restore the subject property to legal compliance. If you fail to bring the property into compliance by March 9, 2017, the above violations will be referred to the City of Huntington Park Code Enforcement Division and may result in fines.

Should you have any questions or wish to provide evidence of violation compliance and/or to schedule a follow-up inspection, please contact me at (323) 584-6270.

In the meantime, you may continue to process your business license application. In order to complete the transfer you are required to acknowledge that you received a copy of the enclosed resolution. Please sign the RESOLUTION ACKNOWLEDGEMENT and return a copy of this letter to the Planning Division.

Sincerely,



Juan Arauz
Associate Planner

RESOLUTION ACKNOWLEDGEMENT

I ACKNOWLEDGE THAT I HAVE RECEIVED A COPY OF RESOLUTION NO. 1299 AND AGREE TO COMPLY WITH ALL CONDITIONS THEREIN.

SIGNATURE: Isidra Barba de Sarjuan DATE: 02-09-17

PRINTED NAME AND TITLE: Isidra Barba de Sarjuan

Attachment: Resolution No. 1299

**HUNTINGTON PARK POLICE DEPARTMENT
CALL LOG REPORT
2/16/23 – 6/4/23**

EXHIBIT H

CASE NO. 1299 CUP

Huntington Park Police Department

Attachment "B"

Call Log Report Type All Unit Times and Location with OCA's

First Date: 02/16/2023

Last Date: 06/04/2023

Jurisdiction: HPPD		Last Date: 06/04/2023		Caller		Unit Time									
Call Number	Disp	Ten	Received	Code	Complaint	Dep Officer	Address	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
230216-0093															
OK	14	.	02/16/2023		22:00:56		LT SOBERANIS								
			OO			HP Willie,T	6927 PACIFIC BL, HTG PK	*14		22:04:56	22:14:27				22:17:07
230217-0007															
OK	1S	.	02/17/2023		02:00:45		LT SOBERANIS								
			OO			HP SALEH,H	6927 PACIFIC BL, HTG PK	*13		02:01:20	02:03:51				02:05:59
						HP CEJA,D		1S							02:05:59
230217-0082															
OK	MET2	.	02/17/2023		22:01:05		LT SOBERANIS								
			OO			HP RINCON,M	6927 PACIFIC BL, HTG PK	*MET2		22:17:30					22:21:14
230218-0008															
OK	13	.	02/18/2023		02:00:04		LT SOBERANIS								
			OO			HP SALEH,H	6927 PACIFIC BL, HTG PK	*13		02:02:40	02:06:08				02:08:35
230218-0091															
OK	14	.	02/18/2023		22:01:11		LT SOBERANIS								
			OO			HP Yamasaki,J	6927 PACIFIC BL, HTG PK	*12		22:45:24	23:16:58				23:26:41
						HP Felix,E		14		23:15:04					23:26:41
230219-0019															
CANC	.		02/19/2023		02:00:45		LT SOBERANIS								
			OO				6927 PACIFIC BL, HTG PK								
230219-0100															
OK	13	.	02/19/2023		22:01:18		LT SOBERANIS								
			OO				6927 PACIFIC BL, HTG PK								

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 02/16/2023

Last Date: 06/04/2023

Jurisdiction: HPPD

Call Number	Disp	Ten	Received	Code	Complaint	Dep	Officer	Address	Unit	Dispatch	Enroute	OnScene	Unit Time		
													Depart	Arrive	Remove
230219-0100	OK	13	02/19/2023	OO		22:01:18	HP	Reza.R	LT SOBERANIS 6927 PACIFIC BL, HTG PK		22:11:24	22:12:36			22:13:50
									*13						
230220-0006	OK	14	02/20/2023	OO		02:00:16	HP	Felix.E	LT SOBERANIS 6927 PACIFIC BL, HTG PK		02:01:10	02:01:19			02:20:52
	OK	14	02/20/2023	OO											
230220-0099	OK	13	02/20/2023	OO		22:02:00	HP	Reza.R	LT SOBERANIS 6927 PACIFIC BL, HTG PK		22:12:04				22:12:20
									*13						
230221-0010	OK	12	02/21/2023	OO		02:01:04	HP	Yamasaki.J	LT SOBERANIS 6927 PACIFIC BL, HTG PK		02:13:09	02:26:34			02:34:31
									*12						
230221-0082	OK	K91	02/21/2023	OO		22:01:43	HP	NICHOLS.N	LT SOBERANIS 6927 PACIFIC BL, HTG PK		22:03:06	22:12:56			22:15:19
									*K91						
230222-0008	OK	12	02/22/2023	OO		02:00:03	HP	Garibay.J	LT SOBERANIS 6927 PACIFIC BL, HTG PK		02:02:55				02:06:18
									*33						02:06:18
									12						
230222-0106	OK	12	02/22/2023	OO		22:01:56	HP	PIMENTEL.A	LT SOBERANIS 6927 PACIFIC BL, HTG PK		22:13:29	22:21:10			22:35:22
									*12						

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 02/16/2023

Last Date: 06/04/2023

Jurisdiction:		HPPD		Last Date:		06/04/2023		
Call Number		Disp	Ten	Received	Caller		Address	
		Code		Complaint				
		Dep	Officer	Unit	Dispatch	Enroute	OnScene	Unit Time
					Arrive	Remove	Comp	
230223-0008								
OK			02/23/2023	02:00:42	LT SOBERANIS			
			OO		6927 PACIFIC BL, HTG PK			
		HP	Garibay,J		*33	02:08:38	02:11:20	02:13:45
230223-0103								
OK	12		02/23/2023	22:01:33	LT SOBERANIS			
			OO		6927 PACIFIC BL, HTG PK			
		HP	Willie,T		*14	22:02:31		22:03:02
		HP	PIMENTEL,A		12		22:25:18	22:25:28
		HP	Felix,E		13	22:02:43		22:02:57
230224-0007								
OK	13		02/24/2023	02:00:19	LT SOBERANIS			
			OO		6927 PACIFIC BL, HTG PK			
		HP	Felix,E		*13	02:02:20	02:05:39	02:07:39
230224-0090								
COMP	K92		02/24/2023	22:00:57	LT SOBERANIS			
			OO		6927 PACIFIC BL, HTG PK			
		HP	MORENO,J		*K92	22:02:51	22:05:37	22:08:00
230225-0008								
OK			02/25/2023	02:00:24	LT SOBERANIS			
			OO		6927 PACIFIC BL, HTG PK			
		HP	PIMENTEL,A		*12	02:08:15		02:19:36
230225-0095								
OK	14		02/25/2023	22:00:45	LT SOBERANIS			
			OO		6927 PACIFIC BL, HTG PK			
		HP	Felix,E		*14	22:04:06	22:07:29	22:11:31
230226-0013								
OK			02/26/2023	02:00:26	LT SOBERANIS			
			OO		6927 PACIFIC BL, HTG PK			

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 02/16/2023

Last Date: 06/04/2023

Jurisdiction: HPPD		Last Date: 06/04/2023										
Call Number	Disp	Ten	Received	Caller		Unit Time						
Code Complaint				Dep Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
230226-0013	OK		02/26/2023 02:00:26	LT SOBERANIS								
			OO	6927 PACIFIC BL, HTG PK								
				HP Reza,R	*13		02:21:55	02:24:08				02:24:54
230226-0062	OK	12	02/26/2023 19:21:16	GUADALUPE ESPERITUETA								
			TC NON-INJ	6927 PACIFIC BL, HTG PK								
				HP Reza,R	*13		19:39:27				19:39:53	
				HP Yamasaki,J	12		19:39:51	19:44:32				19:46:46
230226-0072	OK	14	02/26/2023 22:00:49	LT SOBERANIS								
			OO	6927 PACIFIC BL, HTG PK								
				HP Felix,E	*14		22:01:10	22:06:19				22:06:35
230227-0006	OK	13	02/27/2023 02:00:02	LT SOBERANIS								
			OO	6927 PACIFIC BL, HTG PK								
				HP Reza,R	*13		02:15:33	02:20:11				02:22:29
230227-0091	OK	13	02/27/2023 22:00:39	LT SOBERANIS								
			OO	6927 PACIFIC BL, HTG PK								
				HP Reza,R	*13		22:02:16	22:11:05				22:14:38
230228-0006	OK	12	02/28/2023 02:00:57	LT SOBERANIS								
			OO	6927 PACIFIC BL, HTG PK								
				HP Yamasaki,J	*12		02:16:18	02:36:27				02:38:55
230228-0104	OK	14	02/28/2023 22:00:46	LT SOBERANIS								
			OO	6927 PACIFIC BL, HTG PK								
				HP Willie,T	*14		22:03:23	22:18:49			22:03:51	22:25:03

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 02/16/2023

Last Date: 06/04/2023

Jurisdiction:		HPPD		Last Date:		06/04/2023	
Call Number	Disp	Ten	Received	Code	Complaint	Caller	
						Dep	Officer
Address							
		Unit		Unit Time			
		Dispatch		Enroute			
		OnScene		Depart			
		Arrive		Remove			
		Comp					
230228-0104	OK	14	02/28/2023	22:00:46	LT SOBERANIS		
			OO		6927 PACIFIC BL, HTG PK		
				HP	PIMENTEL,A	12	
						22:21:39	
						22:25:03	
230301-0008	OK	13	03/01/2023	02:00:29	LT SOBERANIS		
			OO		6927 PACIFIC BL, HTG PK		
				HP	SALEH,H	*13	
						02:17:07	
						02:17:39	
						02:19:01	
230301-0110	OK	13	03/01/2023	22:00:40	LT SOBERANIS		
			OO		6927 PACIFIC BL, HTG PK		
				HP	SALEH,H	*13	
						22:33:04	
						22:33:11	
230302-0004	OK	11	03/02/2023	01:10:07	LT SOBERANIS		
			OO		6927 PACIFIC BL, HTG PK		
				HP	Wheeler,A	*11	
						01:46:46	
						01:59:37	
						02:02:52	
230302-0115	OK	12	03/02/2023	22:00:28	LT SOBERANIS		
			OO		6927 PACIFIC BL, HTG PK		
				HP	PIMENTEL,A	*12	
						23:00:42	
						23:02:40	
						23:04:38	
230303-0005	OK	13	03/03/2023	01:10:06	LT SOBERANIS		
			OO		6927 PACIFIC BL, HTG PK		
				HP	SALEH,H	*13	
						01:18:22	
						01:20:51	
230304-0006	UTL		03/04/2023	02:14:01			
			SUSP CIRCS		6927 PACIFIC BL, HTG PK		
				HP	Wheeler,A	*11	
				HP	PIMENTEL,A	12	
						02:16:00	
						02:16:02	
						02:18:08	
						02:18:48	
						02:18:48	

Huntington Park Police Department

First Date: 02/16/2023

Jurisdiction: HPPD **Last Date:** 06/04/2023

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Dev Officer230304-0006

6927 PACIFIC
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HP SALEH,H

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HP	CEIA D

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HP GARCIA, J
HP Ornelas I
HP

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HP Reza.RHP BOJORQUEZ, M230402-0076

RPT 11 04/02/2023 19:53:48 BERENICE B

HP NEVER SA

HP Garibay, J

HF
BOJOKQUEZ,MI

230403-0095

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HP BOJORQUEZ, M

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 02/16/2023

Last Date: 06/04/2023

Jurisdiction:	HPD	Ten	Received	Code	Complaint	Dep	Officer	Address	Unit	Dispatch	Enroute	OnScene	Unit Time		
													Depart	Arrive	Remove
230513-0099	OK	K92	05/13/2023	22:42:59	OO	HP	MORENO,J	6927 PACIFIC BL, HTG PK S/A REAR				22:42:59			22:48:23
								*K92							
230514-0085	UTL	12	05/14/2023	22:08:36	242R	HP	Reza,R	ALFREDO CRUZ							
						HP	Yamasaki,J	6927 PACIFIC BL, HTG PK							
								*13		22:15:17					22:26:35
								12		22:15:18		22:21:53			22:26:35
230522-0090	MUT	13	05/22/2023	21:19:33	242R	HP	Omela,L	JUAN DAVID							
	NRD	13				HP	Reza,R	6927 PACIFIC BL, HTG PK							
						HP	GARCIA,C			21:23:58	21:27:10				21:57:05
						HP	Cuevas,v			21:28:13	21:37:25				21:57:05
						HP				21:44:59	21:46:07				
						HP				21:24:00	21:44:42				21:45:01
230603-0008	RPT	13	06/03/2023	02:42:45	245R	HP	PEREZ,T	BELMOR							
						HP	Wheeler,A	6927 PACIFIC BL, HTG PK							
						HP	Willie,T			02:43:36	02:46:57				03:04:11
						HP	PIMENTEL,A			02:43:38	02:45:38				
						HP				02:44:22	02:45:41			03:02:32	03:04:12
						HP				02:44:24	02:45:38				03:04:12
230604-0015	LOG	1S	06/04/2023	02:13:53	415D	HP	BOJORQUEZ,M	RICARDO SOTO							
						HP		6927 PACIFIC BL, HTG PK							
								*1S		02:47:32	02:48:57				02:50:04

* Denotes Primary Unit



CITY OF HUNTINGTON PARK

PLANNING DIVISION AGENDA REPORT

DATE: NOVEMBER 15, 2023

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTN: STEVE FORSTER, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: LEMESSIS QUINTERO, ASSOCIATE PLANNER

SUBJECT: CASE NO. 2022-01 VARIANCE, CASE NO. 2022-01 DEVELOPMENT PERMIT AND CASE NO. 2023-02 TENTATIVE TRACT MAP

REQUEST: A REQUEST FOR A VARIANCE, DEVELOPMENT PERMIT, AND TENTATIVE TRACT MAP FOR THE CONSTRUCTION OF FOUR (4) TWO-STORY SINGLE FAMILY DWELLING UNITS AT 7040 NEWELL STREET, WITHIN THE HIGH DENSITY RESIDENTIAL (R-H) ZONE.

APPLICANT: Salvador Polina
12631 Imperial Highway, Suite B-204
Santa Fe Springs, CA 90670

PROPERTY OWNER: SP Homes Company, LLC

PROPERTY OWNER'S MAILING ADDRESS: 12531 Paramount Blvd Apt B
Downey, CA 90242

PROJECT LOCATION: 7040 Newell Street

ASSESSOR'S PARCEL NUMBER: 6324-033-004

PREVIOUS USE: Vacant Lot

SITE SIZE: 9,995 Sq. Ft.

GENERAL PLAN: High Density Residential

ZONE: High Density Residential (R-H)

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7040 Newell Street

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**SURROUNDING
ZONING AND LAND USES:**

North	High Density Residential (RH) Current land use: Residential
East	Open Space (OS) Current land use: Salt Lake Park
South	High Density Residential (RH) Current land use: Residential
West	High Density Residential (RH) Current land use: Residential

**MUNICIPAL CODE
APPLICABILITY OF
REQUIREMENTS FOR
VARIANCE:**

Pursuant to Huntington Park Municipal Code (HPMC) Title 9, Chapter 2, Section 9-2.903; The Planning Commission may grant a Variance from the requirements of this Code. Examples include, but are not limited to, the following matters:

1. Permit the modification of the dimensional standards of the following:
 - A. Distance between structures;
 - B. Parcel area (size);
 - C. Parcel coverage;
 - D. Parcel dimensions;
 - E. Setbacks; or
 - F. Structure heights.
2. Permit the modification of sign regulations (other than prohibited signs); and
3. Permit the modification of the number and dimensions of parking areas, loading spaces, landscaping, or lighting requirements.

**MUNICIPAL CODE
APPLICABILITY OF
REQUIREMENTS FOR
DEVELOPMENT PERMIT:**

Pursuant to Huntington Park Municipal Code (HPMC) Title 9, Chapter 2, Article 10, Section 9-2.1003; approval of a Development Permit shall be required under the following circumstances:

1. For a new structure or use listed as subject to a "Development Permit" (D) in the applicable zoning district;

PLANNING COMMISSION AGENDA REPORT

Case No. 2022-01 Variance, Case No. 2022-01 Development Permit and Case No. 2023-02 Tentative Tract Map

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2. For a new single-family structure;
3. For the expansion or conversion of an existing structure or use, affecting or involving a minimum of twenty-five (25) percent of the total gross floor area of the structure;
4. For the enlargement or exterior alteration of an existing structure, affecting or involving a minimum of twenty-five (25) percent of the total gross floor area of the structure, for which a Development Permit has not been issued, excluding an existing single-family structure;
5. For the movement and/or relocation of any structure, including factory-built and manufactured housing, to any parcel within the City;
6. For the expansion of a legal nonconforming structure, affecting or involving a minimum of twenty-five (25) percent of the total gross floor area of the structure, for which a Development Permit has not been issued in compliance with Chapter 3 Article 6 (Nonconforming structures and uses); and
7. For the rebuilding/replacement of a destroyed/demolished legal nonconforming structure for which a Development Permit has not been issued in compliance with Chapter 3, Article 6 (Nonconforming structures and uses).

MUNICIPAL CODE APPLICABILITY FOR REQUIREMENT OF A SUBDIVISION MAP:

Pursuant to Huntington Park Municipal Code (HPMC) Title 10, Chapter 3 a tentative and final tract map shall be required for all division of land when determined by the Community Development Department that such land may be divided into five (5) or more parcels, five (5) or more condominiums, a community apartment project containing five (5) or more parcels, or for the conversion of a dwelling to a stock cooperative containing five (5) or more dwelling units, unless the subdivision activity is listed in Section 10-

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Case No. 2022-01 Variance, Case No. 2022-01 Development Permit and Case No. 2023-02 Tentative Tract Map

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3.102(B), Exemptions from tentative tract map requirements.

REQUIRED FINDINGS FOR A VARIANCE:

Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Planning Commission may approve and/or modify a Variance application in whole or in part, with or without conditions, only if all of the following findings are made:

1. That there are special circumstances applicable to the property, including location, shape, size, surroundings or topography so that the strict application of this Code denies the property of privileges enjoyed by other property in the vicinity and under identical zoning district classification;
2. That granting the Variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and zoning district and unavailable to the property for which the Variance is sought;
3. That granting the Variance will not be detrimental to the public health, safety or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located;
4. That granting the Variance does not constitute a special privilege inconsistent with the limitations upon other property in the vicinity and zoning district in which the property is located;
5. That granting the Variance does not allow a use or activity which is not otherwise expressly authorized by the regulations governing the subject parcel; and
6. That granting the Variance will not be inconsistent with the General Plan.

PLANNING COMMISSION AGENDA REPORT

Case No. 2022-01 Variance, Case No. 2022-01 Development Permit and Case No. 2023-02 Tentative Tract Map

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REQUIRED FINDINGS FOR A DEVELOPMENT PERMIT:

Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Planning Commission may approve, modify, or deny a Development Permit in whole or in part and shall impose specific development conditions if approved. These conditions shall relate to both on- and off-site improvements that are necessary to accommodate flexibility in site planning/property development, mitigate project-related adverse impacts and to carry out the purpose/intent and requirements of the respective zoning district and General Plan goals and policies. The Planning Commission may approve a Development Permit, only if all of the following findings are made:

1. The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards;
2. The proposed use is consistent with the General Plan;
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property;
4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

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Case No. 2022-01 Variance, Case No. 2022-01 Development Permit and Case No. 2023-02 Tentative Tract Map

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7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.

REQUIRED FINDINGS FOR A PLANNED UNIT DEVELOPMENT:

In approving or conditionally approving a project, the following findings shall be made:

1. The proposed use is permitted or conditionally permitted within, and would not impair the integrity and character of the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the Development Permit or Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City;
5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

REQUIRED FINDINGS FOR A TENTATIVE TRACT MAP:

1. The Tentative Tract Map applied for is authorized by the provisions of Chapter 4, Title 10 of the Huntington Park Municipal Code.

PLANNING COMMISSION AGENDA REPORT

Case No. 2022-01 Variance, Case No. 2022-01 Development Permit and Case No. 2023-02 Tentative Tract Map

7040 Newell Street

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2. That the approval of such Tentative Tract Map will not adversely affect the Master or General Plan of this City.
3. The Tentative Tract Map will create a parcel that will be more harmonious and compatible in size with existing and planned future developments within the zoning district and general area.

FINDINGS PURSUANT TO CA GOV. CODE § 66474:

Pursuant to *Ca. Gov. Code § 66474* a legislative body of a city or county shall **deny** approval of a tentative map, or a parcel map for which a tentative map was not required, if it makes any of the following findings:

- (a) That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
- (b) That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
- (c) That the site is not physically suitable for the type of development.
- (d) That the site is not physically suitable for the proposed density of development.
- (e) That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- (f) That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- (g) That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be

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provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.

ENVIRONMENTAL REVIEW:

Environmental Determination Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project consisting of a Variance, Development Permit and Tentative Tract Map are categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) have a project site that can be adequately served by all required utilities and public services.

The project complies with the applicable General Plan and zoning designations and is fully served by all required utilities. The site also has no value for a sensitive or endangered habitat. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission may find the project is in compliance with the CEQA exemption. The Notice of Exemption is attached to this report as Exhibit L.

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PROJECT BACKGROUND:

- **Site Description**

The subject site is located mid-block on the easterly side of Newell Street between E. Florence Avenue and Saturn Avenue. The currently vacant lot abuts Salt Lake Park. The site measures approximately 9,995 square feet (lot dimensions \pm 199.91 feet in length by \pm 50.08 feet in width).

The subject site is surrounded by residential uses to the north, south and west. Salt Lake Park is located directly east of the site.

ANALYSIS:

- **Project Proposal**

The applicant, SP Homes, is requesting Planning Commission approval of a Variance, Development Permit for a Planned Unit Development comprised of four (4) detached two-story single-family dwellings, and a Tentative Tract Map for condominium purposes.

The HPMC Sec. 9-3.1502 defines Planned Unit Development as “*a form of subdivision wherein the dwelling space as well as the land directly beneath a dwelling is owned individually and only the land surrounding the dwelling units is held in common ownership. No planned unit development shall be vertically stacked so as to be over or under any other dwelling unit*”.

- **Lot Dimensions**

The lot measures approximately 9,995 square feet.

VARIANCE:

The HPMC Sec. 9-4.103 identifies the minimum lot area requirements including the lot width and lot depth in the High Density Residential (R-H) Zone.

The subject site does not meet the minimum lot dimensions or lot area required per HPMC Sec. 9-4.103. Therefore, the applicant is requesting a Variance to deviate from the minimum lot dimensions and lot size. Both the minimum lot width and lot depth requirement in the R-H zone is one hundred (100) feet, and the minimum lot size is 15,000 square feet. However, the subject site has a lot length of approximately 199.91 feet and a lot width of approximately

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50.08 feet. Therefore, the lot measures approximately 9,995 square feet. Pursuant to the HPMC, the Planning Commission may grant a Variance to deviate from the required parcel size and parcel dimensions.

The applicant is also requesting a Variance to deviate from the open space requirements in the R-H Zone (HPMC Sec. 9-4.103) as well as a Variance to deviate from the required number of off-street parking per HPMC Sec. 9-3.804.

DEVELOPMENT PERMIT:

Pursuant to HPMC Sec. 9-2.1003 the applicant is requesting a Development Permit to construct four (4) detached single family dwelling units.

- ***Design***

Each single-family dwelling is proposed to be two stories tall at approximately 26 feet 4 inches. The first floor consists of a kitchen, dining room, living room and two-car garage.

The applicant is proposing three different designs for the single-family dwellings. Plan A is approximately 1,234 square feet and features a kitchen, living room, four (4) bedrooms, and two (2) full bathrooms.

Plan B, which consists of the two (2) middle single-family dwellings, measures approximately 1,224 square feet and features a kitchen, living room, four (4) bedrooms, and two (2) full bathrooms.

Plan C, which is the rear unit closest to Salt Lake Park measures approximately 1,416 square feet, features a kitchen, living room, four (4) bedrooms and two (2) full bathrooms.

All four (4) single-family dwellings feature a Spanish style design by incorporating terracotta roof tiles, exterior wood shutters around the windows, decorative stonework, and window trim. The colored renderings of the proposed project are attached as Exhibit E.

The site will incorporate a permeable pavement driveway, landscape consisting of trees and shrubs, a trash enclosure

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and a 6 ft. high fence along the rear and sides of the property.

- **Density**

Per HPMC Section 9-4.103, allowable density in the R-H Zone is 20 units per acre. Thus, the maximum number of units allowed for a 9,995 square foot parcel in the R-H Zone is four units. The table below summarizes this calculation.

CALCULATION OF UNITS ALLOWED ON THE SUBJECT SITE

LOT SIZE	MAXIMUM UNITS/ ACRE	TOTAL
9,995 sq. ft. / 43,560 sq. ft. = .22 acres	20u/acre	20u x .22 acres = 4.5, round down to 4 units

The applicant is proposing a total of four (4) residential units which complies with the allowable density per the HPMC.

- **Off-Street Parking & Loading**

Per the HPMC Section 9-3.804, the proposed project requires 2 spaces within a garage, plus 1 parking space (covered or uncovered) for every bedroom after the first 2 bedrooms, and 1 uncovered guest space for every unit. Thus, the proposed project requires five off-street parking spaces per unit, with a total of twenty off-street parking spaces for the project. The table below summarizes the number of off-street parking spaces required for this proposed project. The proposed project provides 2 enclosed parking spaces per unit (in garage) and four guest parking spaces in total (one guest parking space per unit). As previously stated, the applicant is requesting a Variance to deviate from the required number of off-street parking spaces. The table below summarizes the required and proposed off-street parking.

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PARKING CALCULATION FOR RESIDENTIAL UNITS

REQUIRED PER UNIT	PROPOSED PER UNIT	COMPLIANCE WITH HPMC TITLE 9 CHAPTER 3 ARTICLE 8
2 spaces within a garage per unit (garage)	2 spaces within enclosed garage	YES
1 parking space (covered or uncovered) for every bedroom after the first 2 bedrooms	None	NO
1 uncovered guest space for every unit	One (1) uncovered guest space per unit	YES

In recent years the State of California has passed legislature to increase housing production and decrease obstacles faced by developers. One of the largest obstacles faced by developers is providing off-street parking. In reducing the amount of off-street parking required, the State of California expects residents to use alternative forms of transportation such as mass transit. The requested Variance for the reduction in required off-street parking aligns with recent legislature passed by the State of California, as well as parking reform mandates that are being proposed throughout the nation.

- ***Access/Circulation***

All four single family dwelling units will share a common driveway along Newell Street. The subject site will have vehicular access exclusively via Newell Street. The maintenance of the common driveway and guest parking spaces will be maintained through a homeowner's association via the covenants, conditions, and restrictions (CC & Rs).

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- **Open Space**

Pursuant to HPMC Sec. 9-4.103 properties in the High Density Residential (R-H) Zone are required to provide 200 square feet of private open space and 200 square feet of common open space per unit. Due to the size and dimensions of the parcel, the applicant is requesting a Variance from providing any common open space. The project proposes over 200 sq. ft. of private open space per unit and is in compliance with the HPMC requirements for private open space. The table below summarizes the required and proposed open space.

OPEN SPACE REQUIREMENTS (R-H ZONE)

TYPE OF OPEN SPACE	REQUIRED PER UNIT	PROPOSED PER UNIT	COMPLIANCE WITH HPMC TITLE 9 CHAPTER 3 ARTICLE 8
Private Open Space	200 square feet per unit	Plan A: 209 sq. ft. Plan B: 209 sq. ft. Plan B: 209 sq. ft. Plan C: 225 sq. ft.	YES
Common Open Space	200 square feet per unit. Total of 800 square feet.	None	NO

TENTATIVE TRACT MAP:

The applicant has submitted a Tentative Tract Map (Exhibit F) to establish four (4) lots for condominium purposes and one (1) common lot. The common lot is comprised of the common driveway, guest parking stalls, landscape area and area of the trash enclosure. The common lot is to be maintained by the Homeowners Association.

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FINDINGS

Variance Findings:

In granting a Variance for project applicable by HPMC Sec. 9-2.903, the Planning Commission must make findings in connection with the Variance, as set forth in the Huntington Park Municipal Code. A Variance may be recommended approval only if all of the following findings are made:

- 1. That there are special circumstances applicable to the property, including location, shape, size, surroundings or topography so that the strict application of this Code denies the property of privileges enjoyed by other property in the vicinity and under identical zoning district classification.**

Finding: Special circumstances are applicable to the subject site in that the subject site consists of an established lot recorded in 1914. Furthermore, the surrounding area is fully developed with existing residential uses. As a result, a Variance is required in order to facilitate development of the subject site.

The dimensions of the subject site (\pm 50.08 feet in width and \pm 199.91 feet in length) along with the square footage of the lot (9,995 square feet) is a special circumstance to the property that strict application of the HPMC (Title 9) provisions for development standards, off-street parking requirements and common open space requirements denies the property owner privileges enjoyed by other property owners in the vicinity and under the identical zoning district.

Thus, the size of the lot, the dimensions of the lot, and intended use of the subject site, relative to other residential parcels in the same vicinity, is a special circumstance that the strict application of Title 9 of the HPMC denies the property owner privileges enjoyed by other property owners in the vicinity and under identical zoning districts.

- 2. That granting the Variance is necessary for the preservation and enjoyment of a substantial**

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property right possessed by other property in the same vicinity and zoning district and unavailable to the property for which the Variance is sought.

Finding: As previously stated, the existing dimensions of the lot and intended use of the subject site are special circumstances that require a Variance to be granted in order for the property owner to enjoy the same property rights possessed by other properties in the same vicinity and zoning district.

- 3. That granting the Variance will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.**

Finding: The proposed residential development of the project site and approval of the Variance would be subject to all applicable Building and Fire Codes, Public Works, and Police Department regulations and conditions of approval intended to protect the public health, safety, and general welfare of the community.

Therefore, the granting of the Variance will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.

- 4. That granting the Variance does not constitute a special privilege inconsistent with the limitations upon other property in the vicinity and zoning district in which the property is located.**

Finding: The granting of the Variance does not constitute a special privilege as the intended use of the subject site complies with the zoning regulations of the High-Density Residential Zone and the General Plan designation of High Density Residential. The intended use is compatible with neighboring uses and the proposed number of dwelling units complies with the allowable density in the High Density Residential (R-H) Zone of twenty dwelling units/ acre.

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5. **That granting the Variance does not allow a use or activity which is not otherwise expressly authorized by the regulations governing the subject parcel.**

Finding: The proposed use/ activity of Single-Family Dwellings is a use permitted by right in the High-Density Residential (R-H) Zone pursuant to HPMC Sec. 9-4.102 Table IV-1.

6. **That granting the Variance will not be inconsistent with the General Plan.**

Finding: The granting of the Variance is consistent and complies with the General Plan designation of High Density Residential. Granting of the Variance is consistent with Goal 2.0 of the General Plan *“Accommodate new development that is compatible with and complements existing land uses”*. The proposed project is consistent and compliments existing residential development in the surrounding neighborhood.

Development Permit Findings:

In granting a Development Permit for project applicable by HPMC Sec. 9-2.1003 or use listed as subject to a “Development Permit” (D) in the applicable zoning district, the Planning Commission must make findings in connection with the Development Permit, as set forth in the Huntington Park Municipal Code. A Development Permit may be recommended approval only if all of the following findings are made:

1. **The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards.**

Finding: The proposed development of Single-Family Dwelling units is permitted by right in the High Density Residential (R-H) Zoning District. Pursuant to HPMC Sec. 9-2.1004 the review authority for the construction

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of two or more residential dwelling units is the Planning Commission. The proposed project complies with the allowable density in the High Density Residential (R-H) Zone of 20 units per acre.

2. The proposed development is consistent with the General Plan.

Finding: The proposed development is consistent with the following goals of the General Plan:

Goal 2: *“Accommodate new development that is compatible with and complements existing land uses.”*

The proposed development is compatible with and complements existing residential development in the neighboring area. The surrounding area is comprised of existing residential lots with more than one dwelling unit.

Goal 3: *“Provide for the revitalization of deteriorating land uses and properties.”*

The subject site is currently a vacant lot with overgrown vegetation that is blighting the residential neighborhood. The approval of a development permit to construct four detached single family dwelling units will revitalize the subject site and provide a compatible and complimentary use.

3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property.

Finding: The proposed development of four detached single family dwelling units is harmonious and compatible use with the existing neighboring residential development. The design of the single-family residential units will incorporate a Spanish style design. The neighboring area is fully developed and consists of lots with multiple dwelling units.

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4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.

Finding: The approval of the Development Permit is in compliance with the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project consisting of a Variance, Development Permit and Tentative Tract Map are categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) have a project site that can be adequately served by all required utilities and public services.

The project complies with the applicable General Plan and zoning designations and is fully served by all required utilities. The site also has no value for a sensitive or endangered habitat. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission may find the project is in compliance with the CEQA exemption.

5. The subject site is physically suitable for the type and density/intensity of use being proposed.

Finding: The subject site located in the R-H Zoning District measuring approximately 9,995 square feet yields an allowable density of four residential dwelling units. The project is proposing a total of four detached single family dwelling units which complies with the allowable density of the High Density Residential (R-H) Zone. Furthermore, the proposed use of single-family

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dwelling is a use permitted by right in the High Density Residential (R-H) Zone.

- 6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed use would not be detrimental to public health, safety and general welfare.**

Finding: As part of the development new connections to existing utilities (e.g., water, electricity, sewage) will be created to allow connection to the proposed project consisting of four detached single-family dwelling units. The surrounding area is completely developed with public access, water, sanitation and public utilities and services. The new development will not impede access to water, sanitation, or other public utilities and services. It is expected that the proposed development will not be detrimental to public health, safety and general welfare and will be required to comply with all California Building Code requirements and Fire Department requirements.

- 7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.**

Finding: The proposed project incorporates a Spanish style design featuring earth toned colors, terracotta roof tile, decorative window trim, and wood shutters around the exterior of the windows.

The proposed project has been reviewed by various departments (i.e., Building and Safety, Public Works, LA County Fire, Huntington Park Police Department) and conditions of approval have been included to ensure that the project does not create any issues of concern that would be detrimental to the public health, safety, or welfare of the City.

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PLANNED UNIT DEVELOPMENT

FINDINGS:

- 1. The proposed use is permitted or conditionally permitted within, and would not impair the integrity and character of the subject zoning district and complies with all of the applicable provisions of this Code;**

Finding: The proposed development of Single-Family Dwelling units is permitted by right in the High Density Residential (R-H) Zoning District. Pursuant to HPMC Sec. 9-2.1004 the review authority for the construction of two or more residential dwelling units is the Planning Commission. The proposed project complies with the allowable density in the High Density Residential (R-H) Zone of 20 units per acre.

- 2. The proposed use is consistent with the General Plan;**

Finding: The proposed development is consistent with the following goals of the General Plan:

Goal 2: *“Accommodate new development that is compatible with and complements existing land uses.”*

The proposed development is compatible with and complements existing residential development in the neighboring area. The surrounding area is comprised of existing residential lots with more than one dwelling unit.

Goal 3: *“Provide for the revitalization of deteriorating land uses and properties.”*

The subject site is currently a vacant lot with overgrown vegetation that is blighting the residential neighborhood. The approval of a development permit to construct four detached single family dwelling units will revitalize the subject site and provide a compatible and complimentary use.

- 3. The approval of the Development Permit or Conditional Use Permit for the proposed use is in compliance with the requirements of the California**

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Environmental Quality Act (CEQA) and the City's Guidelines;

Finding: The approval of the Development Permit is in compliance with the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project consisting of a Variance, Development Permit and Tentative Tract Map are categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) have a project site that can be adequately served by all required utilities and public services.

The project complies with the applicable General Plan and zoning designations and is fully served by all required utilities. The site also has no value for a sensitive or endangered habitat. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission may find the project is in compliance with the CEQA exemption.

- 4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City;**

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Finding: The proposed project incorporates a Spanish style design featuring earth toned colors, terracotta roof tile, decorative window trim, and wood shutters around the exterior of the windows.

The proposed project has been reviewed by various departments (i.e., Building and Safety, Public Works, LA County Fire, Huntington Park Police Department) and conditions of approval have been included to ensure that the project does not create any issues of concern that would be detrimental to the public health, safety, or welfare of the City.

Furthermore, the proposed use of single-family dwellings is a use permitted by right in the High Density Residential (R-H) Zone.

5. The subject site is physically suitable for the type and density/intensity of use being proposed; and

Finding: The subject site located in the R-H Zoning District measuring approximately 9,995 square feet yields an allowable density of four residential dwelling units. The project is proposing a total of four detached single family dwelling units which complies with the allowable density of the High Density Residential (R-H) Zone. Furthermore, the proposed use of single-family dwellings is a use permitted by right in the High Density Residential (R-H) Zone.

6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

Finding: As part of the development new connections to existing utilities (e.g., water, electricity, sewage) will be created to allow connection to the proposed project consisting of four detached single-family dwelling units. The surrounding area is completely developed with public access, water, sanitation and public utilities and services. The new development will not impede access to water, sanitation, or other public utilities and services. It is expected that the proposed development will not be detrimental to public health, safety and

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general welfare and will be required to comply with all California Building Code requirements and Fire Department requirements.

TENTATIVE

TRACT MAP FINDINGS:

- 1. The Tentative Tract Map applied for is authorized by the provisions of Chapter 4, Title 10 of the Huntington Park Municipal Code.**

Finding: Pursuant to HPMC Sec. 10-3.101 a tentative and final tract map is required for all divisions of land when resulting in five (5) or more parcels.

The proposed Tentative Tract Map has been prepared by a licensed engineer. The Tentative Tract Map has been reviewed for compliance with Title 10 of the HPMC. Additionally, the proposed Tentative Tract Map complies with the requirements set forth in the California Subdivision Map Act.

- 2. That the approval of such Tentative Tract Map will not adversely affect the Master or General Plan of this City.**

Finding: The proposed project is consistent with and will not adversely affect the General Plan. The proposed project complies with the Goals and Policies of the General Plan, by developing affordable housing within an existing vacant lot. Furthermore, the proposed project complies with the following goals of the General Plan:

Goal 2: "Accommodate new development that is compatible with and complements existing land uses."

The proposed development is compatible with and complements existing residential development in the neighboring area. The surrounding area is comprised of existing residential lots with more than one dwelling unit.

Goal 3: "Provide for the revitalization of deteriorating land uses and properties."

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The subject site is currently a vacant lot with overgrown vegetation that is blighting the residential neighborhood. The approval of a development permit to construct four detached single family dwelling units will revitalize the subject site and provide a compatible and complimentary use.

3. The Tentative Tract Map will create a parcel that will be more harmonious and compatible in size with existing and planned future developments within the zoning district and general area.

Finding: The Tentative Tract Map is for condominium purposes and will create five total parcels. Four of the five parcels are for the development of a single-family dwelling, the fifth parcel is the common lot which consists of a common driveway, landscape areas and trash enclosure. The common lot will be maintained through the Homeowners Association. The proposed project will be compatible with existing residential development in the surrounding neighborhood.

DEPARTMENT COMMENTS: The Variance, Development Permit and Tentative Tract Map application were routed to City Departments, the conditions of approval reflect input and requirements from the City Departments and Divisions. Conditions of approval have been included in the attached Planning Commission Resolution (Exhibit A).

PUBLIC NOTICE: Public notices were mailed on 11/02/2023, as of the date of this public hearing no comments have been received.

RECOMMENDATION: That the Planning Commission conduct a public hearing, consider all public testimony, and **adopt** PC Resolution No. 2022-01 Variance, 2022-01 Development Permit and 2023-02 Tentative Tract Map, subject to the proposed conditions of approval and/or additional conditions that the Planning Commission may wish to impose.

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CONDITIONS OF APPROVAL:

PLANNING

1. That the applicant/property owner and each successor in interest to the property which is the subject of this project shall defend, indemnify and hold harmless the City of Huntington Park and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, City Council, or Planning Commission. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. The proposed project shall comply with all applicable federal, state and local agency codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Zoning, and Business License Regulations of the City of Huntington Park.
4. The property be developed and maintained in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal Code.
5. All proposed on-site utilities, including electrical and equipment wiring, shall be installed underground and/or routed along the ground floor and shall be completely concealed from public view as required by the City prior to authorization to operate.
6. That any existing and/or future graffiti, as defined by the Huntington Park Municipal Code Section 5-27.02(d), shall be diligently removed within a reasonable time period.
7. That the Applicant comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The Applicants shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) requirements.
8. That this entitlement shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
9. That the violation of any of the conditions of this entitlement may result in a citation(s) and/or the revocation of the entitlement.

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10. That this entitlement may be subject to additional conditions after its original issuance, upon a duly noticed public hearing item. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
11. The applicant shall provide publicly visible art or pay art fees in accordance with the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of Occupancy.
12. The applicant shall pay parkland fees pursuant to Resolution No. 2007-12.
13. Any proposed mechanical equipment and appurtenances, including satellite dishes, gutters, etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to final building inspection.
14. The applicant shall be subject to any fees and requirements from the California Department of Fish and Wildlife, as stated in the CEQA Environmental Document Filing fee schedule.
15. This entitlement shall expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
16. If the use ceases to operate for a period of six (6) months, the entitlement shall be null and void.
17. That the Applicant shall comply with all applicable property development standards including, but not limited to, outdoor storage, fumes and vapors, property maintenance, and noise.
18. The Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
19. All on-site lighting shall be energy efficient, stationary, and directed away from adjoining properties and public rights-of-way.
20. All landscaping shall be installed and permanently maintained in compliance with HPMC Title 9, Chapter 3, Article 4 (Landscaping Standards);
21. Wheel stops are required to be installed for all guest parking spaces on-site.

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22. Pursuant to HPMC Sec. 9-4.102 laundry facilities shall be located within the footprint of a dwelling unit and may not be located within the garage.
23. Garages shall maintain interior clearance of 20 feet by 20 feet, in compliance with HPMC Sec.9-3.809.
24. The location and number of off-street parking spaces shall remain in perpetuity as developed and approved by the Planning Commission and shall not be developed or modified for other uses (e.g., housing, storage).
25. The applicant is required to provide private outdoor open space for each dwelling unit in accordance with Title 9, Chapter 4, Article 1. The private outdoor open space shall remain in perpetuity as developed and approved by the Planning Commission.
26. The approved Spanish architectural style, finish materials and colors shall remain in conformance with the approved elevations. Changes to the facades and/or colors shall be subject to the review and approval of the Community Development Director who may defer decision to the Planning Commission.
27. The Homeowners Association shall maintain an active business license with the City.
28. The owner of a residential unit available for rent shall obtain a business license with the City.
29. That the business owner (Applicant) and property owner agree in writing to the above conditions.

TENTATIVE TRACT MAP

30. The Vesting of the Tentative Tract Map is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
31. The final map to be recorded with the Los Angeles County Recorder shall substantially conform to the Tentative Tract Map submitted with this application and dated "Approved at Hearing November 15, 2023," except as modified herein.
32. This subdivision shall comply with Title 10 of the City of Huntington Park Municipal Code (Subdivisions).
33. The final map shall not be recorded until there has been compliance with all conditions of approval.

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34. The developer shall install house addresses and mailboxes in accordance with U. S. Post Office policy.
35. The common area portion of the site shall be maintained and kept in good condition at all times.
36. All landscape and walkway lighting shall be directed downward to minimize glare.
37. The applicant shall pay all fees due to City Consultant for the review/ approval of the Tentative/ Final Tract Map.
38. Developer shall establish a homeowner's association and the association shall be responsible for the maintenance of the private driveway, landscaping and any other interior areas held in common by the association and for the enforcement of CC&R's related to property maintenance.
39. Any covenants, conditions, and restrictions (CC&R's) applicable to the project property shall be consistent with the terms of this Tentative Tract Map and the HPMC. If there is a conflict between the CC&R's and the HPMC or this permit, the HPMC or this permit shall prevail.
40. Developer shall include in all deeds for the project and in the CC&R's a prohibition against parking recreational vehicles.
41. Developer shall include in the CC&R's that the location and number of off-street parking spaces shall remain in perpetuity as developed and approved by the Planning Commission and shall not be developed or modified for other uses (e.g., housing, storage).
42. The organizational documents shall provide that the association is responsible for the maintenance and landscaping of all parts of the community housing project which are held in common and that such maintenance shall be performed to the standard of maintenance prevalent in the neighborhood.
43. A Parking Management Plan (PMP) shall be incorporated in the Covenants, Conditions, and Restrictions (CC&Rs). All uncovered off-street parking space shall be held within the common area to be administered and maintained by the association. The uncovered spaces shall be held for use by all owners within the project and shall not be assigned to a particular unit. The CC&Rs shall have a provision precluding the sale of garage units required by the PMP.
44. The owner of a detached single family dwelling unit shall be responsible for the maintenance of the exterior of his or her individual unit.

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45. A copy of the CC&Rs shall be provided to the City for review of compliance with Conditions of Approval prior to finalization.

BUILDING AND SAFETY

46. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
47. All proposed residential dwelling units shall be in compliance with the following codes:
- a. 2022 California Residential Code
 - b. 2022 California Electrical Code
 - c. 2022 California Plumbing Code
 - d. 2022 California Mechanical Code
 - e. 2022 Green Building Standards Code
48. The proposed site shall comply with the 2022 California Residential Code and 2022 California Fire Code, include provisions pertaining to property line setbacks, building separation, and site fire apparatus access.
49. Each site intended for development, where impervious surfaces will be added, must comply with Los Angeles County Low Impact Development (LID). All proposed LID best management practices (BMP's) and storm water control methods must be listed in the Los Angeles County LID manual. Developers intending to develop a site requiring the use of LID control measures must submit a LID covenant and agreement that is to be recorded by the Los Angeles County Recorder's office.
50. Plans submitted to Building and Safety are subject to the requirements specified in the applicable codes, as well as requirements established by the Building Official. Compliance will be ensured during plan check in the form of corrections issued by the plans examiner.

PUBLIC WORKS

GENERAL

51. An Encroachment Permit shall be required to be obtained by a licensed contractor to work in the public right-of-way.
52. Comply with the City's ordinance pertaining to construction debris recycling. Contact the Building & Safety Division to obtain a Construction & Demolition Debris Diversion Program form. The Construction & Demolition Debris Diversion Program is also applicable with respect to the grading process.
53. All USA/Dig Alert paint markings must be removed by the contractor from the sidewalk, curb & gutter and/or asphalt pavement once offsite improvements are completed.

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54. Preserve existing survey monuments (property corners, centerline ties, etc.) in the public right-of-way. All disturbed and removed survey monuments in the public right-of-way shall be re-established and record of survey shall be filed with the County surveyor in accordance with applicable provisions of the state law.
55. Comply with all Federal, State, and local agency requirements pertaining to the Clean Water Act, which has established regulations, set forth in the Countywide National Pollutant Discharge Elimination System (NPDES) Permit.
56. Low Impact Development (LID) is a requirement of the NPDES Permit No. CAS004004, Order No. R4-2021-0105 and local Ordinances. The LID is a narrative report that explains the type of development and drainage of the site. It must address the post-construction water quality and habitat impact issues.
57. Alternative engineering methods for filtration and infiltration (such as bioswales, etc.) must be used to defray a percentage of the storm water runoff into the existing/proposed storm drain system.
 - (i) Use of permeable driveway requires engineering calculations to be provided to ensure compliance with minimum NPDES/MS4 requirements.
58. Engineer to show the location of the sewer mainline, nearest manholes, and the lateral serving the project and configuration of the on-site sewer including diameter and material of the on-site sewer.
59. Engineer to show the location of water meters servicing the development and any newly proposed water meter locations.
60. Public improvement plans shall be developed on the basis of the approved site plan. P.C.C. pavement and asphalt-concrete (A.C.) thicknesses and strengths shall be determined by a California Registered Civil Engineer (project engineer of record) preparing the street plans and utility improvement plans. The limits of street improvements shall include half the street fronting the property within the extended property lines.
61. Repair, remove, and replace deficient and/or damaged sidewalk and standard curb and gutter adjacent to the development at the direction of the City Engineer/City Inspector. Use APWA standard plans and specifications.
62. Remove all existing improvements that will no longer be intended for use (including but not limited to driveway approaches, under-sidewalk drains, meter boxes, utility valves, etc.) and replace with new sidewalk and full-height curb and gutter as required per APWA standard plans and specifications.

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63. The City Engineer may require other information or may impose additional conditions and requirements as deemed necessary to protect health and safety, and to benefit the public.

ENGINEERING

64. The site improvement plans shall accurately show all existing public improvements near the site (such as, streetlights, signs, utility vaults and boxes. Construction items shall clearly indicate any proposed modifications to the existing public improvements. Proposed modifications to the public improvements shall be subject to review and approval by the City Engineer prior to issuance of a building permit.
65. A detailed grading and drainage plan prepared by a licensed Civil Engineer including all supporting information and design criteria, storm drain treatment calculations, hydromodification worksheets, all final grades and drainage control measures, etc., shall be submitted as part of plan check requests to the building and safety division.
66. The construction plans shall show the proposed location of materials and equipment storage, scaffolding, safety measures to protect the public from construction activities, temporary fencing, construction trailers, parking of construction vehicles, location of portable toilets, etc. The plans shall minimize the loss of public parking spaces and the length of the time they are used for construction-related activities.

WATER AND SEWER

67. Water service line for the four units must be properly sized by the design/project engineer. Fire Flow test required. City's water operator will provide a cost to install the meter(s) and make all applicable improvements based on the approved plans.
68. Design engineer to ensure proper sizing of sewer lateral, including material.

POLICE DEPARTMENT

69. Provide adequate security lighting (motion sensor, LED uniform lighting).
70. Clearly visible display of the property address from the street.
71. Provide two or more parking spaces per unit.

LOS ANGELES COUNTY FIRE DEPARTMENT

72. All requirements, as deemed necessary by the Los Angeles County Fire Department during the Plan Check Process, shall be complied with.

PLANNING DIVISION SPECIAL CONDITIONS

73. This entitlement is granted to the applicant (Salvador Polina/ SP Homes LLC) and shall not be transferred within a period of five years from date of approval.

PLANNING COMMISSION AGENDA REPORT

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74. Ten (10) days before the start of construction the applicant is required to provide a "*Good Neighbor Notice of Construction*" to property owners and tenants located within a 300 feet radius of the subject site. The notice shall clearly identify the dates and hours of construction, anticipated date of completion and contact information. All hours of construction shall comply with the HPMC.
75. During construction, a sign shall be posted on site identifying the developer's contact information and a phone number to address any comments/ questions from neighboring residents regarding the construction.

EXHIBITS:

- A. PC Resolution No. 2022-01 (V) Variance, 2022-01 (DP) Development Permit, and 2023-02 (TTM) Tentative Tract Map
- B. Variance Application
- C. Development Permit Application and Environmental Information Form
- D. Tentative Tract Map Application
- E. Architectural Project Plans
- F. Tentative Tract Map No. 84285
- G. Grading Plan
- H. LA County Fire Department Approval
- I. Photographs of Subject Site
- J. Vicinity Map
- K. Zoning Map
- L. CEQA Notice of Exemption

**PLANNING COMMISSION
RESOLUTION CASE NO. 2022-01 (V)
VARIANCE, 2022-01 (DP) DEVELOPMENT
PERMIT AND CASE NO. 2023-02 (TTM)
TENTATIVE TRACT MAP**

EXHIBIT A CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)

**PC RESOLUTION NO. 2022-01 (V) VARIANCE, 2022-01 (DP) DEVELOPMENT
PERMIT, 2023-02 (TTM) TENTATIVE TRACT MAP**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON PARK, STATE OF CALIFORNIA, APPROVING A VARIANCE TO DEVIATE FROM THE MINIMUM PARCEL DIMENSIONS AND PARCEL SIZE, OFF-STREET PARKING REQUIREMENTS AND COMMON OPEN SPACE REQUIREMENT PURSUANT TO TITLE 9 OF THE HUNTINGTON PARK MUNICIPAL CODE, A DEVELOPMENT PERMIT TO CONSTRUCT FOUR DETACHED SINGLE FAMILY DWELLING UNITS (PLANNED UNIT DEVELOPMENT) AND A TENTATIVE TRACT MAP FOR CONDOMINIUM PURPOSES AT 7040 NEWELL STREET WITHIN THE HIGH DENSITY RESIDENTIAL (R-H) ZONE.

WHEREAS, a public hearing was held at City Hall, 6550 Miles Avenue, Huntington Park, California on Wednesday, November 15, 2023 at 6:30 p.m. pursuant to the notice published and posted as required by law in accordance with the provisions of the Huntington Park Municipal Code, upon an application from Salvador Polina, SP Homes Company, LLC requesting approval of a Variance to deviate from the minimum parcel dimensions and parcel size identified in HPMC Sec.9-4.103, a Variance to deviate from the required number of off-street parking spaces required by HPMC Sec. 9-3.804 and a Variance from providing common open space required by HPMC Sec. 9-4.103; a Development Permit for the construction of four detached single family dwelling units (Planned Unit Development) and a Tentative Tract Map for condominium purposes establishing five lots for the property located at 7040 Newell Street within the High Density Residential (R-H) zone described as:

Assessor's Parcel No. 6324-033-004, City of Huntington Park, County of Los Angeles; and

WHEREAS, said application involves a request for a Variance to deviate from the minimum parcel dimensions and parcel size required for the High Density Residential (R-H) Zone identified in HPMC Sec. 9-4.103, deviate from the number of required off-street parking spaces pursuant to HPMC Sec. 9-3.804 and a Variance from providing any common open space required by HPMC 9-4.103; and

WHEREAS, said application involves a request for a Development Permit to construct four detached single family dwelling units (Planned Unit Development); and

1 **WHEREAS**, said application involves a request for a Tentative Tract Map for
2 condominium purposes to establish five lots; and

3 **WHEREAS**, Planning Division Staff has reviewed the requests and has found that all
4 of the findings for approval of a Variance, Development Permit and Tentative Tract Map
5 can be made as required by the Municipal Code; and

6 **WHEREAS**, the City of Huntington Park has determined that the project is exempt
7 from CEQA pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the
8 proposed project consisting of a Variance, Development Permit and Tentative Tract Map
9 are categorically exempt from the requirements of CEQA. Section 15332 exempts those
10 projects which: (1) are consistent with the applicable general plan designation and all
11 applicable general plan policies (as well as with applicable zoning designation and
12 regulations); (2) occur within city limits on a project site of no more than five acres
13 substantially surrounded by urban uses; (3) have no value as a habitat for endangered,
14 rare or threatened species; (4) would not result in any significant effects relating to traffic,
15 noise, air quality, or water quality; and (5) have a project site that can be adequately served
16 by all required utilities and public services. The project complies with the applicable
17 General Plan and zoning designations and is fully served by all required utilities. The site
18 also has no value for a sensitive or endangered habitat. As there is no substantial evidence
19 that the project may have a significant effect on the environment; and

20 **WHEREAS**, all persons appearing for or against the approval of the Variance,
21 Development Permit and Tentative Tract Map were given the opportunity to be heard in
22 connection with said matter; and

23 **WHEREAS**, all written comments received prior to the hearing, and responses to
24 such comments, were reviewed by the Planning Commission; and

25 **WHEREAS**, the Planning Commission is required to announce its findings and
26 recommendations.

27 **NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF**
28 **HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS**

FOLLOWS:

SECTION 1: Based on the evidence within staff report and the Environmental Assessment Questionnaire, the Planning Commission adopts the findings in said Questionnaire and determines that the project, as proposed, will have no significant adverse effect on the environment and adopts an Environmental Categorical Exemption (CEQA Guidelines, Article 19, Section 15332, In-Fill Development Projects).

SECTION 2: The Planning Commission hereby makes the following findings in connection with the proposed Variance:

1. That there are special circumstances applicable to the property, including location, shape, size, surroundings or topography so that the strict application of this Code denies the property of privileges enjoyed by other property in the vicinity and under identical zoning district classification.

Special circumstances are applicable to the subject site in that the subject site consists of an established lot recorded in 1914. Furthermore, the surrounding area is fully developed with existing residential uses. As a result, a Variance is required in order to facilitate development of the subject site.

The dimensions of the subject site (± 50.08 feet in width and ± 199.91 feet in length) along with the square footage of the lot (9,995 square feet) is a special circumstance to the property that strict application of the HPMC (Title 9) provisions for development standards, off-street parking requirements and common open space requirements denies the property owner privileges enjoyed by other property owners in the vicinity and under the identical zoning district.

Thus, the size of the lot, the dimensions of the lot, and intended use of the subject site, relative to other residential parcels in the same vicinity, is a special circumstance that the strict application of Title 9 of the HPMC denies the property owner privileges enjoyed by other property owners in the

vicinity and under identical zoning districts.

2. That granting the Variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and zoning district and unavailable to the property for which the Variance is sought.

As previously stated, the existing dimensions of the lot and intended use of the subject site are special circumstances that require a Variance to be granted in order for the property owner to enjoy the same property rights possessed by other properties in the same vicinity and zoning district.

3. That granting the Variance will not be detrimental to the public health, safety or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.

The proposed residential development of the project site and approval of the Variance would be subject to all applicable Building and Fire Codes, Public Works, and Police Department regulations and conditions of approval intended to protect the public health, safety, and general welfare of the community.

Therefore, the granting of the Variance will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.

4. That granting the Variance does not constitute a special privilege inconsistent with the limitations upon other property in the vicinity and zoning district in which the property is located.

The granting of the Variance does not constitute a special privilege as the intended use of the subject site complies with the zoning regulations of the High-Density Residential Zone and the General Plan designation of High Density Residential. The intended use is compatible with neighboring uses and the proposed number of dwelling units complies with the allowable density in the High Density Residential (R-H) Zone of twenty dwelling units/

1 **acre.**

- 2 5. That granting the Variance does not allow a use or activity which is not otherwise
3 expressly authorized by the regulations governing the subject parcel.

4 ***The proposed use/ activity of Single-Family Dwellings is a use permitted by***
5 ***right in the High-Density Residential (R-H) Zone pursuant to HPMC Sec. 9-***
6 ***4.102 Table IV-1.***

- 7 6. That granting the Variance will not be inconsistent with the General Plan.

8 ***The granting of the Variance is consistent and complies with the General***
9 ***Plan designation of High Density Residential. Granting of the Variance is***
10 ***consistent with Goal 2.0 of the General Plan “Accommodate new***
11 ***development that is compatible with and complements existing land uses”.***
12 ***The proposed project is consistent and compliments existing residential***
13 ***development in the surrounding neighborhood.***

14 **SECTION 3:** The Planning Commission hereby makes the following findings in
15 connection with the proposed Development Permit:

- 16 1. The proposed development is one permitted within the subject zoning district and
17 complies with all of the applicable provisions of this Code, including prescribed
18 development/site standards.

19 ***The proposed development of Single-Family Dwelling units is permitted by***
20 ***right in the High Density Residential (R-H) Zoning District. Pursuant to***
21 ***HPMC Sec. 9-2.1004 the review authority for the construction of two or more***
22 ***residential dwelling units is the Planning Commission. The proposed***
23 ***project complies with the allowable density in the High Density Residential***
24 ***(R-H) Zone of 20 units per acre.***

- 25 2. The proposed development is consistent with the General Plan.

26 ***The proposed development is consistent with the following goals of the***
27 ***General Plan:***
28

Goal 2: “Accommodate new development that is compatible with and complements existing land uses.”

The proposed development is compatible with and complements existing residential development in the neighboring area. The surrounding area is comprised of existing residential lots with more than one dwelling unit.

Goal 3: “Provide for the revitalization of deteriorating land uses and properties.”

The subject site is currently a vacant lot with overgrown vegetation that is blighting the residential neighborhood. The approval of a development permit to construct four detached single family dwelling units will revitalize the subject site and provide a compatible and complimentary use.

3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property.

The proposed development of four detached single family dwelling units is harmonious and compatible use with the existing neighboring residential development. The design of the single-family residential units will incorporate a Spanish style design. The neighboring area is fully developed and consists of lots with multiple dwelling units.

4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City’s Guidelines.

The approval of the Development Permit is in compliance with the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project consisting of a Variance, Development Permit and Tentative Tract Map are categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with

1 *the applicable general plan designation and all applicable general plan*
2 *policies (as well as with applicable zoning designation and regulations); (2)*
3 *occur within city limits on a project site of no more than five acres*
4 *substantially surrounded by urban uses; (3) have no value as a habitat for*
5 *endangered, rare or threatened species; (4) would not result in any*
6 *significant effects relating to traffic, noise, air quality, or water quality; and*
7 *(5) have a project site that can be adequately served by all required utilities*
8 *and public services.*

9 *The project complies with the applicable General Plan and zoning*
10 *designations and is fully served by all required utilities. The site also has no*
11 *value for a sensitive or endangered habitat. As there is no substantial*
12 *evidence that the project may have a significant effect on the environment,*
13 *Planning Commission may find the project is in compliance with the CEQA*
14 *exemption.*

- 15 5. The subject site is physically suitable for the type and density/intensity of use
16 being proposed.

17 *The subject site located in the R-H Zoning District measuring approximately*
18 *9,995 square feet yields an allowable density of four residential dwelling*
19 *units. The project is proposing a total of four detached single family*
20 *dwelling units which complies with the allowable density of the High*
21 *Density Residential (R-H) Zone. Furthermore, the proposed use of single-*
22 *family dwellings is a use permitted by right in the High Density Residential*
23 *(R-H) Zone.*

- 24 6. There are adequate provisions for public access, water, sanitation and public
25 utilities and services to ensure that the proposed development would not be
26 detrimental to public health, safety and general welfare.

27 *As part of the development new connections to existing utilities (e.g., water,*
28 *electricity, sewage) will be created to allow connection to the proposed*

1 *project consisting of four detached single-family dwelling units. The*
2 *surrounding area is completely developed with public access, water,*
3 *sanitation and public utilities and services. The new development will not*
4 *impede access to water, sanitation, or other public utilities and services. It*
5 *is expected that the proposed development will not be detrimental to public*
6 *health, safety and general welfare and will be required to comply with all*
7 *California Building Code requirements and Fire Department requirements.*

- 8 7. The design, location, size and operating characteristics of the proposed
9 development would not be detrimental to the public health, safety, or welfare of
10 the City.

11 *The proposed project incorporates a Spanish style design featuring earth*
12 *toned colors, terracotta roof tile, decorative window trim, and wood shutters*
13 *around the exterior of the windows.*

14 *The proposed project has been reviewed by various departments (i.e.,*
15 *Building and Safety, Public Works, LA County Fire, Huntington Park Police*
16 *Department) and conditions of approval have been included to ensure that*
17 *the project does not create any issues of concern that would be detrimental*
18 *to the public health, safety, or welfare of the City.*

19 **SECTION 4:** The Planning Commission hereby makes the following findings in
20 connection with the proposed Planned Unit Development:

- 21 1. The proposed use is permitted or conditionally permitted within, and would not
22 impair the integrity and character of the subject zoning district and complies with
23 all of the applicable provisions of this Code.

24 *The proposed development of Single-Family Dwelling units is permitted by*
25 *right in the High Density Residential (R-H) Zoning District. Pursuant to*
26 *HPMC Sec. 9-2.1004 the review authority for the construction of two or more*
27 *residential dwelling units is the Planning Commission. The proposed*
28 *project complies with the allowable density in the High Density Residential*

(R-H) Zone of 20 units per acre.

2. The proposed use is consistent with the General Plan.

The proposed development is consistent with the following goals of the General Plan:

Goal 2: "Accommodate new development that is compatible with and complements existing land uses."

The proposed development is compatible with and complements existing residential development in the neighboring area. The surrounding area is comprised of existing residential lots with more than one dwelling unit.

Goal 3: "Provide for the revitalization of deteriorating land uses and properties."

The subject site is currently a vacant lot with overgrown vegetation that is blighting the residential neighborhood. The approval of a development permit to construct four detached single family dwelling units will revitalize the subject site and provide a compatible and complimentary use.

3. The approval of the Development Permit or Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.

The approval of the Development Permit is in compliance with the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project consisting of a Variance, Development Permit and Tentative Tract Map are categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for

1 *endangered, rare or threatened species; (4) would not result in any*
2 *significant effects relating to traffic, noise, air quality, or water quality; and*
3 *(5) have a project site that can be adequately served by all required utilities*
4 *and public services.*

5 *The project complies with the applicable General Plan and zoning*
6 *designations and is fully served by all required utilities. The site also has no*
7 *value for a sensitive or endangered habitat. As there is no substantial*
8 *evidence that the project may have a significant effect on the environment,*
9 *Planning Commission may find the project is in compliance with the CEQA*
10 *exemption.*

- 11 4. The design, location, size and operating characteristics of the proposed use are
12 compatible with the existing and planned future land uses within the general area
13 in which the proposed use is to be located and will not create significant noise,
14 traffic or other conditions or situations that may be objectionable or detrimental to
15 other permitted uses operating nearby or adverse to the public interest, health,
16 safety, convenience or welfare of the City.

17 *The proposed project incorporates a Spanish style design featuring earth*
18 *toned colors, terracotta roof tile, decorative window trim, and wood shutters*
19 *around the exterior of the windows.*

20 *The proposed project has been reviewed by various departments (i.e.,*
21 *Building and Safety, Public Works, LA County Fire, Huntington Park Police*
22 *Department) and conditions of approval have been included to ensure that*
23 *the project does not create any issues of concern that would be detrimental*
24 *to the public health, safety, or welfare of the City.*

25 *Furthermore, the proposed use of single-family dwellings is a use permitted*
26 *by right in the High Density Residential (R-H) Zone.*

- 27 5. The subject site is physically suitable for the type and density/intensity of use
28 being proposed.

The subject site located in the R-H Zoning District measuring approximately 9,995 square feet yields an allowable density of four residential dwelling units. The project is proposing a total of four detached single family dwelling units which complies with the allowable density of the High Density Residential (R-H) Zone. Furthermore, the proposed use of single-family dwellings is a use permitted by right in the High Density Residential (R-H) Zone.

6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

As part of the development new connections to existing utilities (e.g., water, electricity, sewage) will be created to allow connection to the proposed project consisting of four detached single-family dwelling units. The surrounding area is completely developed with public access, water, sanitation and public utilities and services. The new development will not impede access to water, sanitation, or other public utilities and services. It is expected that the proposed development will not be detrimental to public health, safety and general welfare and will be required to comply with all California Building Code requirements and Fire Department requirements.

SECTION 5: The Planning Commission hereby makes the following findings in connection with the proposed Tentative Tract Map:

1. The Tentative Tract Map applied for is authorized by the provisions of Chapter 4, Title 10 of the Huntington Park Municipal Code.

Pursuant to HPMC Sec. 10-3.101 a tentative and final tract map is required for all divisions of land when resulting in five (5) or more parcels.

The proposed Tentative Tract Map has been prepared by a licensed engineer. The Tentative Tract Map has been reviewed for compliance with

Title 10 of the HPMC. Additionally, the proposed Tentative Tract Map complies with the requirements set forth in the California Subdivision Map Act.

2. That the approval of such Tentative Tract Map will not adversely affect the Master or General Plan of this City.

The proposed project is consistent with and will not adversely affect the General Plan. The proposed project complies with the Goals and Policies of the General Plan, by developing affordable housing within an existing vacant lot. Furthermore, the proposed project complies with the following goals of the General Plan:

Goal 2: "Accommodate new development that is compatible with and complements existing land uses."

The proposed development is compatible with and complements existing residential development in the neighboring area. The surrounding area is comprised of existing residential lots with more than one dwelling unit.

Goal 3: "Provide for the revitalization of deteriorating land uses and properties."

The subject site is currently a vacant lot with overgrown vegetation that is blighting the residential neighborhood. The approval of a development permit to construct four detached single family dwelling units will revitalize the subject site and provide a compatible and complimentary use.

3. The Tentative Tract Map will create a parcel that will be more harmonious and compatible in size with existing and planned future developments within the zoning district and general area.

The Tentative Tract Map is for condominium purposes and will create five total parcels. Four of the five parcels are for the development of a single-family dwelling, the fifth parcel is the common lot which consists of a common driveway, landscape areas and trash enclosure. The common lot

will be maintained through the Homeowners Association. The proposed project will be compatible with existing residential development in the surrounding neighborhood.

SECTION 6: The Planning Commission hereby approves Resolution 2022-01 (V) Variance, 2022-01 (DP) Development Permit, 2023-02 (TTM) Tentative Tract Map, for the property located at 7040 Newell Street within the High Density Residential (R-H) Zone subject to the execution and fulfillment of the following conditions:

PLANNING DIVISION

1. That the applicant/property owner and each successor in interest to the property which is the subject of this project shall defend, indemnify and hold harmless the City of Huntington Park and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, City Council, or Planning Commission. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. The proposed project shall comply with all applicable federal, state and local agency codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Zoning, and Business License Regulations of the City of Huntington Park.
4. The property be developed and maintained in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal Code.
5. All proposed on-site utilities, including electrical and equipment wiring, shall be installed underground and/or routed along the ground floor and shall be completely concealed from public view as required by the City prior to authorization to operate.
6. That any existing and/or future graffiti, as defined by the Huntington Park Municipal Code Section 5-27.02(d), shall be diligently removed within a reasonable time period.
7. That the Applicant comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The Applicants shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) requirements.

8. That this entitlement shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
9. That the violation of any of the conditions of this entitlement may result in a citation(s) and/or the revocation of the entitlement.
10. That this entitlement may be subject to additional conditions after its original issuance, upon a duly noticed public hearing item. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
11. The applicant shall provide publicly visible art or pay art fees in accordance with the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of Occupancy.
12. The applicant shall pay parkland fees pursuant to Resolution No. 2007-12.
13. Any proposed mechanical equipment and appurtenances, including satellite dishes, gutters, etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to final building inspection.
14. The applicant shall be subject to any fees and requirements from the California Department of Fish and Wildlife, as stated in the CEQA Environmental Document Filing fee schedule.
15. This entitlement shall expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
16. If the use ceases to operate for a period of six (6) months, the entitlement shall be null and void.
17. That the Applicant shall comply with all applicable property development standards including, but not limited to, outdoor storage, fumes and vapors, property maintenance, and noise.
18. The Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
19. All on-site lighting shall be energy efficient, stationary, and directed away from adjoining properties and public rights-of-way.

20. All landscaping shall be installed and permanently maintained in compliance with HPMC Title 9, Chapter 3, Article 4 (Landscaping Standards);
21. Wheel stops are required to be installed for all guest parking spaces on-site.
22. Pursuant to HPMC Sec. 9-4.102 laundry facilities shall be located within the footprint of a dwelling unit and may not be located within the garage.
23. Garages shall maintain interior clearance of 20 feet by 20 feet, in compliance with HPMC Sec.9-3.809.
24. The location and number of off-street parking spaces shall remain in perpetuity as developed and approved by the Planning Commission and shall not be developed or modified for other uses (e.g., housing, storage).
25. The applicant is required to provide private outdoor open space for each dwelling unit in accordance with Title 9, Chapter 4, Article 1. The private outdoor open space shall remain in perpetuity as developed and approved by the Planning Commission.
26. The approved Spanish architectural style, finish materials and colors shall remain in conformance with the approved elevations. Changes to the facades and/or colors shall be subject to the review and approval of the Community Development Director who may defer decision to the Planning Commission.
27. The Homeowners Association shall maintain an active business license with the City.
28. The owner of a residential unit available for rent shall obtain a business license with the City.
29. That the business owner (Applicant) and property owner agree in writing to the above conditions.

TENTATIVE TRACT MAP

30. The Vesting of the Tentative Tract Map is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
31. The final map to be recorded with the Los Angeles County Recorder shall substantially conform to the Tentative Tract Map submitted with this application and dated "Approved at Hearing November 15, 2023," except as modified herein.
32. This subdivision shall comply with Title 10 of the City of Huntington Park Municipal Code (Subdivisions).
33. The final map shall not be recorded until there has been compliance with all conditions of approval.

- 1 34. The developer shall install house addresses and mailboxes in accordance with U. S.
2 Post Office policy.
- 3 35. The common area portion of the site shall be maintained and kept in good condition
4 at all times.
- 5 36. All landscape and walkway lighting shall be directed downward to minimize glare.
- 6 37. The applicant shall pay all fees due to City Consultant for the review/ approval of the
7 Tentative/ Final Tract Map.
- 8 38. Developer shall establish a homeowner's association and the association shall be
9 responsible for the maintenance of the private driveway, landscaping and any other
10 interior areas held in common by the association and for the enforcement of CC&R's
11 related to property maintenance.
- 12 39. Any covenants, conditions, and restrictions (CC&R's) applicable to the project
13 property shall be consistent with the terms of this Tentative Tract Map and the
14 HPMC. If there is a conflict between the CC&R's and the HPMC or this permit, the
15 HPMC or this permit shall prevail.
- 16 40. Developer shall include in all deeds for the project and in the CC&R's a prohibition
17 against parking recreational vehicles.
- 18 41. Developer shall include in the CC&R's that the location and number of off-street
19 parking spaces shall remain in perpetuity as developed and approved by the
20 Planning Commission and shall not be developed or modified for other uses (e.g.,
21 housing, storage).
- 22 42. The organizational documents shall provide that the association is responsible for the
23 maintenance and landscaping of all parts of the community housing project which are
24 held in common and that such maintenance shall be performed to the standard of
25 maintenance prevalent in the neighborhood.
- 26 43. A Parking Management Plan (PMP) shall be incorporated in the Covenants,
27 Conditions, and Restrictions (CC&Rs). All uncovered off-street parking space shall be
28 held within the common area to be administered and maintained by the association.
The uncovered spaces shall be held for use by all owners within the project and shall
not be assigned to a particular unit. The CC&Rs shall have a provision precluding the
sale of garage units required by the PMP.
44. The owner of a detached single family dwelling unit shall be responsible for the
maintenance of the exterior of his or her individual unit.
45. A copy of the CC&Rs shall be provided to the City for review of compliance with
Conditions of Approval prior to finalization.

BUILDING AND SAFETY

46. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
47. All proposed residential dwelling units shall be in compliance with the following codes:
- a. 2022 California Residential Code
 - b. 2022 California Electrical Code
 - c. 2022 California Plumbing Code
 - d. 2022 California Mechanical Code
 - e. 2022 Green Building Standards Code
48. The proposed site shall comply with the 2022 California Residential Code and 2022 California Fire Code, include provisions pertaining to property line setbacks, building separation, and site fire apparatus access.
49. Each site intended for development, where impervious surfaces will be added, must comply with Los Angeles County Low Impact Development (LID). All proposed LID best management practices (BMP's) and storm water control methods must be listed in the Los Angeles County LID manual. Developers intending to develop a site requiring the use of LID control measures must submit a LID covenant and agreement that is to be recorded by the Los Angeles County Recorder's office.
50. Plans submitted to Building and Safety are subject to the requirements specified in the applicable codes, as well as requirements established by the Building Official. Compliance will be ensured during plan check in the form of corrections issued by the plans examiner.

PUBLIC WORKS **GENERAL**

51. An Encroachment Permit shall be required to be obtained by a licensed contractor to work in the public right-of-way.
52. Comply with the City's ordinance pertaining to construction debris recycling. Contact the Building & Safety Division to obtain a Construction & Demolition Debris Diversion Program form. The Construction & Demolition Debris Diversion Program is also applicable with respect to the grading process.
53. All USA/Dig Alert paint markings must be removed by the contractor from the sidewalk, curb & gutter and/or asphalt pavement once offsite improvements are completed.
54. Preserve existing survey monuments (property corners, centerline ties, etc.) in the public right-of-way. All disturbed and removed survey monuments in the public right-of-way shall be re-established and record of survey shall be filed with the County surveyor in accordance with applicable provisions of the state law.

- 1 55. Comply with all Federal, State, and local agency requirements pertaining to the Clean
2 Water Act, which has established regulations, set forth in the Countywide National
3 Pollutant Discharge Elimination System (NPDES) Permit.
- 4 56. Low Impact Development (LID) is a requirement of the NPDES Permit No.
5 CAS004004, Order No. R4-2021-0105 and local Ordinances. The LID is a narrative
6 report that explains the type of development and drainage of the site. It must address
7 the post-construction water quality and habitat impact issues.
- 8 57. Alternative engineering methods for filtration and infiltration (such as bioswales, etc.)
9 must be used to defray a percentage of the storm water runoff into the
10 existing/proposed storm drain system.
11 (i) Use of permeable driveway requires engineering calculations to be provided to
12 ensure compliance with minimum NPDES/MS4 requirements.
- 13 58. Engineer to show the location of the sewer mainline, nearest manholes, and the
14 lateral serving the project and configuration of the on-site sewer including diameter
15 and material of the on-site sewer.
- 16 59. Engineer to show the location of water meters servicing the development and any
17 newly proposed water meter locations.
- 18 60. Public improvement plans shall be developed on the basis of the approved site plan.
19 P.C.C. pavement and asphalt-concrete (A.C.) thicknesses and strengths shall be
20 determined by a California Registered Civil Engineer (project engineer of record)
21 preparing the street plans and utility improvement plans. The limits of street
22 improvements shall include half the street fronting the property within the extended
23 property lines.
- 24 61. Repair, remove, and replace deficient and/or damaged sidewalk and standard curb
25 and gutter adjacent to the development at the direction of the City Engineer/City
26 Inspector. Use APWA standard plans and specifications.
- 27 62. Remove all existing improvements that will no longer be intended for use (including
28 but not limited to driveway approaches, under-sidewalk drains, meter boxes, utility
valves, etc.) and replace with new sidewalk and full-height curb and gutter as
required per APWA standard plans and specifications.
63. The City Engineer may require other information or may impose additional conditions
and requirements as deemed necessary to protect health and safety, and to benefit
the public

ENGINEERING

64. The site improvement plans shall accurately show all existing public improvements
near the site (such as, streetlights, signs, utility vaults and boxes. Construction items
shall clearly indicate any proposed modifications to the existing public improvements.

Proposed modifications to the public improvements shall be subject to review and approval by the City Engineer prior to issuance of a building permit.

65. A detailed grading and drainage plan prepared by a licensed Civil Engineer including all supporting information and design criteria, storm drain treatment calculations, hydromodification worksheets, all final grades and drainage control measures, etc, shall be submitted as part of plan check requests to the building and safety division.

66. The construction plans shall show the proposed location of materials and equipment storage, scaffolding, safety measures to protect the public from construction activities, temporary fencing, construction trailers, parking of construction vehicles, location of portable toilets, etc. The plans shall minimize the loss of public parking spaces and the length of the time they are used for construction-related activities.

WATER AND SEWER

67. Water service line for the four units must be properly sized by the design/project engineer. Fire Flow test required. City's water operator will provide a cost to install the meter(s) and make all applicable improvements based on the approved plans.

68. Design engineer to ensure proper sizing of sewer lateral, including material.

POLICE DEPARTMENT

69. Provide adequate security lighting (motion sensor, LED uniform lighting).

70. Clearly visible display of the property address from the street.

71. Provide two or more parking spaces per unit.

LOS ANGELES COUNTY FIRE DEPARTMENT

72. All requirements, as deemed necessary by the Los Angeles County Fire Department during the Plan Check Process, shall be complied with.

PLANNING DIVISION SPECIAL CONDITONS

73. This entitlement is granted to the applicant (Salvador Polina/ SP Homes LLC) and shall not be transferred within a period of five years from date of approval.

74. Ten (10) days before the start of construction the applicant is required to provide a "Good Neighbor Notice of Construction" to property owners and tenants located within a 300 feet radius of the subject site. The notice shall clearly identify the dates and hours of construction, anticipated date of completion and contact information. All hours of construction shall comply with the HPMC.

75. During construction, a sign shall be posted on site identifying the developer's contact information and a phone number to address any comments/ questions regarding the construction.

SECTION 7: This resolution shall not become effective until 15 days after the date of decision rendered by the Planning Commission, unless within that period of time it is appealed to the City Council. The decision of the Planning Commission shall be stayed

1 until final determination of the appeal has been effected by the City Council.

2 **SECTION 8:** The Secretary of the Planning Commission shall certify to the adoption
3 of this resolution and a copy thereof shall be filed with the City Clerk.

4 **PASSED, APPROVED, AND ADOPTED** this 15th November, 2023 by the following
5 vote:

6 AYES:

7 NOES:

8 ABSENT:

9 ABSTAIN:

10 HUNTINGTON PARK PLANNING COMMISSION

11
12
13 _____
14 Jonathan Sanabria, Chairperson

15 ATTEST:

16
17
18 _____
19 Steve Forster, Secretary
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VARIANCE APPLICATION

EXHIBIT B CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)



CITY OF HUNTINGTON PARK
Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@hpca.gov

VARIANCE APPLICATION RECEIVED

OCT 24 2022

FOR OFFICE USE ONLY

Date Filed: 10/24/2022 File No.: V(2022-01) BY: _____ Fee/Receipt No.: \$4,972.00 Initials: LC

PROJECT INFORMATION

Project Address: 7040 Newell St. (Vacant Lot)

General Location: _____

Assessor's Parcel Number (APN): 6324-033-004

APPLICANT'S INFORMATION

Applicant: Salvador Polina

Mailing Address: 17631 Imperial Hwy. Suite B-204 Santa Fe Springs, CA 90670

Phone 1: 562-484-0244 Phone 2: 323-977-1988 Email: sphomesco@gmail.com

PROPERTY OWNER'S INFORMATION

Property Owner: SP Homes Company LLC

Mailing Address: 12531 Paramount Blvd. Apt B. Downey, CA 90242

Phone 1: 562-484-0244 Phone 2: 323-977-1988 Email: sphomesco@gmail.com

REQUEST

I/We hereby request a Variance for the following purpose:

The intention of this Variance application is to be able to build multiple-family dwellings on our property which is 9,995 SF. Our lot is located in a high density zone or R4 which would allow multiple units but per new codes we would only be able to build one single family residence. The neighboring lots all have multiple units, in which we hope this variance application along with our proposed scope of work would change/allow us to build more units. Back in 2004/2005, there were plans approved for 4 units as well. We want to better communities and put family into beautiful homes. Our proposed scope of work will consist of (4) two story units each with its 2-car garage, Spanish style homes which will give the neighborhood a beautiful look aside of putting families into homes during the housing shortage we are currently in. With this being said, we would really like for our request to be taken into consideration so we could build more than one unit on an almost 10K SF lot.

In order for the Planning Commission to approve a Variance, the Huntington Park Municipal Code requires that all of the following findings be made:

1. That there are special circumstances applicable to the property, including location, shape, size, surroundings, or topography so that the strict application of this Code denies the property of privileges enjoyed by other property in the vicinity and under identical zoning district classification;
2. That granting the Variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and zoning district and unavailable to the property for which the Variance is sought;
3. That granting the Variance will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located;
4. That granting the Variance does not constitute a special privilege inconsistent with the limitations upon other property in the vicinity and zoning district in which the property is located;
5. That granting the Variance does not allow a use or activity which is not otherwise expressly authorized by the regulations governing the subject parcel; and
6. That granting the Variance will not be inconsistent with the General Plan.

In order for the Planning Commission to determine if these findings are present in your case, the following questions must be answered by the applicant:

1. The site for this proposed use is adequate in size and shape. (Explain)

The vacant lot is located in a high density zone with 9,995 SF of land
our proposed units comply with all set backs/city requirements to be
able to propose the 4 units.

2. The site has sufficient access to street and highways that are adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed use. (Explain)

The scope of work has been designed to meet all city requirements, all
units have their 2-car garage and onsite guest parking is available,
therefore traffic on street really wouldn't be generated. The driveway has
a sufficient width for the proposed use.

3. The proposed use will not be materially detrimental, nor have an adverse effect upon adjacent uses, buildings, or structures. (Explain)

The proposed scope of work will not interfere with any adjacent buildings. Neighbors have Two story homes & multiple units which is what we are proposing as well.

4. The proposed Variance will not be in conflict with the General Plan. (Explain)

The proposed scope of work will not conflict with the General Plan, everything we are proposing is in compliance with city standard building requirements.

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.



Date 9-1-22

Applicant Signature (Required)

Salvador Polina

Print Name

Note: If the applicant is not the property owner, the owner of the property must sign the application or a written authorization must be submitted so that the applicant may file the application.



Date 9-1-22

Property Owner Signature (Required)

Salvador Polina

Print Name

DEVELOPMENT PERMIT APPLICATION AND ENVIRONMENTAL INFORMATION FORM

EXHIBIT C CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)

**CITY OF HUNTINGTON PARK**

Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@hpca.gov

**DEVELOPMENT PERMIT
RECEIVED APPLICATION****OCT 24 2022****FOR OFFICE USE ONLY**Date Filed: 10/24/2022File No.: DP 2022-01Fee/Receipt No.: \$1,875.00Initials: LA**PROJECT INFORMATION**Project Address: 7040 Newell St.

General Location: _____

Assessor's Parcel Number (APN): 6324-033-004**APPLICANT'S INFORMATION**Applicant: Salvador PolinaMailing Address: 12631 Imperial Hwy. Suite B-204 Santa Fe Springs, CA 90670Phone 1: 562-484-0244

Phone 2: _____

Email: sphomesco@gmail.com**PROPERTY OWNER'S INFORMATION**Property Owner: SP Homes Company LLCMailing Address: 12531 Paramount Blvd. Apt B Downey, CA 90242Phone 1: 562-484-0244

Phone 2: _____

Email: sphomesco@gmail.com**PROJECT DESCRIPTION (Check as Appropriate):**☐ Interior Improvement(s) Only☐ Addition to Existing Structure☒ New Structure

Other Improvements (Describe): _____

Describe in detail the proposed development: _____

(4) two story units**TYPE OF USE (Check as Appropriate):**☒ Residential☐ Retail/Office☐ Commercial☐ Restaurant☐ Industrial/ Manufacturing

Other (Describe): _____

Square Footage of New Development/Addition: Units 1,2,3 1,350 SF each Unit 4 1,500 SF

Total Square Footage: _____

Lot Coverage: _____

Off-Street Parking Spaces Provided: 9No. of Floors: 2

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.

Signature of Applicant [Signature]Date 10-21-22

FINDINGS

7040 Newell St. Huntington Park, CA 90255

- A. The proposed scope of work of the (4) Two Story Units complies with all applicable city codes. Its development is proposed with all site standards and regulations. We are currently applying for a variance on the property to comply with previous zoning codes to be able to develop the four units. The zoning currently only allows for us to propose one unit, due to zone changes but all the homes in the neighborhood have multiple units. Four units were once approved on this property years ago as well.
- B. The proposed scope of work of the (4) Two Story Units is consistent with the general plan and development standards. Everything is in accordance with code.
- C. The proposed scope of work sits on a parcel that is 9,995 SF. It does not comply with the current existing zone due to the frontage not being 50 FT therefore only being able to propose one unit but it does comply with the zoning of the neighborhood with homes that are already existing. The neighborhood consists of multifamily dwelling and apartments. The land of the subject property would be put to use just how the adjacent lands are being used as.
- D. The proposed scope of work is indeed in compliance with CEQA and the City's Guidelines.
- E. The subject site of the proposed scope of work is suitable, its approximately almost 10,000 SF, sufficient enough to propose the scope of work of (4) Two Story units and comply with setbacks and parking requirements being requested with city guidelines.
- F & G. The proposed scope of work of the (4) Two Story Units will not interfere with any public utility access or services. It will not harm the public health, safety and general welfare to the neighborhood nor the City.

RECEIVED

OCT 24 2022

BY: _____

**CITY OF HUNTINGTON PARK**

Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@huntingtonpark.org

RECEIVED

OCT 24 2022

**ENVIRONMENTAL
INFORMATION FORM****FOR OFFICE USE ONLY**

Date Filed: 10/24/2022 File No.: _____ Fee/Receipt No.: _____ Initials: LO

1. **Applicant** (please circle whether Owner, Leasee, Purchaser or Representative):

Name: Salvador Polina

Address: 12631 Imperial Hwy. Suite B-204 Santa Fe Springs, CA 90670

Telephone: 562-484-0244

Fax: _____

2. **Contact Person concerning this project:**

Name: Michelle Castaneda

Address: 12631 Imperial Hwy. Suite B-204 Santa Fe Springs, CA 90670

Telephone: 562-484-0244

Fax: _____

3. **Address of project:** 7040 Newell St.

4. **Assessor's Parcel Number (APN):** 6324-033-004

5. **Indicate type of permit application(s)** (i.e. Conditional Use Permit, Development Permit, Variance, etc.) **for the project to which this form pertains:**

Variance Application

6. **List any other permits and/or other public agency approvals required for this project, including those required by City, County, State and/or Federal agencies:**

N/A

7. **Existing Zone:** High Density Zone (R-4)

8. **Proposed use of site:** (4) Two story Units - Residential Purpose

9. **Site size** (lot dimensions and square footage):
9,995 SF (50 x 199.905)
10. **Project size:**
Square feet to be added/constructed to structure(s):
Units 1,2,3 1,350 (EA) , Unit 4 1,500 SF
Total square footage of structure(s): _____
11. **Number of floors of construction:**
Existing: N/A - Vacant
Proposed: 2
12. **Parking:**
Amount required: 3 Guest Parking, (4) 2-Car Garages
Amount provided: _____
13. **Anticipated time scheduling of project:** _____
14. **Proposed phasing of development:** _____
15. **If residential, include number of units, schedule of unit sizes, range of sale/rent prices, and type of household size expected:**
(4) Units 1,350 each
16. **If commercial, indicate the type of commercial use, estimated employment per shift, proposed hours of operations, indicate whether neighborhood, City or Regionally oriented, square footage of sales area, and loading locations:**
N/A

17. If industrial, indicate type of industrial or manufacturing use, estimated employment per shift, proposed hours of operations, and loading locations:

N/A

18. If institutional, indicate type of institutional use, estimated employment per shift, proposed hours of operations, estimated occupancy, loading locations, and community benefits to be derived from the project:

N/A

Please complete numbers 19 through 33 by marking "A" through "D" and briefly discuss any items marked "A" "B" or "C" (attach additional sheets as necessary). Items marked "D" do not need discussion.

A) Potentially
Significant
Impact

B) Potentially
Significant Impact
Unless Mitigation
Incorporated

C) Less than
Significant
Impact

D) No Impact

AESTHETICS

19. Would the proposed project:

a. Affect a scenic vista?

D

b. Have a demonstrable negative aesthetic effect?

D

c. Create light or glare?

D

AIR QUALITY

20. Would the proposed project:

a. Affect air quality or contribute to an existing or projected air quality violation?

D

b. Create or cause smoke, ash, or fumes in the vicinity?

D

c. Create objectionable odors?

D

BIOLOGICAL RESOURCES

21. Would the proposed project:

- a. Remove of any existing trees or landscaping?

D

CULTURAL RESOURCES:

22. Would the proposed project:

- a. Affect historical resources?

D

- b. Have the potential to cause a significant physical change which would affect unique ethnic cultural values?

D

GEOLOGY AND SOILS

23. Would the proposed project:

- a. Result in erosion, changes in topography or unstable soil conditions from excavation, grading or fill?

D

- b. Be located on expansive soils?

D

- c. Result in unique geologic or physical features?

D

HAZARDS

24. Would the proposed project:

- a. Create a risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)?

D

- b. The use or disposal of potentially hazardous materials (i.e. toxic or flammable substances)?

D

- c. The creation of any health hazard or potential health hazard?

D

- d. Exposure of people to existing sources of potential health hazards?

D

HYDROLOGY AND WATER QUALITY

25. Would the proposed project:

- a. Change water drainage patterns?

D

- b. Change the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capabilities?

D

- c. Impact groundwater quality? D
- d. Substantially reduce the amount of groundwater otherwise available for public water supplies? D

LAND USE AND PLANNING

26. Would the proposed project:

- a. Conflict with the Zoning or General Plan designation? D
- b. Be incompatible with existing land use in the vicinity? D
- c. Disrupt or divide the physical arrangement of an established community? D

MINERAL AND ENERGY RESOURCES

27. Would the proposed project:

- a. Conflict with the conservation of water? D
- b. Use non-renewable resources in a wasteful and/or inefficient manner? D
- c. Substantially increase energy consumption (i.e. electricity, oil, natural gas, etc.)? D

NOISE

28. Would the proposed project result in:

- a. Increase to existing noise levels? D
- b. Exposure of people to severe noise levels? D

POPULATION AND HOUSING

29. Would the proposed project:

- a. Induce substantial growth in an area either directly or indirectly (i.e. through population growth or infrastructure use)? D
- b. Displace existing housing, especially affordable housing? D

PUBLIC SERVICES

30. Would the proposal result in a need for new or altered government services for any of the following public services:

- a. Fire protection? D

- b. Police protection? D
- c. Schools? D
- d. Maintenance of public facilities, including roads? D
- e. Other governmental services? D

RECREATION

31. Would the proposed project:

- a. Increase the demand for neighborhood or regional parks or other recreational facilities? D
- b. Affect existing recreational opportunities? D

TRANSPORTATION AND TRAFFIC

32. Would the proposed project:

- a. Increase vehicle trips or traffic congestion? D
- b. Increase hazards to safety from design features (i.e. sharp curves or dangerous intersections)? D
- c. Inadequate access to nearby uses? D
- d. Insufficient on-site parking capacity? D
- e. Hazards or barriers for pedestrians or bicyclists? D

UTILITIES AND SERVICE SYSTEMS

33. Would the proposed project result in a need for new systems or supplies, or alterations to the following utilities:

- a. Power or natural gas? D
- b. Communications systems? D
- c. Local or regional water treatment or distribution facilities? D
- d. Sewer or septic tanks? D
- e. Storm water drainage? D
- f. Solid waste disposal? D
- g. Local or regional water supplies? D


34. Describe the project site as it exists before the project, including any existing structures on the site, and the use of the structures (i.e. residential, commercial, industrial, etc.) Attach photographs of the site and of the surrounding land uses.

The project site is a vacant lot 9,995 SF. The proposed scope of work will have structures for residential use.

35. Describe the intensity of land use (i.e. single-family, apartment dwellings, shopping center, etc.), and specifications of development (i.e. height, primary frontage, secondary frontage, setbacks, rear yard, etc.).

The project site will consist of 4-(2) story units. The height of the buildings are 26'-4", 10'-0" front set back, 5'-0" side setback, and a 22'-3" rear setback.

CERTIFICATION: I hereby certify that the statements furnished above and in the attached plans present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.


Applicant (Signature)

9-1-22
Date

TENTATIVE TRACT MAP APPLICATION

EXHIBIT D CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)



CITY OF HUNTINGTON PARK
Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@hpca.gov

TENTATIVE PARCEL/ TRACT MAP APPLICATION

RECEIVED

MAY 31 2023

FOR OFFICE USE ONLY

Date Filed:

File No.:

TPM/TTM 2023-02

Fee/Receipt No.: \$2,644.00

Initials:

YLA

Project is hereby made to the Huntington Park Planning Commission requesting approval for a lot split/tie for the following described property.

1. Property Address: 7040 Newell St., Huntington Park, CA 90255
2. Legal description (give exact legal description of entire ownership proposed to be split/tied):
LOT 18 OF TRACT NO. 2588, IN THE CITY OF HUNTINGTON PARK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 25 PAGE 55 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
3. Assessor's Parcel Number(s): 6324-033-004
4. Record owner(s) of property:
Name: SP Homes Company, LLC
Mailing address: 12631 Imperial Hwy, Ste ^{A-LLS} 204, Santa Fe Springs, CA 90670
90670
Phone 1: 562-484-0244 Phone 2: _____ Email: sphomesco@gmail.com
5. Property owner(s) representative:
Name: Cal Land Engineering & Associates, Inc.
Mailing address: 574 E. Lambert Road, Brea, CA 92821

Phone 1: 714-671-1050 Phone 2: _____ Email: _____
Relationship to owner(s) (engineer, contractor, attorney, purchaser, lessee):
Engineer
6. Does any adjoining properties belong to the owner(s) involved in this application? Yes ☐ No ☒
Describe: n/a

7. How long has the owner(s) held title to this property? since July 6, 2022

8. Are there any easements controlling the use of this property? Yes ☒ No ☐

Describe: there is an existing pole line easement but is blanket in nature and cannot be plotted

Expiration Date: _____

9. Are there any private or deed restrictions controlling use of the property? Yes ☐ No ☒

Describe: n/a

Expiration Date: _____

10. Proposed Purchaser:

Name: n/a

Mailing address: _____

Phone 1: _____ Phone 2: _____ Email: _____

Expiration Date: _____

11. Present use of property: vacant

12. Proposed use of property: residential

13. Present Zoning: RH - High Density Residential

14. Total square feet of the existing undivided parcel to be split: 9,885.60 SF

15. Total square feet of each parcel be consolidated: 1 lot = 9,885.60 SF

16. Lot Split/Tie applied for (describe the split or tie proposed and give the boundary dimensions and square footage of each parcel proposed to be created or consolidated): 1 lot subdivision

17. How is access to be provided? (Describe) new driveway approach

18. How is water to be provided? (Describe) by water meter and service from water main at Newell Street

Water Company: City of Huntington Park

19. How is gas to be provided? (Describe) by gas meter and service from gas main at Newell Street

Gas Company: SoCal Gas

20. How is electricity to be provided? (Describe) by electric lines connected to nearby facilities

Electricity Company: So Cal Edison

21. How are sewers to be provided? (Describe) by gravity pipes towards sewer main at street

22. In a lot split/tie proceedings, it shall be shown that the following circumstances are found to apply (give full and complete answers):

a. The granting of such lot split/tie will not be materially detrimental to the public welfare, injurious to the property or improvements in the vicinity and zone in which said land is located, and will not be contrary to or adversely affect the comprehensive zoning plan for the City because: the zoning will not change

b. Proper and adequate provisions has been made for access to the land to be sold, divided or subdivided and also to the portion of the land remaining, or access to said land is by means of decided streets of a sufficient width and state of improvements to adequately serve the land described in this application because: a new driveway approach is proposed that is connected to the existing public street (Newell Street)

c. Proper and adequate provisions have been made for all public utilities and public services, including sewers, because: new utilities will be proposed to serve the property and are connected to existing utilities

d. The land described in this application will not be divided or sold off in the portions having an area less than that required by the Zoning Ordinance, or having an area less than the average of the area of the single parcels of land in the surrounding vicinity, because: n/a. This is a single lot subdivision

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.


Applicant Signature (Required)

Date 5/31/23

Salvador Polina
Print Name

Note: If the applicant is not the property owner, the owner of the property must sign the application or a written authorization must be submitted so that the applicant may file the application.

Property Owner Signature (Required)

Date _____

Print Name



CITY OF HUNTINGTON PARK
Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@huntingtonpark.org

ENVIRONMENTAL INFORMATION FORM

RECEIVED

FOR OFFICE USE ONLY

Date Filed: MAY 31 2023 File No.: _____ Fee/Receipt No.: _____ Initials: _____

1. BY: Applicant (please circle whether Owner, Leasee, Purchaser or Representative):

Name: SP Homes Company, LLC

Address: 12631 Imperial Highway, Ste B-204, Santa Fe Springs, CA 90670

Telephone: 562-484-0244

A-113

Fax: _____

2. Contact Person concerning this project:

Name: Ramoncito Ronquillo

Address: 574 E. Lambert Road, Brea, CA 92821

Telephone: 714-671-1050

Fax: _____

3. Address of project: 7044 Newell St, Huntington Park, CA 90255

4. Assessor's Parcel Number (APN): 6234-033-004

5. Indicate type of permit application(s) (i.e. Conditional Use Permit, Development Permit, Variance, etc.) for the project to which this form pertains:

Tentative Parcel Map

6. List any other permits and/or other public agency approvals required for this project, including those required by City, County, State and/or Federal agencies:

none

7. Existing Zone: RH - High Density Residential

8. Proposed use of site: residential

9. **Site size** (lot dimensions and square footage):
199.86' x 50' / 9,885.60 SF
-
-
10. **Project size:**
Square feet to be added/constructed to structure(s):
3,392 SF
Total square footage of structure(s): 3,392 SF
-
11. **Number of floors of construction:**
Existing: 0
Proposed: 2
-
12. **Parking:**
Amount required: 4
Amount provided: 4
-
13. **Anticipated time scheduling of project:** June 2024 - June 2025
-
-
14. **Proposed phasing of development:** n/a
-
-
15. **If residential, include number of units, schedule of unit sizes, range of sale/rent prices, and type of household size expected:**
Unit 1 - 1,353 SF - \$700,000 - 4 to 8 household size
Unit 2 - 1,331 SF - \$700,000 - 4 to 8 household size
Unit 3 - 1,331 SF - \$700,000 - 4 to 8 household size
Unit 4 - 1,416 SF - \$700,000 - 4 to 8 household size
-
-
16. **If commercial, indicate the type of commercial use, estimated employment per shift, proposed hours of operations, indicate whether neighborhood, City or Regionally oriented, square footage of sales area, and loading locations:**
n/a
-
-
-
-

17. If industrial, indicate type of industrial or manufacturing use, estimated employment per shift, proposed hours of operations, and loading locations:

n/a

18. If institutional, indicate type of institutional use, estimated employment per shift, proposed hours of operations, estimated occupancy, loading locations, and community benefits to be derived from the project:

n/a

Please complete numbers 19 through 33 by marking "A" through "D" and briefly discuss any items marked "A" "B" or "C" (attach additional sheets as necessary). Items marked "D" do not need discussion.

A) Potentially
Significant
Impact

B) Potentially
Significant Impact
Unless Mitigation
Incorporated

C) Less than
Significant
Impact

D) No Impact

AESTHETICS

19. Would the proposed project:

- | | | |
|----|--|----------|
| a. | Affect a scenic vista? | <u>D</u> |
| b. | Have a demonstrable negative aesthetic effect? | <u>D</u> |
| c. | Create light or glare? | <u>D</u> |

AIR QUALITY

20. Would the proposed project:

- | | | |
|----|---|----------|
| a. | Affect air quality or contribute to an existing or projected air quality violation? | <u>D</u> |
| b. | Create or cause smoke, ash, or fumes in the vicinity? | <u>D</u> |
| c. | Create objectionable odors? | <u>D</u> |

BIOLOGICAL RESOURCES

21. Would the proposed project:

- a. Remove of any existing trees or landscaping? D

CULTURAL RESOURCES:

22. Would the proposed project:

- a. Affect historical resources? D
- b. Have the potential to cause a significant physical change which would affect unique ethnic cultural values? D

GEOLOGY AND SOILS

23. Would the proposed project:

- a. Result in erosion, changes in topography or unstable soil conditions from excavation, grading or fill? D
- b. Be located on expansive soils? D
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- a. Create a risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)? D
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HYDROLOGY AND WATER QUALITY

25. Would the proposed project:

- a. Change water drainage patterns? D
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28. Would the proposed project result in:

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- a. Induce substantial growth in an area either directly or indirectly (i.e. through population growth or infrastructure use)? D
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30. Would the proposal result in a need for new or altered government services for any of the following public services:

- a. Fire protection? D

- b. Police protection? D
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- d. Maintenance of public facilities, including roads? D
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- c. Local or regional water treatment or distribution facilities? D
- d. Sewer or septic tanks? D
- e. Storm water drainage? D
- f. Solid waste disposal? D
- g. Local or regional water supplies? D

34. Describe the project site as it exists before the project, including any existing structures on the site, and the use of the structures (i.e. residential, commercial, industrial, etc.) Attach photographs of the site and of the surrounding land uses.

The site is currently vacant with no buildings and trees.

35. Describe the intensity of land use (i.e. single-family, apartment dwellings, shopping center, etc.), and specifications of development (i.e. height, primary frontage, secondary frontage, setbacks, rear yard, etc.).

The project will be a 4-units multi-family development similar to adjacent properties. It will have a minimum 5' side setback, 10' front setback and

10' rear setback. The proposed building height for all units is 26'-4". The lot has a 50' lot frontage.

CERTIFICATION: I hereby certify that the statements furnished above and in the attached plans present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.


Applicant (Signature)

5/31/23
Date

ARCHITECTURAL PROJECT PLANS

EXHIBIT E CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)



Southwest View



South View

REVISIONS	BY
12/27/2022	C.L.
6/6/2023	C.L.
8/2/23	

Plans drawn by:



G.P. FOX DRAFTING INC.

RESIDENTIAL DRAFTING
8050 E. FLORENCE AVE, SUITE.27
DOWNEY, CA 90240
(562) 928-5467

email: gpfoxdesign@verizon.net

GENERAL NOTES

1. VERIFY MEASUREMENTS WITH CORRESPONDING COSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ARCHITECTURAL ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.
3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

Project:

PROPOSED
(4) 2-STORY UNITS

Sheet Title:

RENDERINGS

Project for:

SALVADOR POLINA

Project:

Address:

7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280

Checked G.P.

Job no. ----

Drawn J.P.M

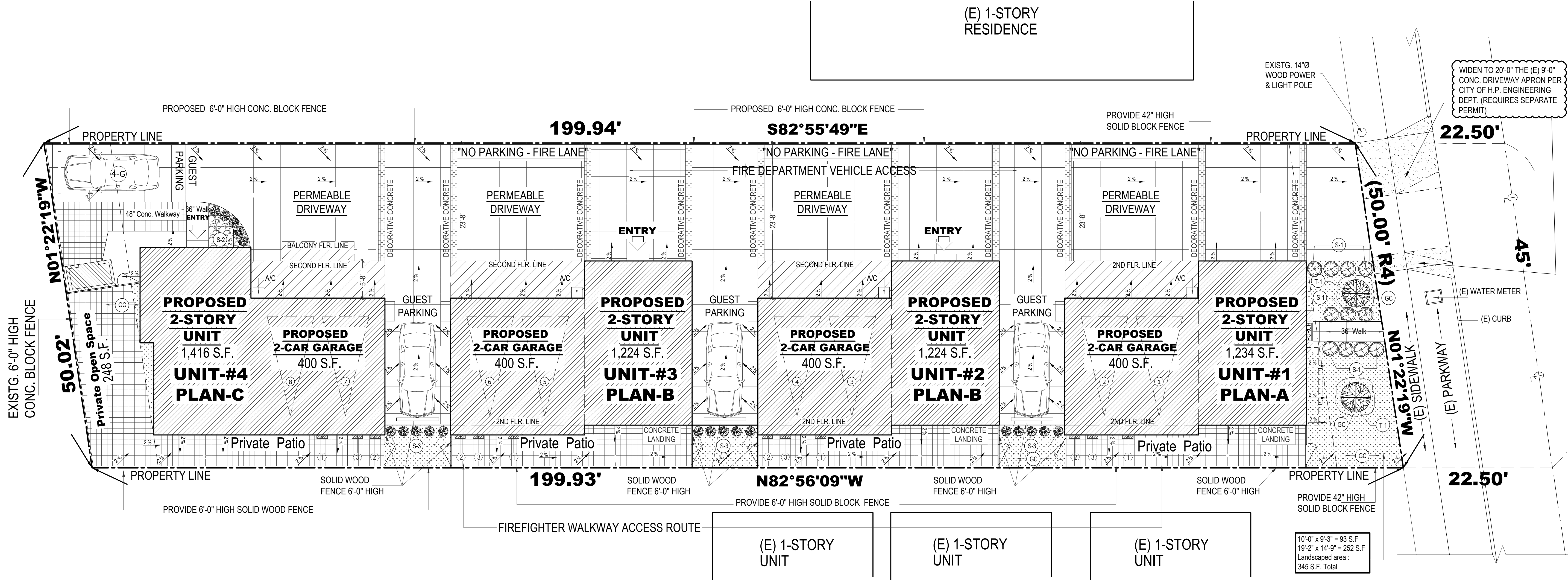
Date 12/19/2022

SHEET:

1-R

OF

SHEETS



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

PLANTING LEGEND:				
SYMBOL:	BOTANICAL NAME:	COMMON NAME:	SIZE	QUANTITY
TREES				
T-1	CHITALPA TASHKENTENSIS	CHITALPA	24" BOX	2
T-2	ARBUTUS MARINA	STRAWBERRY MADRONE	24" BOX	1
SHRUBS:				
S-1	NANDINA DOMESTICA "FIRE POWER"	FIRE POWER HEAVENLY BAMBOO	5-GAL. @3' FT	16
S-2	DIETES BICOLOR	FORTNIGHT LILY	1-GAL. @30"O/C	12
S-3	SALVIA CLEVELANDI "WINNIFRED GILMAN"	MAGENTA TEXAS RED SAGE	5-GAL. @3' FT	15
GROUND COVERS:				
G-C	MARATHONE II	SOD		



- Key Notes:
- ① TANKLESS WATER HEATER LOCATION
 - ② (1)200 AMP ELECTRICAL PANEL LOCATION
 - ③ LOCATION OF INVERTERS AND METERING EQUIPMENT PLUMBING

REVISIONS	BY
12/27/2022	C.L.
6/6/2023	C.L.
8/2/23	

Plans drawn by:

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8050 E. FLORENCE AVE, SUITE 27
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- GENERAL NOTES
1. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
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 3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

Project:
**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:
LANDSCAPE PLAN

Project for:
SALVADOR POLINA

Project:
Address:
**7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280**

Checked	G.P.
Job no.	----
Drawn	J.P.M
Date	12/19/2022

SHEET:
1-L1
OF SHEETS

NOTES:

AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL- BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.6). BUILDINGS SHALL HAVE APPROVED ADDRES NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)

PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD, OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

EVSE NOTES:

- A MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.

- "THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE."

- "THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERTCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE."

Electrical Legend	
	ELECTRICAL RECEPTACLE AFCl (TYP.)
	PAMPER RESISTANT
	GROUND FAULT RECEPTACLE
	SWITCHES
	SWITCHES WITH DIMMER
	FLUORESCENT HIGH EFFICACY FIXTURE
	LIGHTING FIXTURES
	EXHAUST FAN W/ 50 CFM MIN. TO OUTSIDE
	MUST BE "ENERGY STAR" W/ HUMIDISTAT READILY ACCESSIBLE
	HARDWIRED SMOKE DETECTOR
	HARD-WIRED MONOXIDE ALARM INTERCONNECTED WITH BATTERY BACKUP
	LIGHTING W/ MOTION SENSOR
	ON AND PHOTO-CONTROLLED SENSOR OFF

WALL LEGEND	
	2X4 OR 2X6 STUD WALLS
	1-HOUR FIRE RATED PARTITION
	TYP. WINDOW

FLOOR AREA PLAN-A :	
First Floor:	368 s.f.
Second Floor:	866 s.f.
New Floor Area:	1,234 s.f.
Porch:	7 s.f.
Balcony:	3 s.f.
2-Car Garage:	400 s.f.

ENERGY REQUIREMENTS:

SHADING DEVICES: EXTERIOR : BUG SCREEN INTERIOR: DRAPPRY STANDARD FRAME METAL TYPE DOUBLE GLASS U-VALUE = 0.34 MAX. SHGC = 0.21 MAX.	INSULATION: CEILING = R-30 WALL = R-13 SLAB = R-0	F.A.U. CENTRAL FURNACE GAS CARRIER MODEL = 68C07512MUB11 HEATING CAP = 48,000 B.T.U. / HR. COOLING CAP = 48,000 B.T.U. / HR.
--	--	---

WATER HTR.: TANKLESS WATER HEATER BY: RHEEM

Roof plan Key Notes:

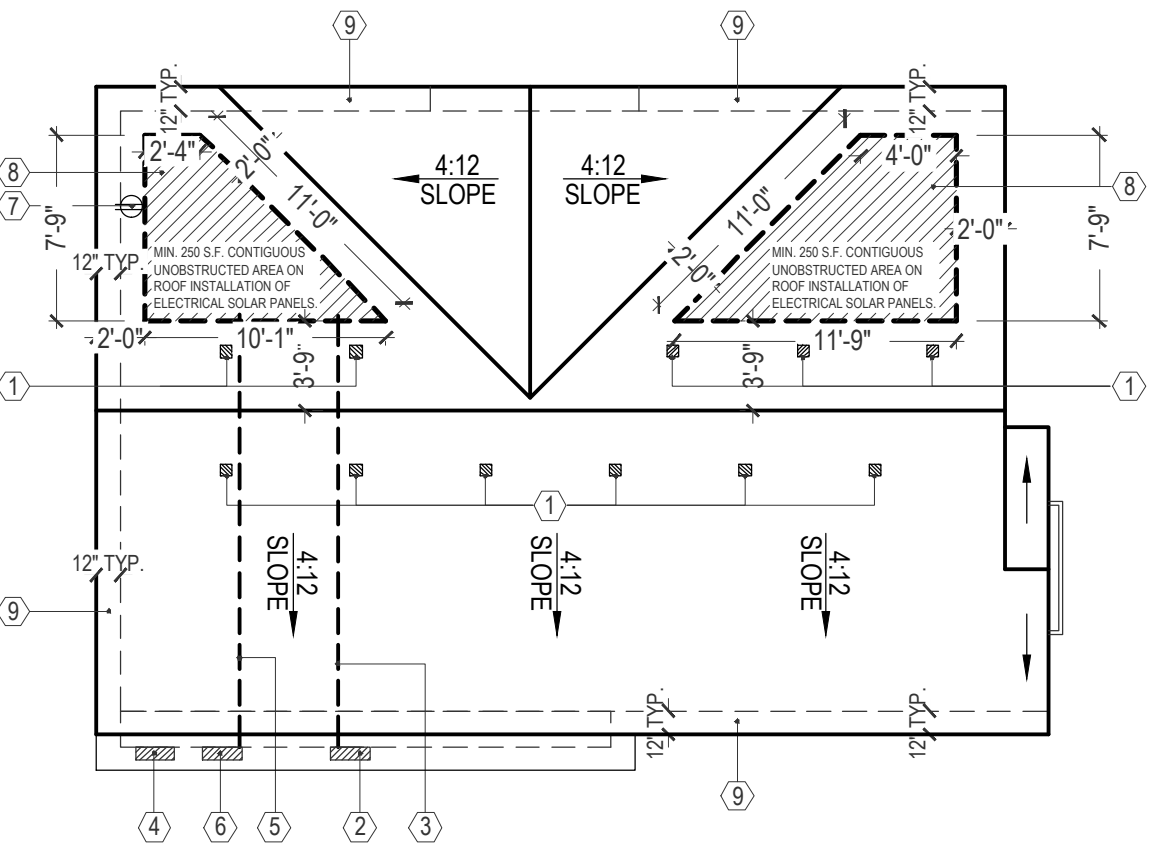
- DECORATIVE DORMER VENTS
- (1) TANKLESS WATER HEATER LOCATION
- PLUMBING ROUTE FROM SOLAR PANEL TO WH
- (1) 200 AMP ELECTRICAL PANEL LOCATION
- ELECTRICAL LINE ROUTE FROM INVERTER TO ELEC.
- LOCATION OF INVERTERS AND METERING EQUIPMENT PLUMBING
- TERMINATION OF 1" CONDUIT FOR ROOF INSTALLATION OF ELECTRICAL SOLAR PANELS
- MIN. 250 S.F. CONTIGUOUS UNOBSTRUCTED AREA ON ROOF FOR INSTALLATION OF ELECTRICAL SOLAR PANELS
- EAVES PROJECTION

NOTE:

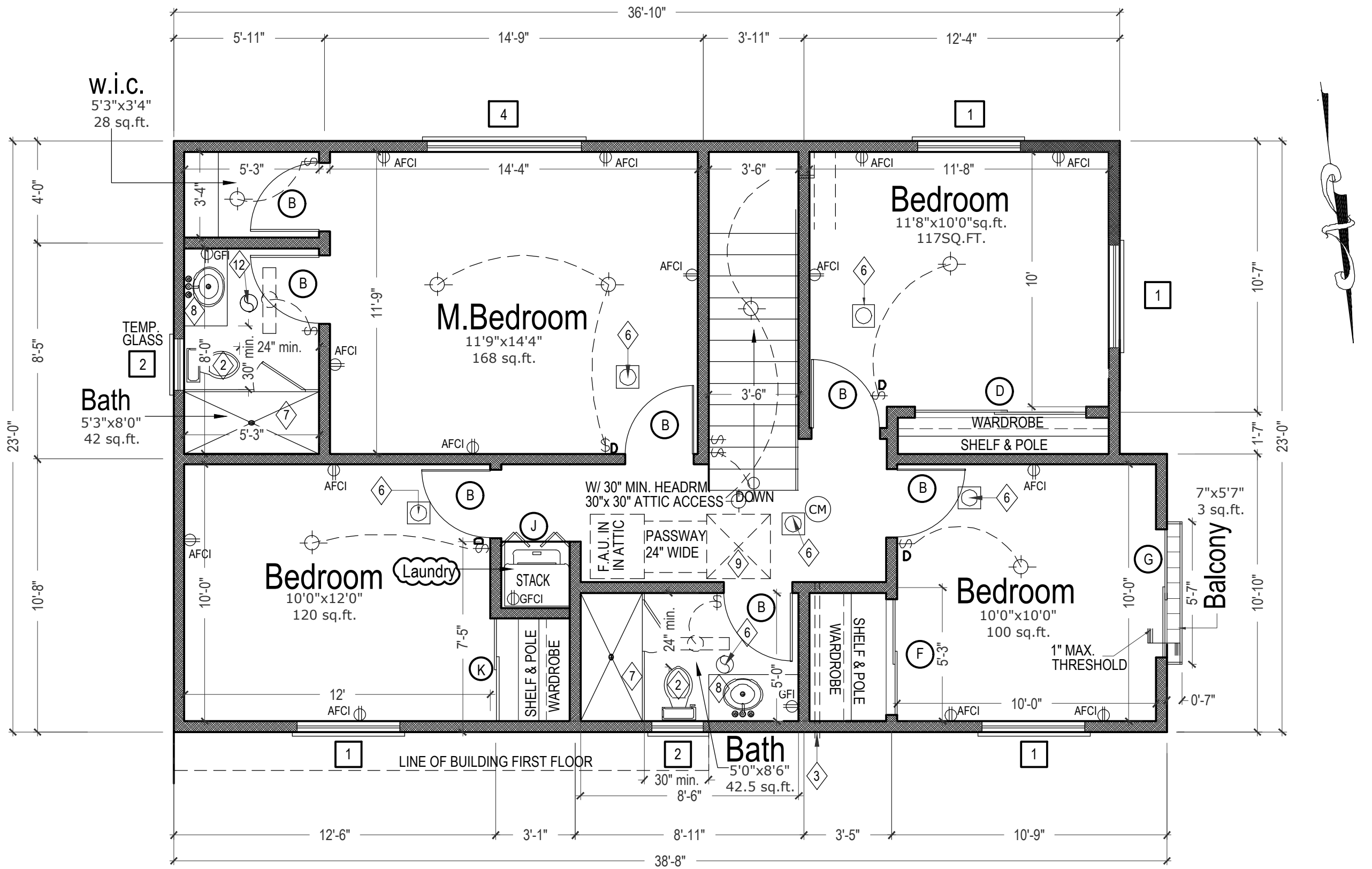
THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A SOLARE ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".

NOTE:

THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT SOLAR ZONE SHALL BE ORIENTED BETWEEN 110° AND 270° OF THE TRUE NORTH

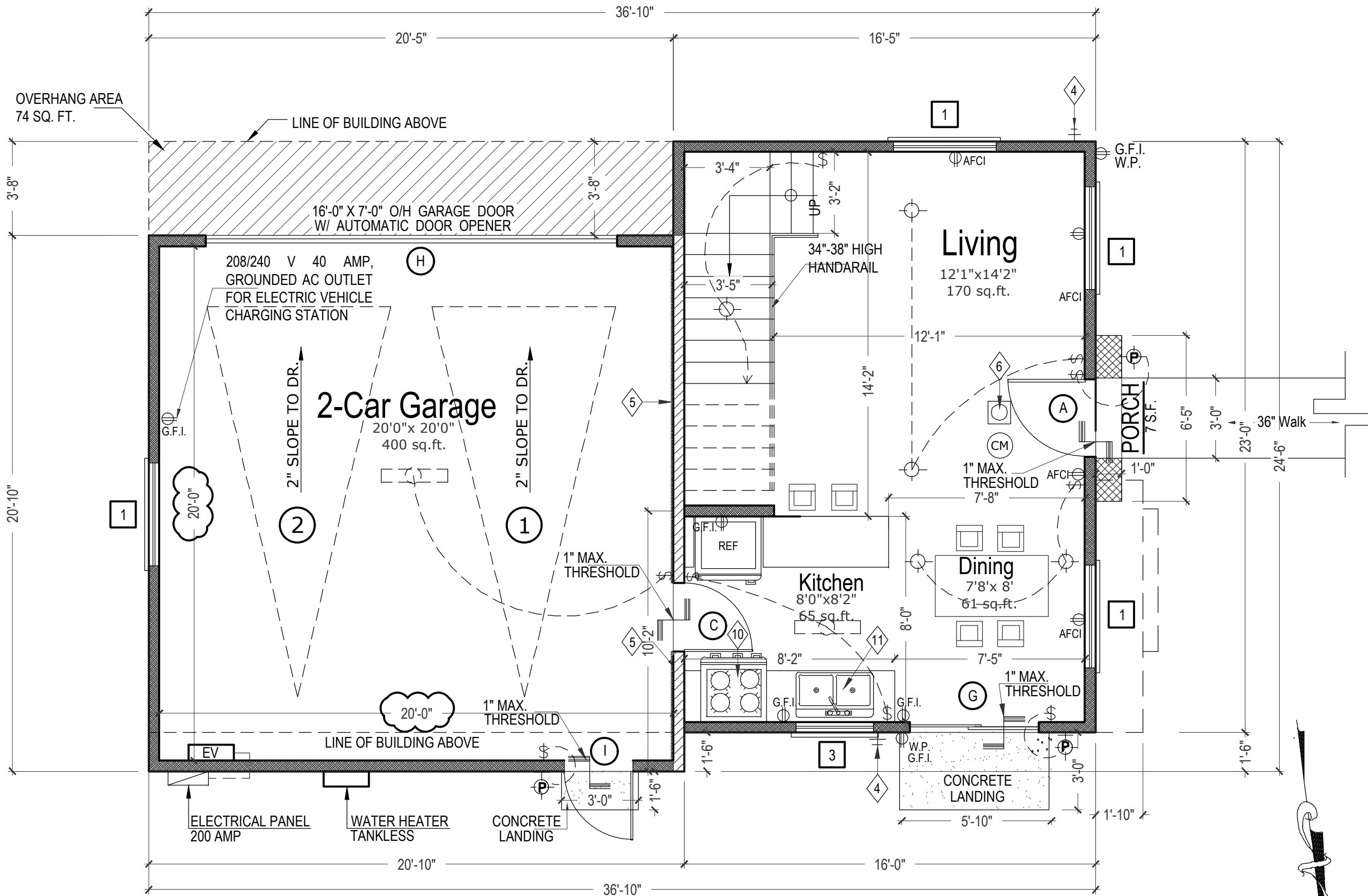


ROOF PLAN-UNIT #1
SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

PLAN - A

Floor Plan Key Notes:

- PROVIDE A 12" SQ. (MINIMUM) ACCESS PANEL TO BATHTUB TRAP CONNECTION EXCEPT WHERE CONCEALED FIXTURE CONNECTIONS ARE MADE WITHOUT SLIP JOINTS. DOOR TO BE TIGHTFITTING AND GASKETED.
- PROVIDE A WATER SAVING LOW FLUSH WATER CLOSET. IN NEW BUILDING PROVIDE WATER CLOSET THAT USE A MAXIMUM OF 1.6 GALLONS PER FLUSH.
- 4" Ø MIN. DRYER VENT UP TO FLR. JSTS. & TO OUTSIDE AIR W/ BACK-DRAFT DAMPER EXHAUST DUCT LENGTH IS LIMITED TO 14 FT. W/ 2 ELBOWS TWO FEET SHALL BE DECREASED FOR EACH 90 DEGREES ELBOW IN EXCESS OF TWO.
- HOSE BIBB WITH BACKFLOW PREVENTER
- 5/8" TYPE "X" GYP. BRD. CLG. WALLS, POSTS, BEAMS ETC. THROUGH-OUT FOR 1-HR. FIRE CONSTRUCTION
- HARDWIRED WITH BATTERY OPERATED SMOKE DETECTORS W/ BATTERY BACK-UP TYP.
- FIBERGLASS TUB W/ SHOWER SHATTER PROOF ENCLOSURE 72" HIGH W.P. GREEN BRD. 3-WALLS
- 30" HIGH TILE COUNTERTOP WITH LAVATORY.
- 30" X 30" ATTIC/HVAC ACCESS TO BE A TIGHTFITTING, SELF CLOSING & GASKETED DOOR.
- 42" STOVE W/ HOOD OVER W/ CLR. ABOVE STOVE
- 32" X 21" S. STL. SINK W/ GARBAGE DISPOSAL ON A SEPARATE CIRCUIT.
- EXHAUST FAN W/ 50 CFM MIN. TO OUTSIDE MUST BE "ENERGY STAR" W/ HUMIDISTAT READILY ACCESSIBLE

Floor Plan Notes:

SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS 907.2.10.5:

"IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO SLEEPING ROOM, AND EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY."

"AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIDGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170.158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

"WATER HEATER MUST BE STRAPPED TO WALL."

"PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION."

"PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE."

"GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED": A. INGRESS AND EGRESS DOORS. B. PANELS IN SLIDING OR SWINGING DOORS. C. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO IN GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)

PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.

KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.

BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NO LESS THAN 6 FEET ABOVE THE FLOOR.

Door Schedule:

SYM.	SIZE	REMARKS
A	3'-0" X 6'-8" X 1 3/4"	SOLID CORE
B	2'-8" X 6'-8" X 1 3/8"	HOLLOW CORE
C	2'-8" X 6'-8" X 1 3/8"	SOLID CORE 20 MIN. FIRE RATED SELF CLOSING DOOR
D	6'-8" X 6'-8"	SLIDING WOOD DOORS (DBL. DRS.)
E	6'-0" X 6'-8"	SLIDING WOOD DOORS (DBL. DRS.)
F	4'-6" X 6'-8"	SLIDING WOOD DOORS (DBL. DRS.)
G	5'-0" X 6'-8"	SLIDING GLASS DOORS TEMPERED GLASS
H	16'-0" X 7'-0"	GARAGE DOOR
I	2'-8" X 6'-8" X 1 3/8"	SOLID CORE
J	3'-0" X 6'-8"	BI FOLDING W/ LOUVERS
K	4'-0" X 6'-8"	SLIDING WOOD DOORS (DBL. DRS.)

Window Schedule:

SYM.	SIZE	REMARKS
1	4'-0" X 4'-0"	VINYL SLID. WINDOW
2	2'-0" X 2'-0"	VINYL SLID. WINDOW OBSC. GLASS
3	4'-0" X 3'-0"	VINYL SLID. WINDOW
4	6'-0" X 4'-0"	VINYL SLID. WINDOW

REVISIONS	BY
12/27/2022	C.L.
6/6/2023	C.L.

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Project:
**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:
**FLOOR PLANS
PLAN -A**

Project for:
SALVADOR POLINA

Project:
Address:
**7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280**

Checked G.P.

Job no. ----

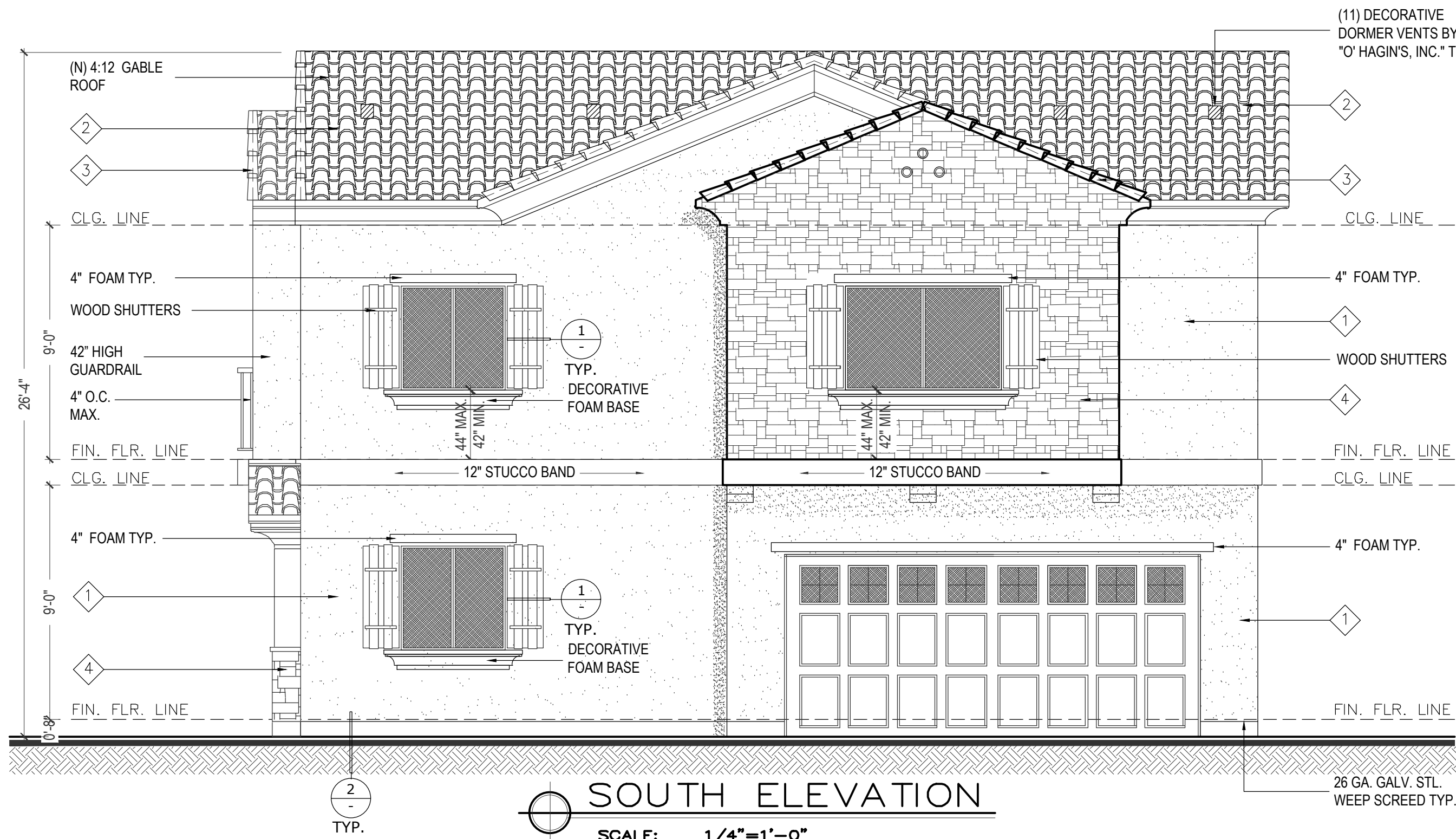
Drawn J.P.M

Date 12/19/2022

SHEET:

2

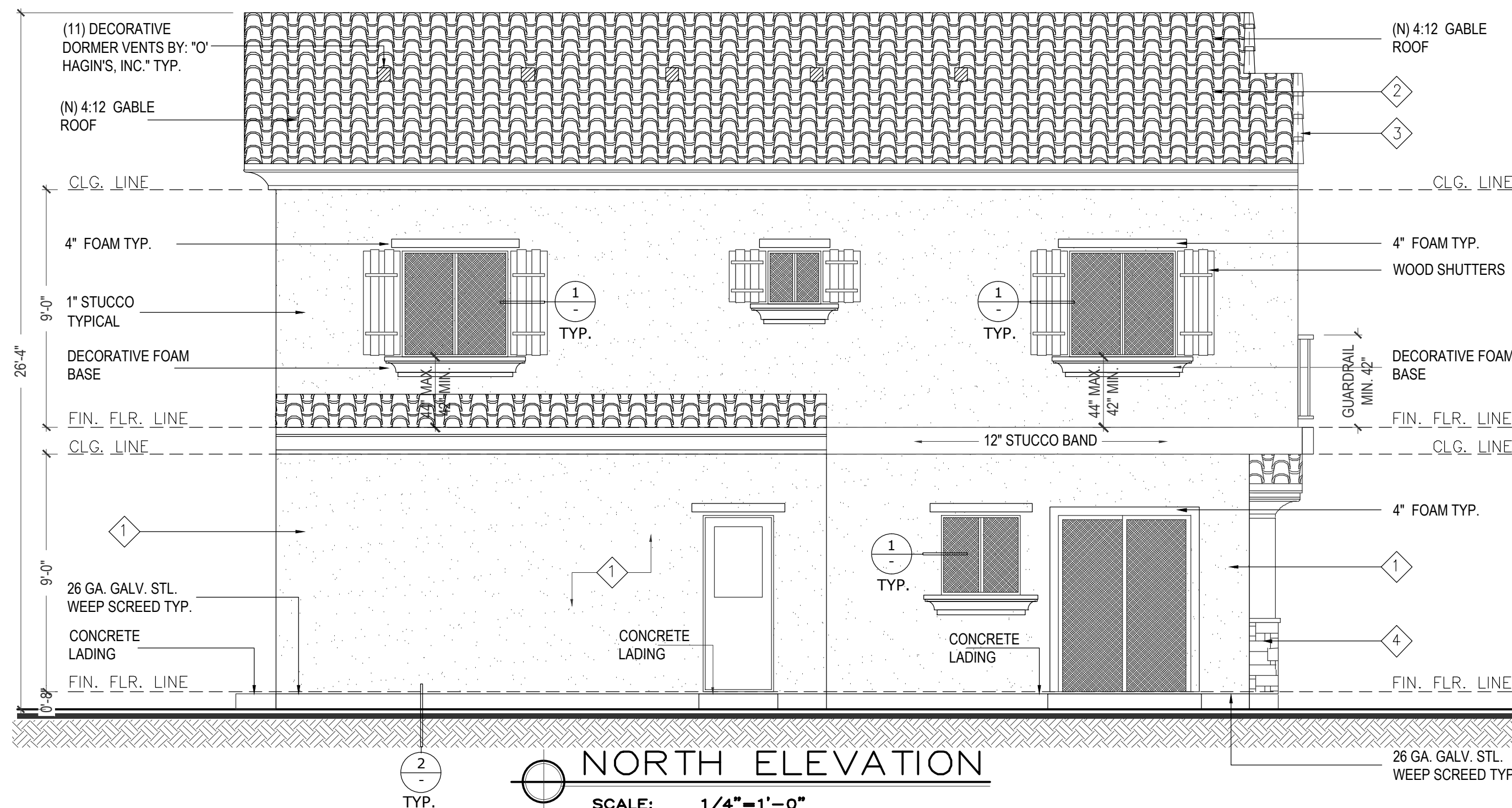
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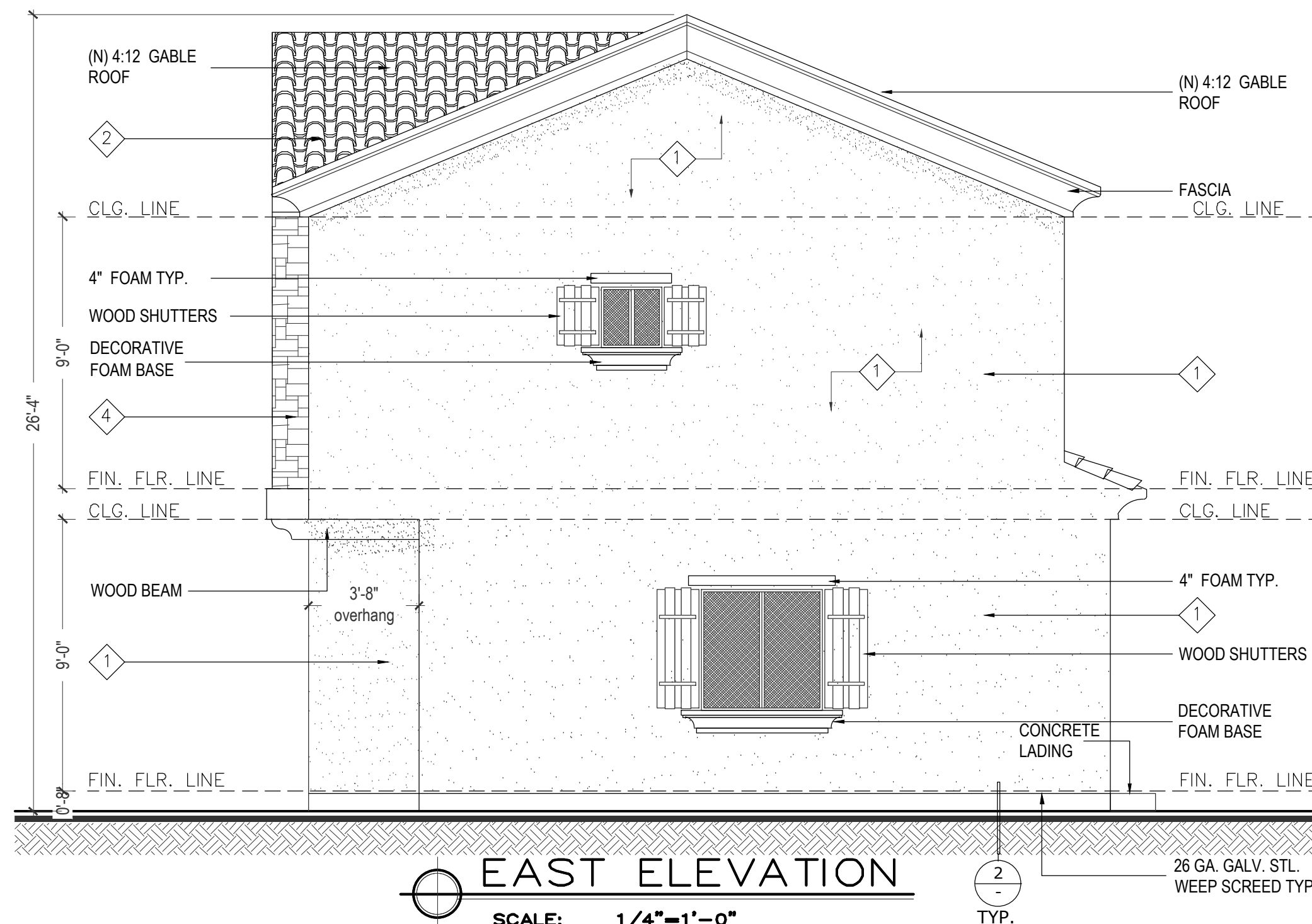
SOUTH ELEVATION
SCALE: 1/4"=1'-0"



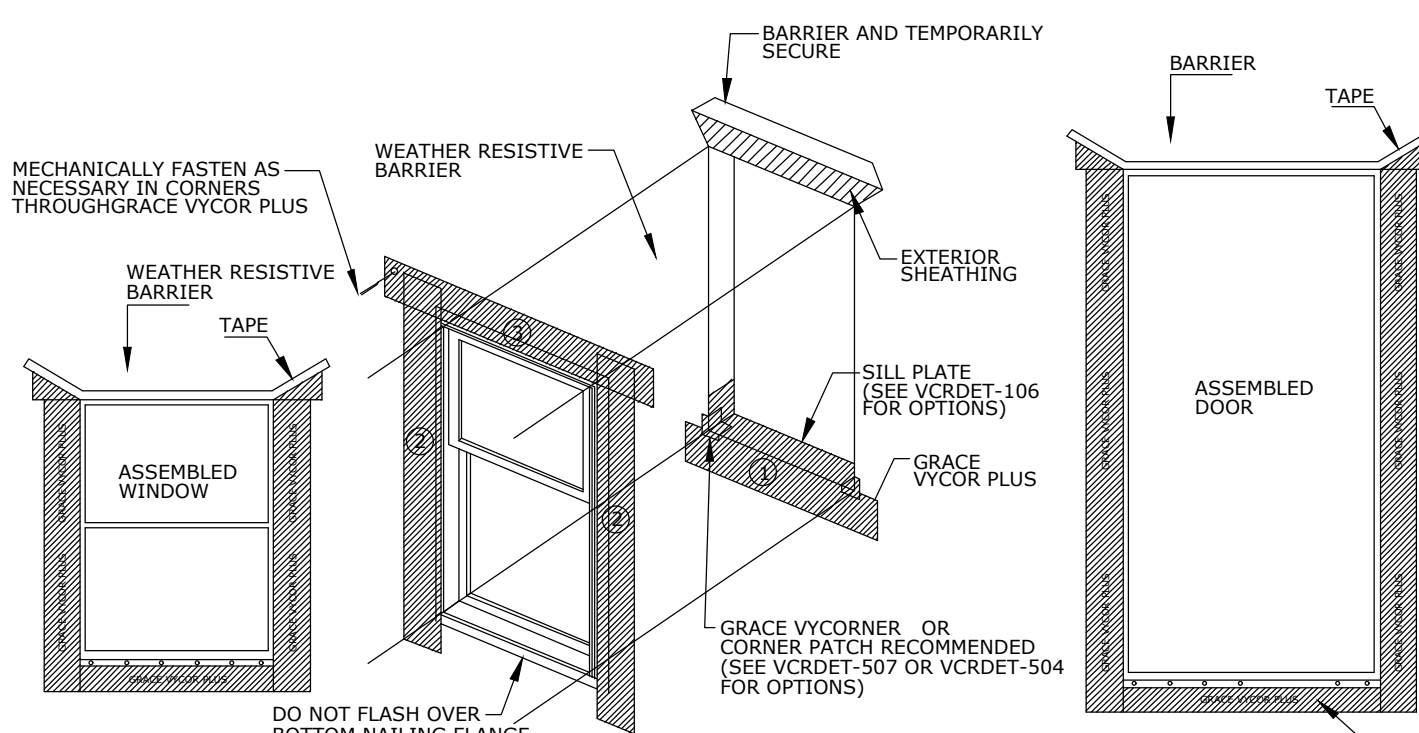
WEST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



WINDOWS DETAIL

DOORS DETAIL

TYPICAL WINDOWS & DOORS FLASHING DETAIL - 1

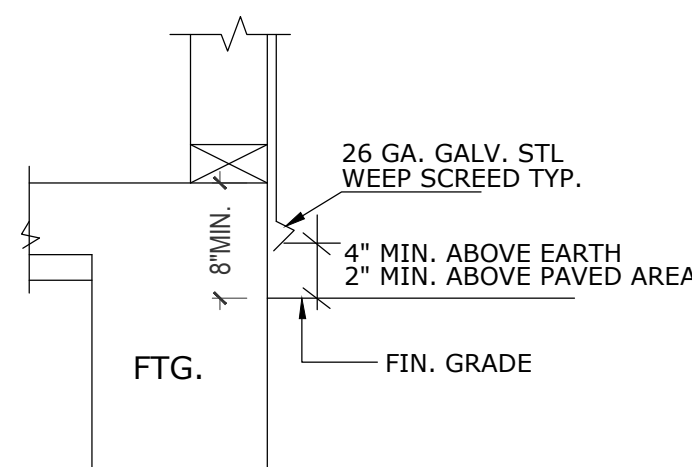
- NOTES:**
- VCRDET GRACE CONSTRUCTION CDM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS.
 - RIVNORDS CAN BE REMOVED FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION.
 - REMOVE WEATHER RESISTIVE BARRIER FROM TOP OF WINDOW SILL PLATE.
 - INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS.
 - INSTALL GRACE VYCOR PLUS AND WEATHER RESISTIVE BARRIER TO FORM WATER SHEDDING LAP.
 - DETAIL ALSO RELVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

- HEAD FLASHING TIE-IN INSTRUCTIONS:**
- CUT, FOLD UP AND TEMPORARILY SECURE WEATHER RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR FLASHING INSTALLATION.
 - INSTALL GRACE VYCOR PLUS HEAD FLASHING UNDER WEATHER RESISTIVE BARRIER ALONG HEADER.
 - FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH TAPE AS SHOWN ABOVE.

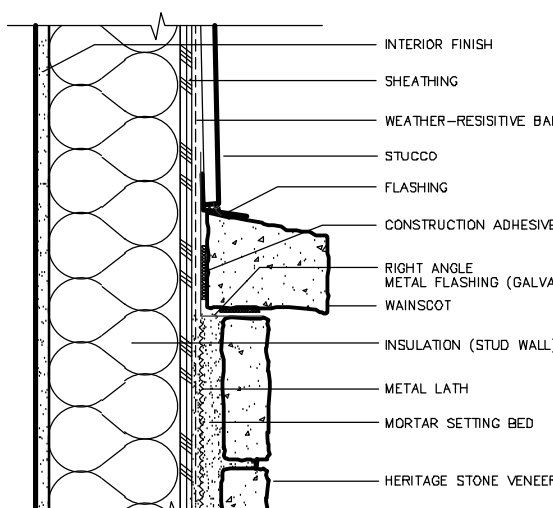
NOTES:
For roof slopes from 2:12 up to 4:12 for asphalt shingles underlayment shall be 2 layers of 15# felt laid with 19" overlap-per CBC sect. 1507.2.

Use 2 layers of Grade D paper barrier for stucco applied over wood-based sheathing-CBC Sect. 2510.6

ARCHITECTURAL THEME:
Spanish Pale stucco, arched entries and square window with wood shutters , and tile roofs with overhanging eaves with different roof shapes



DETAIL - 2



DETAIL - 3

EXTERIOR MATERIALS COLOR SCHEDULE:

SYMBOL	DESCRIPTION	COLOR
1	STUCCO FLAT SMOOTH FINISHES: LA HABRA	OFF WHITE (BASE 100)
2	ROOFING HEAVY WEIGHT TILE	HEAVY WEIGHT TILE BY: US TILE MONARCH TILE
3	ROOF FASCIA	ROASTED SEPIA (R00B-2C) BY: VALSPAR OR EQUIVALENT (DARK BROWN FINISH)
4	STONE VENEER	HERITAGE (ESR-2826) BY: "STONECRAFT INDUSTRIES"

NOTE:

PROVIDE 44" MAX. SILL HGT. ABOVE FINISH FLOOR FOR EMERGENCY EXIT ON ALL BEDROOM WINDOWS.

ROOFING:

HEAVY WEIGHT TILE BY:
US TILE
ICC ESR-1017
15 FELT USE GALV. ROOFING
NAILS (FIRE RETARDANT)
MAX. WEIGHT SHALL BE 12 PSF

INSTALLATION SHALL BE INACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ALL DOORS, WINDOWS, TRIMS, AND ARCHITECTURAL FEATURES ON ALL UNITS SHALL MATCH IN STYLE, MATERIAL AND COLOR

NOTE: "ROOF" ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY " 1504 MINIMUM CLASS "C" REQUIRED BY STATE LAW.

ATTIC VENTILATION:

ATTIC AREA 866 S.F.
866 /150 = 5.77 S.F. REQUIRED
DECORATIVE VENTS BY: "O' HAGINS, INC."
EACH VENT = 97.50 SQ. IN. OR 97.50/144 = 0.67 SQ. FT. EACH
(9)-TOTAL DECORATIVE VENTS PROVIDED = 6.03 SQ. FT. TOTAL

NOTES:

"INSPECTION OF NAILING REQUIRED FOR DRYWALL AND ALL LATH WHEN IN PLACE CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SPACING SHALL BE 3/8 INCH MAXIMUM. TWO LAYERS OF GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD WOOD BASE SHEATHING.

NOTE:

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306) ANTI-GRAFFITI FINISH LARR# 25142 T

REVISIONS

REVISIONS	BY
12/27/2022	C.L.
6/6/2023	C.L.

Plans drawn by:



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Project:

**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:

**FLOOR PLANS
PLAN -A**

Project for:

SALVADOR POLINA

Project:

Address:

**7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280**

Checked G.P.

Job no. ----

Drawn J.P.M

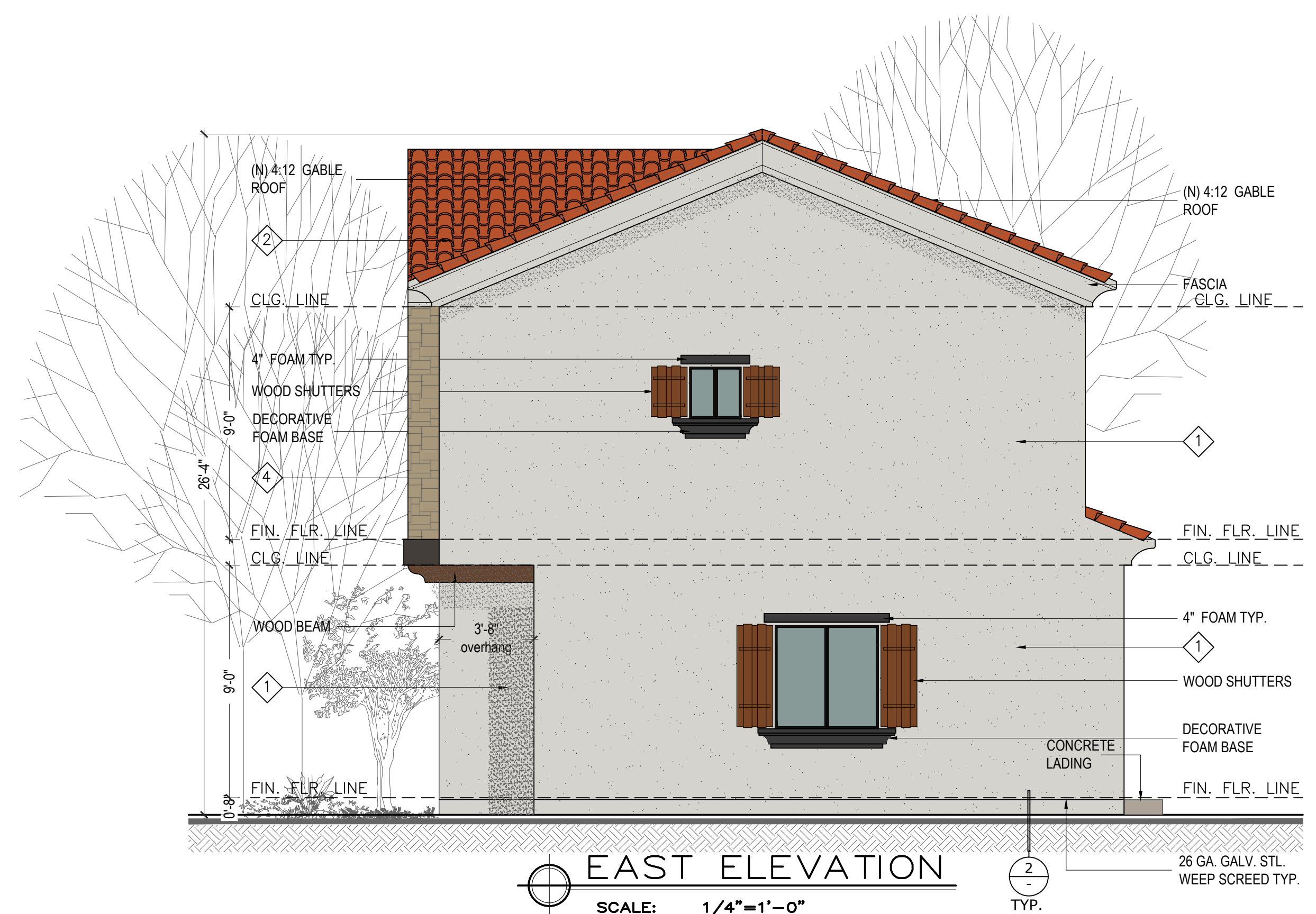
Date 12/19/2022

SHEET:

3

OF


SHEETS



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SYMBOL	DESCRIPTION	COLOR
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2	ROOFING HEAVY WEIGHT TILE	HEAVY WEIGHT TILE BY: US TILE MONARCH TILE
3	ROOF FASCIA	ROASTED SEPIA (6006-20) BY: VALSPAR OR EQUIVALENT (DARK BROWN FINISH)
4	STONE VENEER	HERITAGE (ESR-2026) BY: 'STONECRAFT INDUSTRIES'

REVISIONS	BY
12/27/2022	C.L.
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**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:
**COLORED
ELEVATIONS
PLAN -A**

Project for:
SALVADOR POLINA

Project:
Address:
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HUNTINGTON PARK,
CA. 90280**

Checked	G.P.
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SHEET:
3
OF SHEETS

NOTES:

AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL- BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.6). BUILDINGS SHALL HAVE APPROVED ADDRES NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)

PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD, OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

EVSE NOTES:

- A MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.

- "THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE."

- "THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERTCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE."

ENERGY REQUIREMENTS:

SHADING DEVICES: EXTERIOR : BUG SCREEN INTERIOR: DRAPPEY STANDARD FRAME METAL TYPE DOUBLE GLASS U-VALUE = 0.34 MAX. SHGC = 0.21 MAX.	INSULATION: CEILING = R-30 WALL = R-13 SLAB = R-0	F.A.U. CENTRAL FURNACE GAS CARRIER MODEL = 68C07512MUB11 HEATING CAP = 48,000 B.T.U. / HR. COOLING CAP = 48,000 B.T.U. / HR. WATER HTR: TANKLESS WATER HEATER BY: RHEEM
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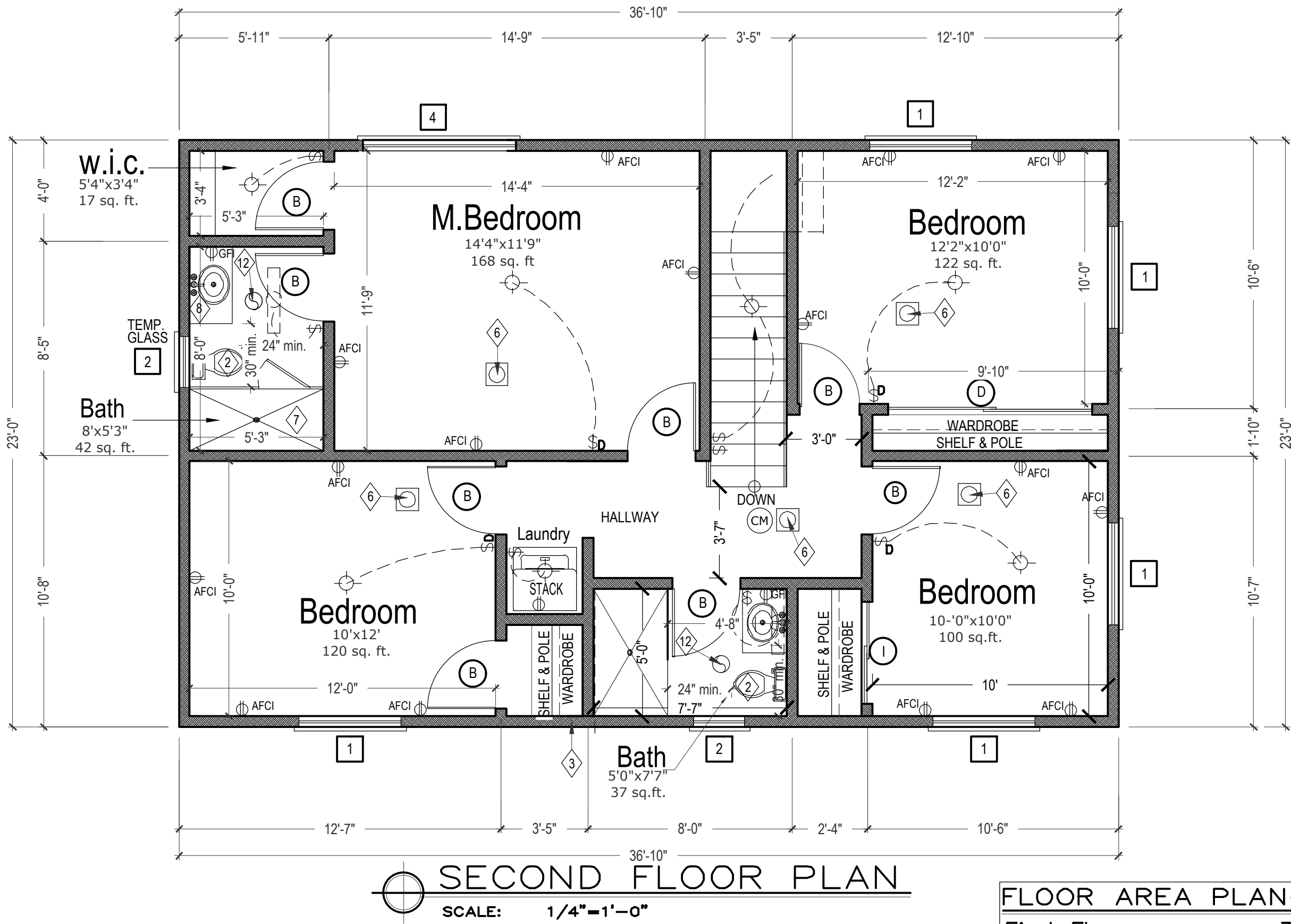
Electrical Legend

Ⓢ	ELECTRICAL RECEPTACLE AFCI (TYP.) PAMPER RESISTANT
Ⓢ	GROUND FAULT RECEPTACLE
Ⓢ	SWITCHES
Ⓢ	SWITCHES WITH DIMMER
Ⓢ	FLUORESCENT FIXTURE
Ⓢ	LIGHTING FIXTURES
Ⓢ	EXHAUST FAN W/ 50 CFM MIN. TO OUTSIDE MUST BE "ENERGY STAR" W/ HUMIDISTAT READILY ACCESSIBLE
Ⓢ	HARDWIRED SMOKE DETECTOR
Ⓢ	HARD-WIRED MONOXIDE ALARM INTERCONNECTED WITH BATTERY BACKUP
Ⓢ	LIGHTING W/ MOTION SENSOR ON AND PHOTO-CONTROLLED SENSOR OFF

WALL LEGEND

	2X4 OR 2X6 STUD WALLS
	1-HOUR FIRE RATED PARTITION
	TYP WINDOW

DECKING WITH POLYCOAT
ESR-2785, UL 790, OVER EXTERIOR
GRADE PLYWOOD SHEATHING
(BLOCK EDGES), MINIMUM SLOPE
SHALL BE 1/4"PER FOOT.



FLOOR AREA PLAN-B :	
First Floor:	377 s.f.
Second Floor:	847 s.f.
New Floor Area:	1,224 s.f.
Porch:	6 s.f.
Balcony:	33 s.f.
2-Car Garage:	400 s.f.

Roof plan Key Notes:

- 1 DECORATIVE DORMER VENTS
- 2 (1) TANKLESS WATER HEATER LOCATION
- 3 PLUMBING ROUTE FROM SOLAR PANEL TO WH
- 4 (1) 200 AMP ELECTRICAL PANEL LOCATION
- 5 ELECTRICAL LINE ROUTE FROM INVERTER TO ELEC.
- 6 LOCATION OF INVERTERS AND METERING EQUIPMENT PLUMBING
- 7 TERMINATION OF 1" CONDUIT FOR INSTALLATION OF ELECTRICAL SOLAR PANELS
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ROOF PLAN-UNIT #2/#3

SCALE: 1/8"=1'-0"

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

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- 1 PROVIDE A 12" SQ. (MINIMUM) ACCESS PANEL TO BATHTUB TRAP CONNECTION EXCEPT WHERE CONCEALED FIXTURE CONNECTIONS ARE MADE WITHOUT SLIP JOINTS. DOOR TO BE TIGHTFITTING AND GASKETED.
- 2 PROVIDE A WATER SAVING LOW FLUSH WATER CLOSET. IN NEW BUILDING PROVIDE WATER CLOSET THAT USE A MAXIMUM OF 1.6 GALLONS PER FLUSH.
- 3 4" Ø MIN. DRYER VENT UP TO FLR. JSTS. & TO OUTSIDE AIR W/ BACK-DRAFT DAMPER EXHAUST DUCT LENGTH IS LIMITED TO 14 FT. W/ 2 ELBOWS TWO FEET SHALL BE DECREASED FOR EACH 90 DEGREES ELBOW IN EXCESS OF TWO.
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"AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIDGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

"WATER HEATER MUST BE STRAPPED TO WALL."

"PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION."

"PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE."

"GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED": A. INGRESS AND EGRESS DOORS. B. PANELS IN SLIDING OR SWINGING DOORS. C. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO IN GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)

PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.

KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.

BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NO LESS THAN 6 FEET ABOVE THE FLOOR.

Door Schedule:

SYM.	SIZE	REMARKS
A	3'-0" X 6'-8" X 1 3/4"	SOLID CORE
B	2'-8" X 6'-8" X 1 3/8"	HOLLOW CORE
C	2'-8" X 6'-8" X 1 3/8"	SOLID CORE 20 MIN. FIRE RATED SELF CLOSING DOOR
D	6'-0" X 6'-8"	SLIDING WOOD DOORS (DBL. DRS.)
E	5'-0" X 6'-8"	SLIDING GLASS DOORS TEMPERED GLASS
F	6'-0" X 6'-8"	SLIDING GLASS DOORS TEMPERED GLASS
G	16'-0" X 7'-0"	GARAGE DOOR
H	2'-8" X 6'-8" X 1 3/8"	SOLID CORE
I	4'-0" X 6'-8"	SLIDING WOOD DOORS (DBL. DRS.)
J	3'-0" X 6'-8"	BI FOLDING W/ LOUVERS

Window Schedule:

U. VALUE = .28
SHGC = .17

SYM.	SIZE	REMARKS
1	4'-0" X 4'-0"	VINYL SLID. WINDOW
2	2'-0" X 2'-0"	VINYL SLID. WINDOW OBS.C. GLASS
3	4'-0" X 3'-0"	VINYL SLID. WINDOW
4	6'-0" X 4'-0"	VINYL SLID. WINDOW

REVISIONS

BY

12/27/2022

C.L.

6/6/2023

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3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

Project:

**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:

**FLOOR PLANS
PLAN B
UNIT #2 & #3**

Project for:

SALVADOR POLINA

Project:

Address:

**7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280**

Checked G.P.

Job no. ----

Drawn J.P.M

Date 12/19/2022

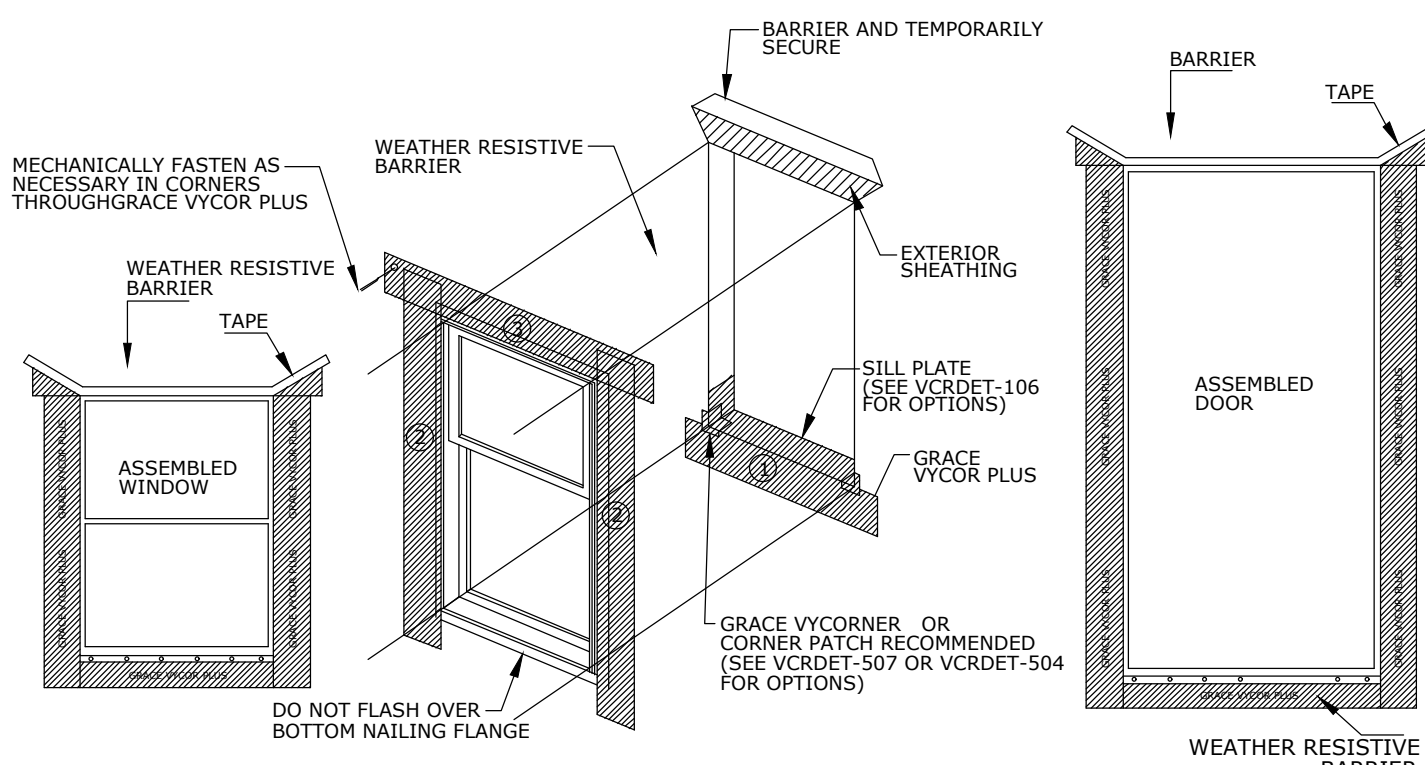
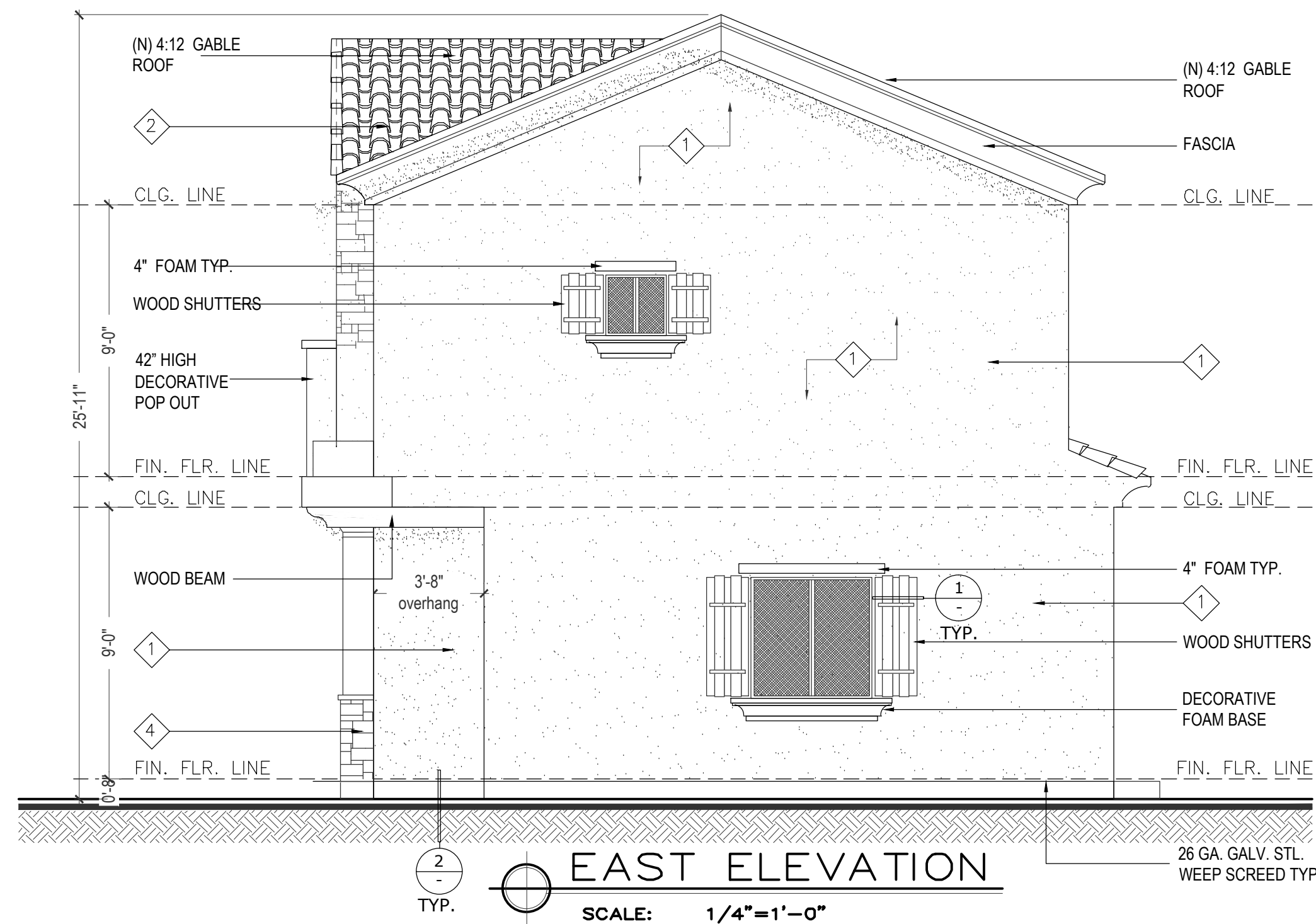
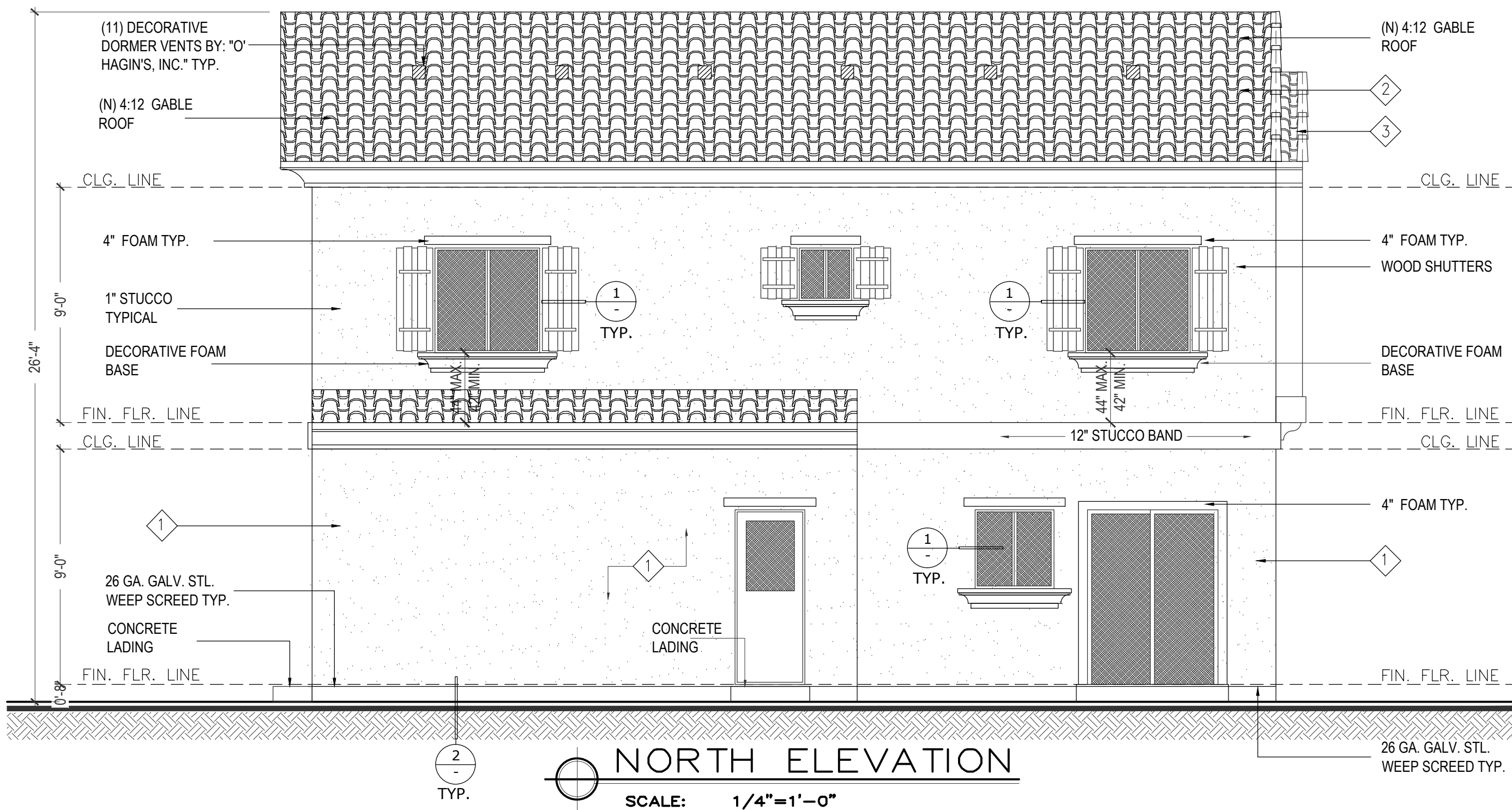
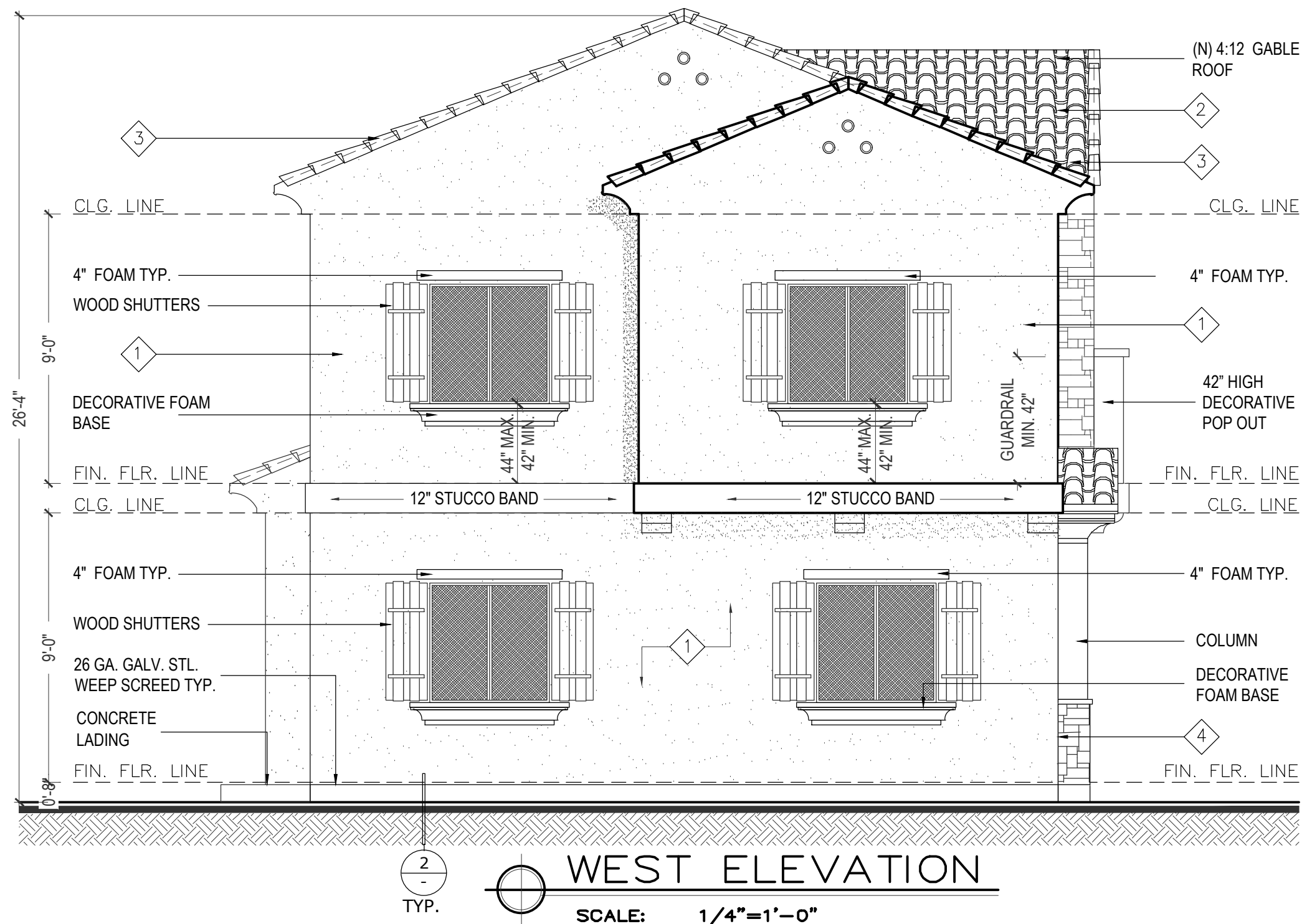
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OF

SHEETS

PLAN - B



WINDOWS DETAIL

DOORS DETAIL

TYPICAL WINDOWS & DOORS FLASHING DETAIL - 1

- NOTES:**
- VCRDET GRACE CONSTRUCTION CDM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS.
 - RIVORDS CAN BE REMOVED FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION.
 - REMOVE WEATHER RESISTIVE BARRIER FROM TOP OF WINDOW SILL PLATE.
 - INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS.
 - INSTALL GRACE VYCOR PLUS AND WEATHER RESISTIVE BARRIER TO FORM WATER SHEDDING LAP.
 - DETAIL ALSO RELVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

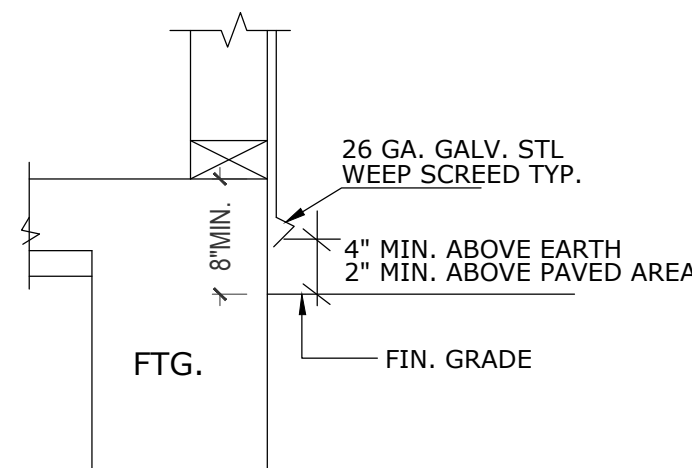
HEAD FLASHING TIE-IN INSTRUCTIONS:

- CUT, FOLD UP AND TEMPORARILY SECURE WEATHER RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR FLASHING INSTALLATION.
- INSTALL GRACE VYCOR PLUS HEAD FLASHING UNDER WEATHER RESISTIVE BARRIER ALONG HEADER.
- FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH TAPE AS SHOWN ABOVE.

NOTES:
For roof slopes from 2:12 up to 4:12 for asphalt shingles underlayment shall be 2 layers of 15# felt laid with 19" overlap-per CBC sect. 1507.2.

Use 2 layers of Grade D paper barrier for stucco applied over wood-based sheathing-CBC Sect. 2510.6

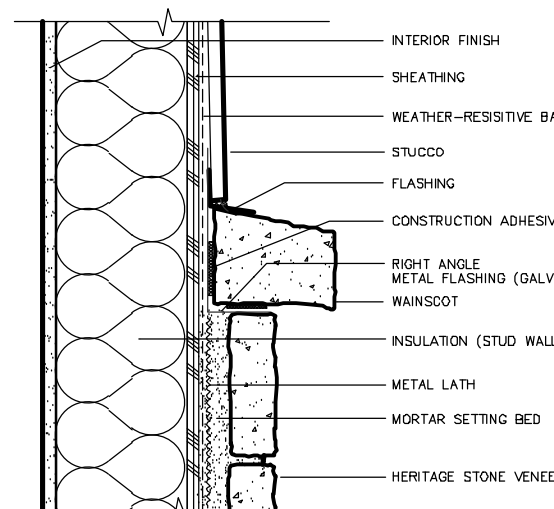
ARCHITECTURAL THEME:
Spanish Pale stucco, arched entries and square window with wood shutters , and tile roofs with overhanging eaves with different roof shapes



DETAIL - 2

EXTERIOR MATERIALS COLOR SCHEDULE:

SYMBOL	DESCRIPTION	COLOR
1	STUCCO FLAT SMOOTH FINISHES: LA HABRA	OFF WHITE (BASE 100)
2	ROOFING HEAVY WEIGHT TILE	HEAVY WEIGHT TILE BY: US TILE MONARCH TILE
3	ROOF FASCIA	ROASTED SEPIA (R00B-2C) BY: VALSPAR OR EQUIVALENT (DARK BROWN FINISH)
4	STONE VENEER	HERITAGE (ESR-2826) BY: "STONECRAFT INDUSTRIES"



DETAIL - 3

NOTE:

PROVIDE 44" MAX. SILL HGT. ABOVE FINISH FLOOR FOR EMERGENCY EXIT ON ALL BEDROOM WINDOWS.

ROOFING:

HEAVY WEIGHT TILE BY:
US TILE
ICC ESR-1017
#15 FELT USE GALV. ROOFING
NAILS (FIRE RETARDANT)
MAX. WEIGHT SHALL BE 12 PSF

INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ALL DOORS, WINDOWS, TRIMS, AND ARCHITECTURAL FEATURES ON ALL UNITS SHALL MATCH IN STYLE, MATERIAL AND COLOR

NOTE: "ROOF" ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY "1504 MINIMUM CLASS "C" REQUIRED BY STATE LAW.

ATTIC VENTILATION:

ATTIC AREA 847 S.F.
847 / 150 = 5.77 S.F. REQUIRED
DECORATIVE VENTS BY: "O" HAGINS, INC."
EACH VENT = 97.50 SQ. IN. OR 97.50 / 144 = 0.67 SQ. FT. EACH
(9) TOTAL DECORATIVE VENTS PROVIDED = 6.03 SQ. FT. TOTAL

NOTES:

"INSPECTION OF NAILING REQUIRED FOR DRYWALL AND ALL LATH WHEN IN PLACE CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SPACING SHALL BE 3/8 INCH MAXIMUM. TWO LAYERS OF GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD WOOD BASE SHEATHING.

NOTES:

PORCHES MUST HAVE A MINIMUM CLEAR HEIGHT OF 7'-0" FOR REQUIRED LIGHT AND VENTILATION LATH, PLASTER AND DRYWALL TO CONFORM TO THE REQUIREMENTS OF CBC CHAPTER 25.

NOTE:

PROVIDE TWO LAYERS OF GRADE "D" PAPER AS THE WEATHER-RESISTIVE BARRIER FOR PORTLAND CEMENT PLASTER (STUCCO) WHEN APPLIED OVER WOOD SHEATHING (SUCH AS PLYWOOD).

NOTE:

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306) ANTI-GRAFFITI FINISH LARR# 25142 T

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12/27/2022	C.L.
6/6/2023	C.L.

Plans drawn by:



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Project:

**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:

**FLOOR PLANS
PLAN - B**

Project for:

SALVADOR POLINA

Project:

Address:

**7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280**

Checked G.P.

Job no. ----

Drawn J.P.M

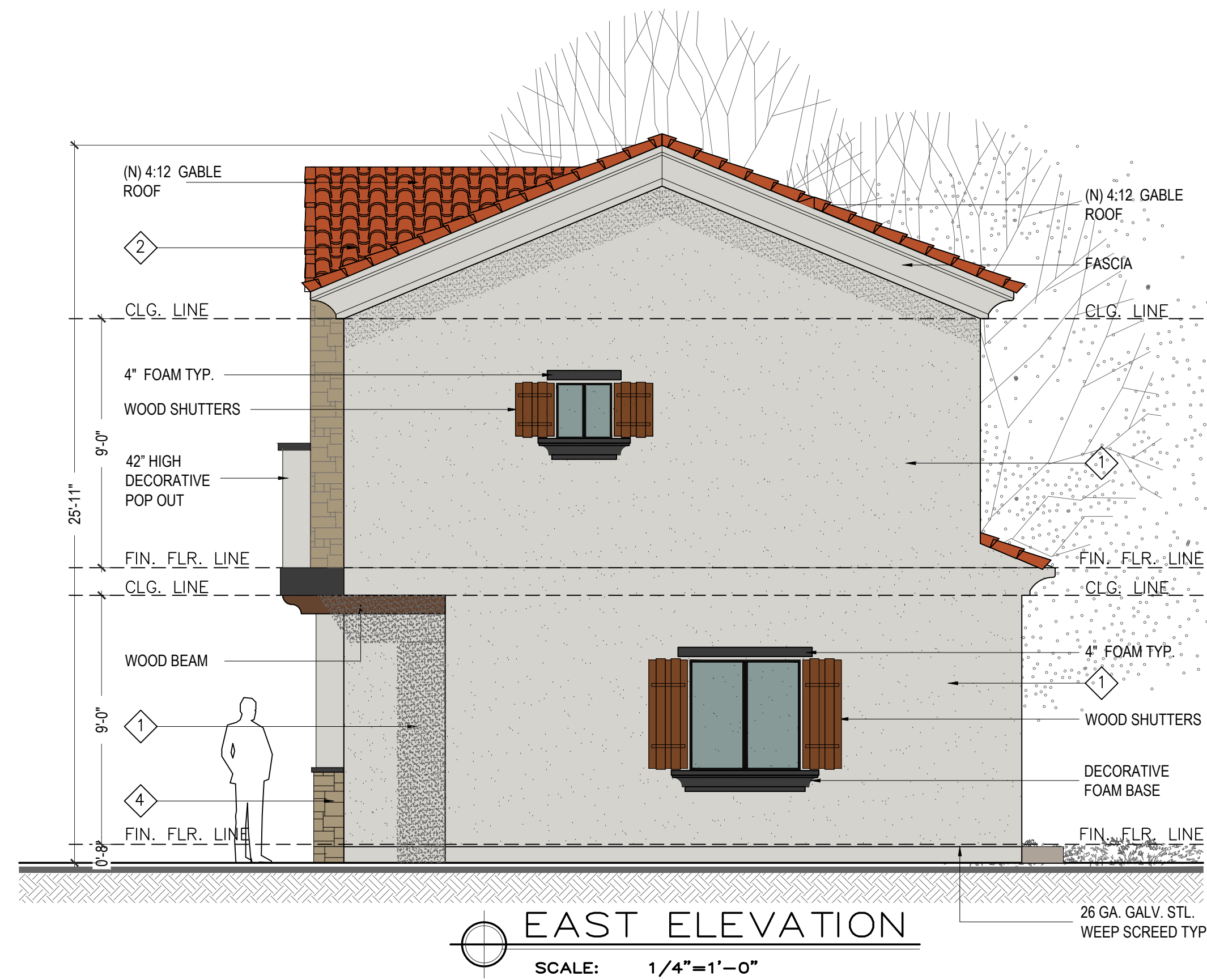
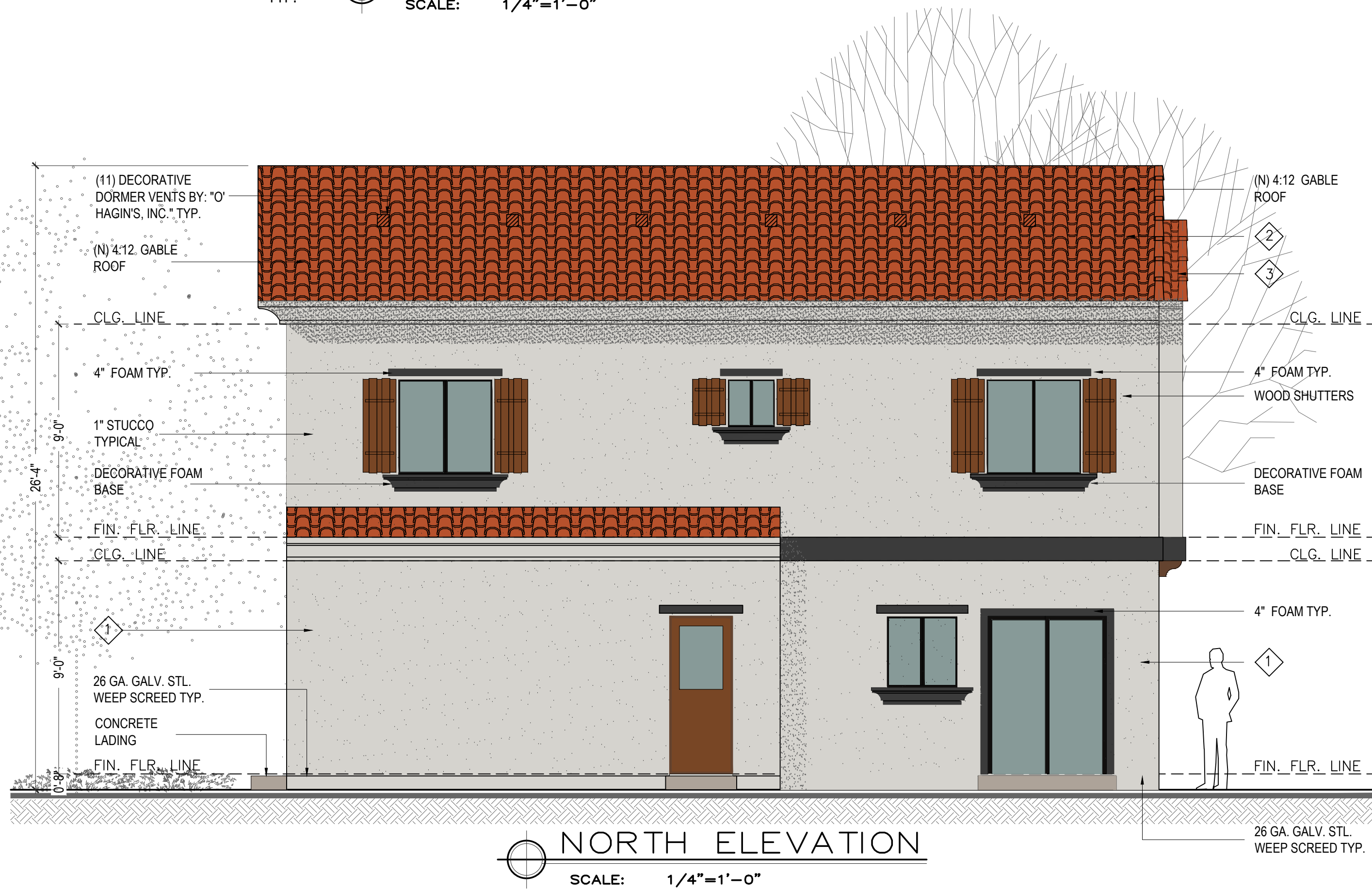
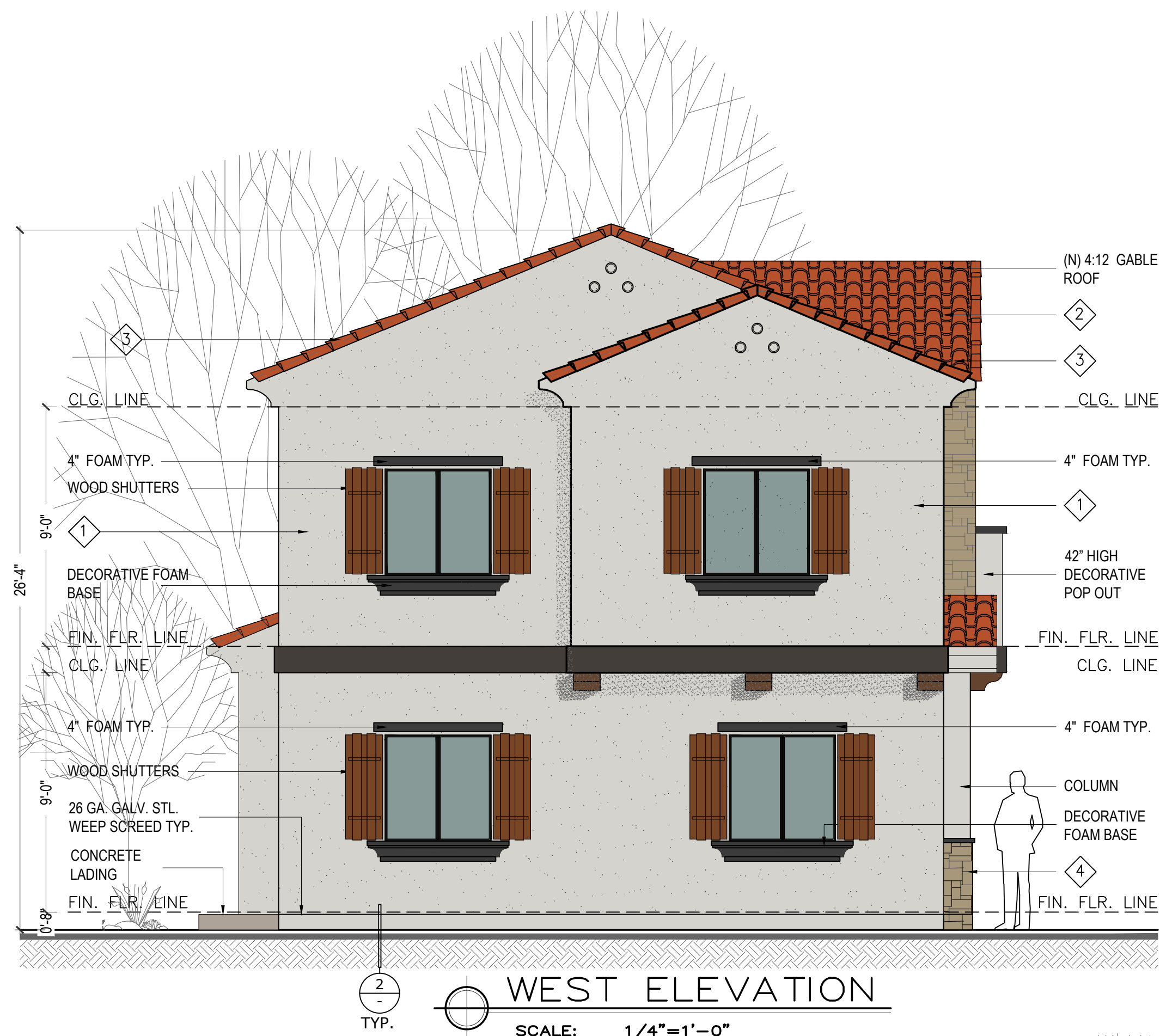
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OF

SHEETS



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Project:

**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:

**COLORED
ELEVATIONS
PLAN -B**

Project for:

SALVADOR POLINA

Project:

Address:

**7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280**

Checked G.P.

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Drawn J.P.M

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SHEET:

5

OF SHEETS

NOTES:

AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL- BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.6). BUILDINGS SHALL HAVE APPROVED ADDRES NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)

PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD, OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

EVSE NOTES:

- A MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.

- "THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE."

- "THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERTCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE."

ENERGY REQUIREMENTS:

SHADING DEVICES: EXTERIOR : BUG SCREEN INTERIOR: DRAPPERY STANDARD FRAME METAL TYPE DOUBLE GLASS U-VALUE = 0.34 MAX. SHGC = 0.21 MAX.	INSULATION: CEILING = R-30 WALL = R-13 SLAB = R-0	F.A.U. CENTRAL FURNACE GAS CARRIER MODEL = 68C07512MUB11 HEATING CAP = 48,000 B.T.U. /HR. COOLING CAP = 48,000 B.T.U. /HR. WATER HTR: TANKLESS WATER HEATER BY: RHEEM
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Electrical Legend

Ⓜ	ELECTRICAL RECEPTACLE AFCI (TYP.)
Ⓜ	PAMPER RESISTANT
Ⓜ	GROUND FAULT RECEPTACLE
Ⓜ	SWITCHES
Ⓜ	SWITCHES WITH DIMMER
Ⓜ	FLUORESCENT HIGH EFFICACY FUTURE
Ⓜ	LIGHTING FIXTURES
Ⓜ	EXHAUST FAN W/ 50 CFM MIN. TO OUTSIDE MUST BE "ENERGY STAR" W/ HUMIDISTAT READILY ACCESSIBLE
Ⓜ	HARDWIRED SMOKE DETECTOR
Ⓜ	HARD-WIRED MONOXIDE ALARM INTERCONNECTED WITH BATTERY BACKUP
Ⓜ	LIGHTING W/ MOTION SENSOR ON AND PHOTO-CONTROLLED SENSOR OFF

WALL LEGEND

	2X4 OR 2X6 STUD WALLS
	1-HOUR FIRE RATED PARTITION
	TYP WINDOW

FLOOR AREA PLAN-C :

First Floor:	453 s.f.
Second Floor:	963 s.f.
New Floor Area:	1,416 s.f.

2-Car Garage:	400 s.f.
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Roof plan Key Notes:

- DECORATIVE DORMER VENTS
- (1) TANKLESS WATER HEATER LOCATION
- PLUMBING ROUTE FROM SOLAR PANEL TO WH
- (1) 200 AMP ELECTRICAL PANEL LOCATION
- ELECTRICAL LINE ROUTE FROM INVERTER TO ELEC.
- LOCATION OF INVERTERS AND METERING EQUIPMENT PLUMBING
- TERMINATION OF 1" CONDUIT FOR INSTALLATION OF ELECTRICAL SOLAR PANELS
- MIN. 250 S.F. CONTIGUOUS UNOBSTRUCTED AREA ON ROOF FOR INSTALLATION OF ELECTRICAL SOLAR PANELS
- EAVES PROJECTION

NOTE:

THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A SOLARE ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".

NOTE:

THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT SOLAR ZONE SHALL BE ORIENTED BETWEEN 110° AND 270° OF THE TRUE NORTH

ROOF PLAN-UNIT #4

SCALE: 1/8"=1'-0"

SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

PLAN - C

Floor Plan Key Notes:

- PROVIDE A 12" SQ. (MINIMUM) ACCESS PANEL TO BATHTUB TRAP CONNECTION EXCEPT WHERE CONCEALED FIXTURE CONNECTIONS ARE MADE WITHOUT SLIP JOINTS. DOOR TO BE TIGHTFITTING AND GASKETED.
- PROVIDE A WATER SAVING LOW FLUSH WATER CLOSET. IN NEW BUILDING PROVIDE WATER CLOSET THAT USE A MAXIMUM OF 1.6 GALLONS PER FLUSH.
- 4" Ø MIN. DRYER VENT UP TO FLR. JSTS. & TO OUTSIDE AIR W/ BACK-DRAFT DAMPER EXHAUST DUCT LENGTH IS LIMITED TO 14 FT. W/ 2 ELBOWS TWO FEET SHALL BE DECREASED FOR EACH 90 DEGREES ELBOW IN EXCESS OF TWO.
- HOSE BIBB WITH BACKFLOW PREVENTER
- 5/8" TYPE "X" GYP. BRD. CLG. WALLS, POSTS, BEAMS ETC. THROUGH-OUT FOR 1-HR. FIRE CONSTRUCTION
- HARDWIRED WITH BATTERY OPERATED SMOKE DETECTORS W/ BATTERY BACK-UP TYP.
- FIBERGLASS TUB W/ SHOWER SHATTER PROOF ENCLOSURE 72" HIGH W.P. GREEN BRD. 3-WALLS
- 30" HIGH TILE COUNTERTOP WITH LAVATORY.
- 30" X 30" ATTIC/HVAC ACCESS TO BE A TIGHTFITTING, SELF CLOSING & GASKETED DOOR.
- 42" STOVE W/ HOOD OVER W/ CLR. ABOVE STOVE
- 32" X 21" S. STL. SINK W/ GARBAGE DISPOSAL ON A SEPARATE CIRCUIT.
- EXHAUST FAN W/ 50 CFM MIN. TO OUTSIDE MUST BE "ENERGY STAR" W/ HUMIDISTAT READILY ACCESSIBLE

Floor Plan Notes:

SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS 907.2.10.5:

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SYM.	SIZE	REMARKS
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B	2'-8" X 6'-8" X 1 3/8"	HOLLOW CORE
C	2'-8" X 6'-8" X 1 3/8"	SOLID CORE 50 MIN. FIRE-RATED SELF CLOSING DOOR
D	5'-0" X 6'-8"	SLIDING WOOD DOORS (DBL. DRS.)
E	6'-0" X 6'-8"	SLIDING WOOD DOORS (DBL. DRS.)
F	7'-0" X 6'-8"	SLIDING WOOD DOORS (DBL. DRS.)
G	6'-0" X 6'-8"	SLIDING GLASS DOORS TEMPERED GLASS
H	5'-4" X 6'-8" X 1 3/8"	HOLLOW CORE (DBL. DRS.)
I	2'-6" X 6'-8"	BI FOLDING W/ LOUVERS
J	16'-0" X 7'-0"	GARAGE DOOR

Window Schedule:

U. VALUE = .28
SHGC = .17

SYM.	5'-0" X 6'-8" SIZE	SLIDING WOOD DOORS (DBL. DRS.)
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3	4'-0" X 3'-0"	VINYL SLID. WINDOW

REVISIONS

BY

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DOWNEY, CA 90240
(562) 928-5467

email: gpfoxdesign@verizon.net

GENERAL NOTES

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- FINISH ELEVATIONS REFERENCED ON THE DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.
- WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

Project:

**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:

**FLOOR PLANS
PLAN C**

Project for:

SALVADOR POLINA

Project:

Address:

**7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280**

Checked G.P.

Job no. ----

Drawn J.P.M

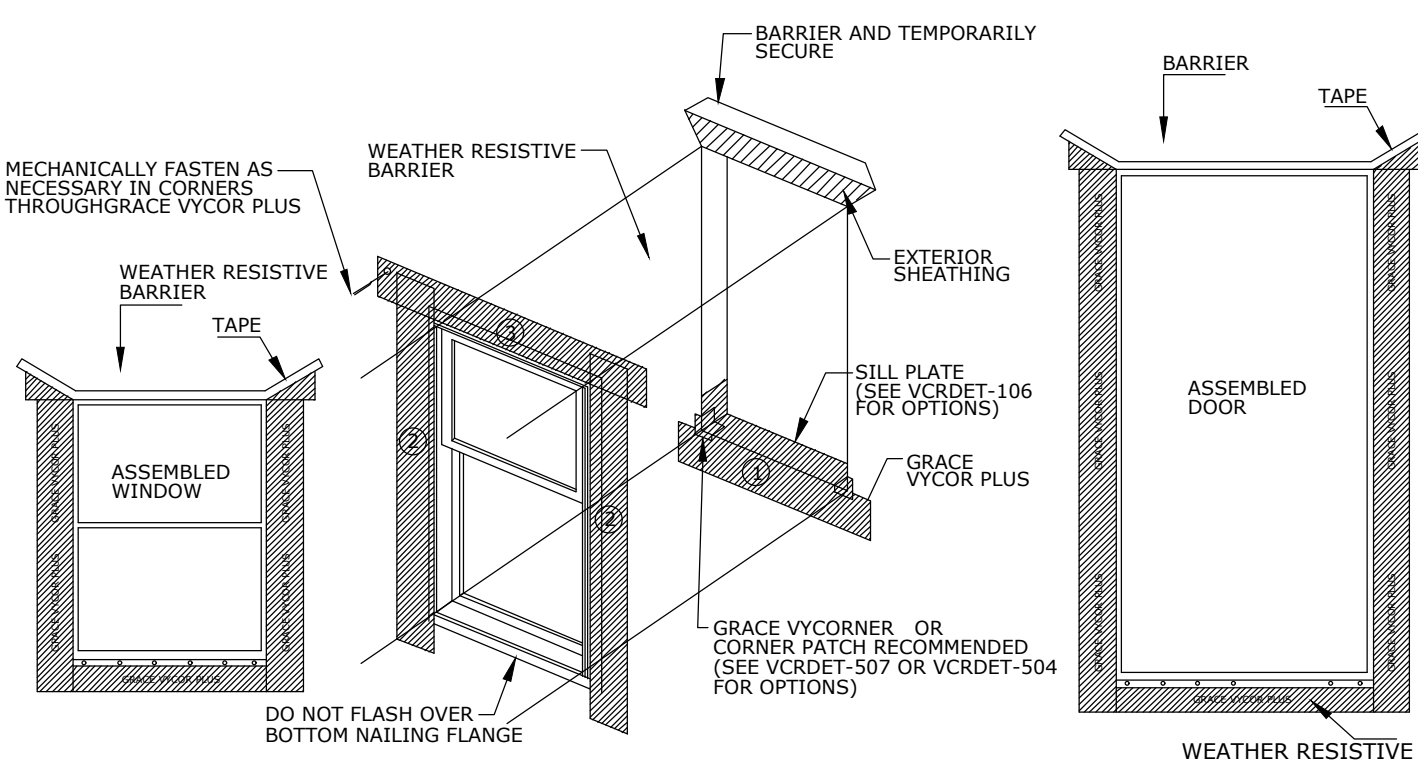
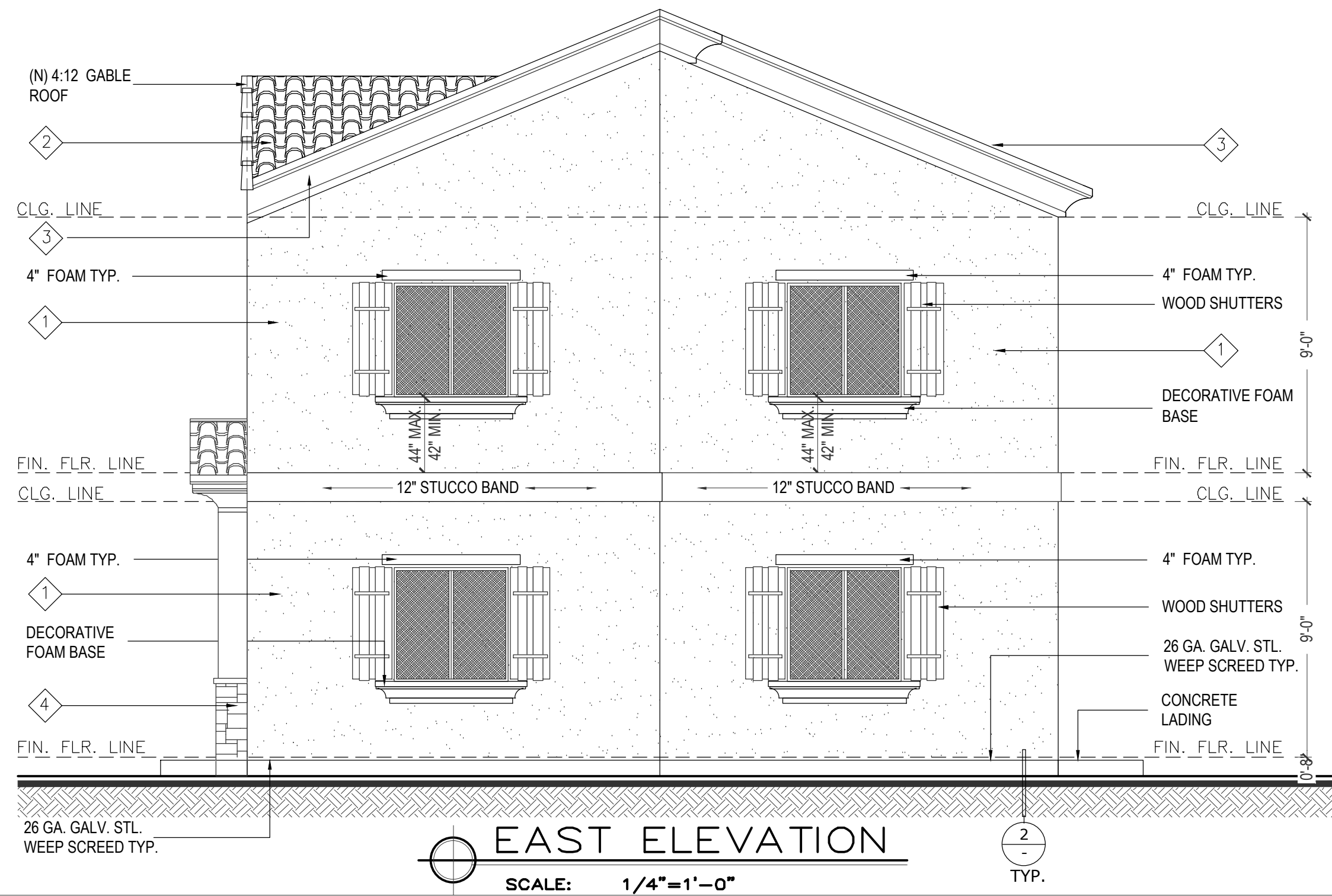
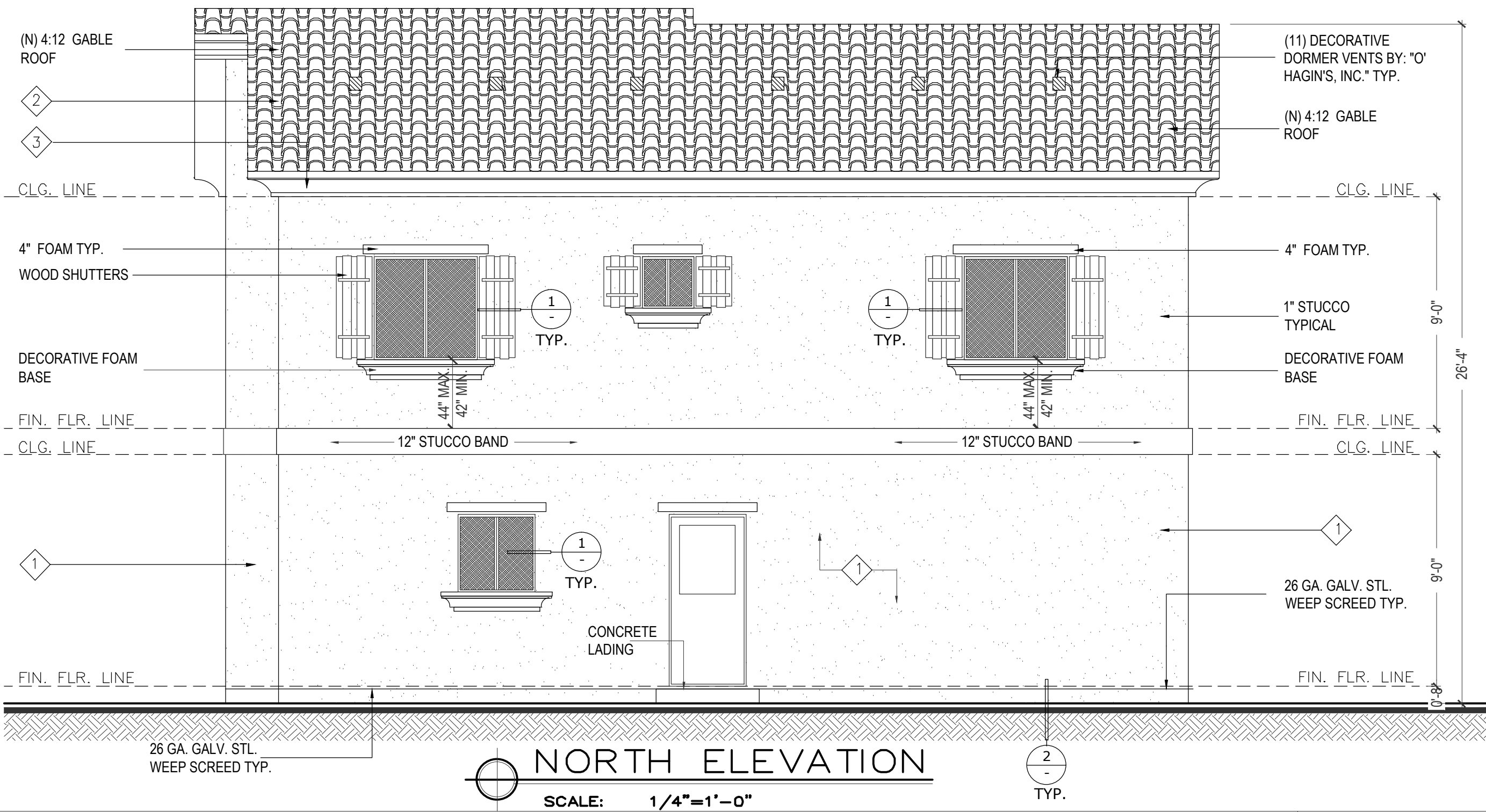
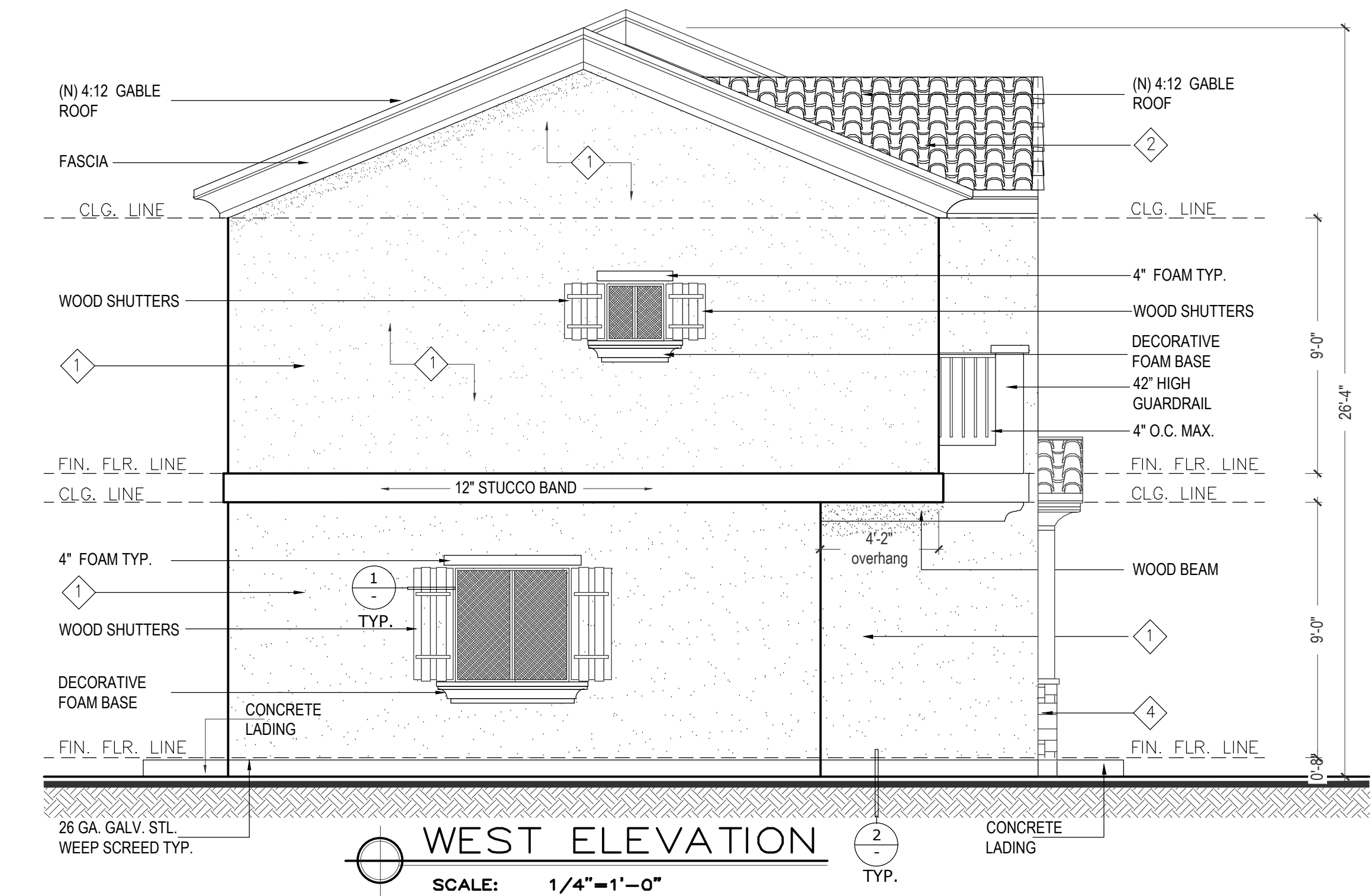
Date 12/19/2022

SHEET:

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OF

SHEETS



WINDOWS DETAIL

DOORS DETAIL

TYPICAL WINDOWS & DOORS FLASHING DETAIL - 1

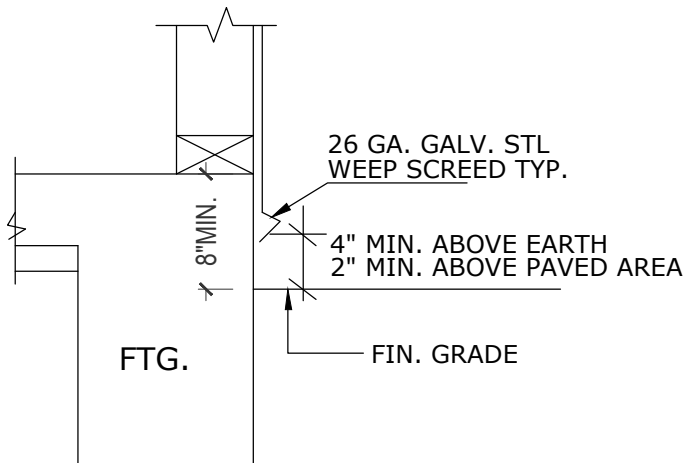
- NOTES:**
- VCDET GRACE CONSTRUCTION CDM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS.
 - RIVORDS CAN BE REMOVED FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION.
 - REMOVE WEATHER RESISTIVE BARRIER FROM TOP OF WINDOW SILL PLATE.
 - INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS.
 - INSTALL GRACE VYCOR PLUS AND WEATHER RESISTIVE BARRIER TO FORM WATER SHEDDING LAP.
 - DETAIL ALSO RELVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

- HEAD FLASHING TIE-IN INSTRUCTIONS:**
- CUT, FOLD UP AND TEMPORARILY SECURE WEATHER RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR FLASHING INSTALLATION.
 - INSTALL GRAVE VYCOR PLUS HEAD FLASHING UNDER WEATHER RESISTIVE BARRIER ALONG HEADER.
 - FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH TAPE AS SHOWN ABOVE.

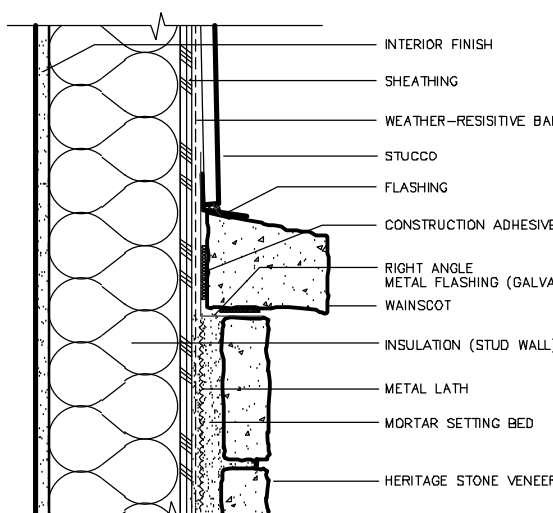
NOTES:
For roof slopes from 2:12 up to 4:12 for asphalt shingles underlayment shall be 2 layers of 15# felt laid with 19" overlap-per CBC sect. 1507.2.

Use 2 layers of Grade D paper barrier for stucco applied over wood-based sheathing-CBC Sect. 2510.6

ARCHITECTURAL THEME:
Spanish Pale stucco, arched entries and square window with wood shutters, and tile roofs with overhanging eaves with different roof shapes



DETAIL - 2



DETAIL - 3

EXTERIOR MATERIALS COLOR SCHEDULE:

SYMBOL	DESCRIPTION	COLOR
1	STUCCO FLAT SMOOTH FINISHES: LA HABRA	OFF WHITE (BASE 100)
2	ROOFING HEAVY WEIGHT TILE	HEAVY WEIGHT TILE BY: US TILE MONARCH TILE
3	ROOF FASCIA	ROASTED SEPIA (R00B-2C) BY: VALSPAR OR EQUIVALENT (DARK BROWN FINISH)
4	STONE VENEER	HERITAGE (ESR-2826) BY: "STONECRAFT INDUSTRIES"

NOTE:

PROVIDE 44" MAX. SILL HGT. ABOVE FINISH FLOOR FOR EMERGENCY EXIT ON ALL BEDROOM WINDOWS.

ROOFING:

HEAVY WEIGHT TILE BY: US TILE ICC ESR-1017 #15 FELT USE GALV. ROOFING NAILS (FIRE RETARDANT) MAX. WEIGHT SHALL BE 12 PSF

INSTALLATION SHALL BE INACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ALL DOORS, WINDOWS, TRIMS, AND ARCHITECTURAL FEATURES ON ALL UNITS SHALL MATCH IN STYLE, MATERIAL AND COLOR


NOTE: "ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY * 1504 MINIMUM CLASS "C" REQUIRED BY STATE LAW.

NOTES:

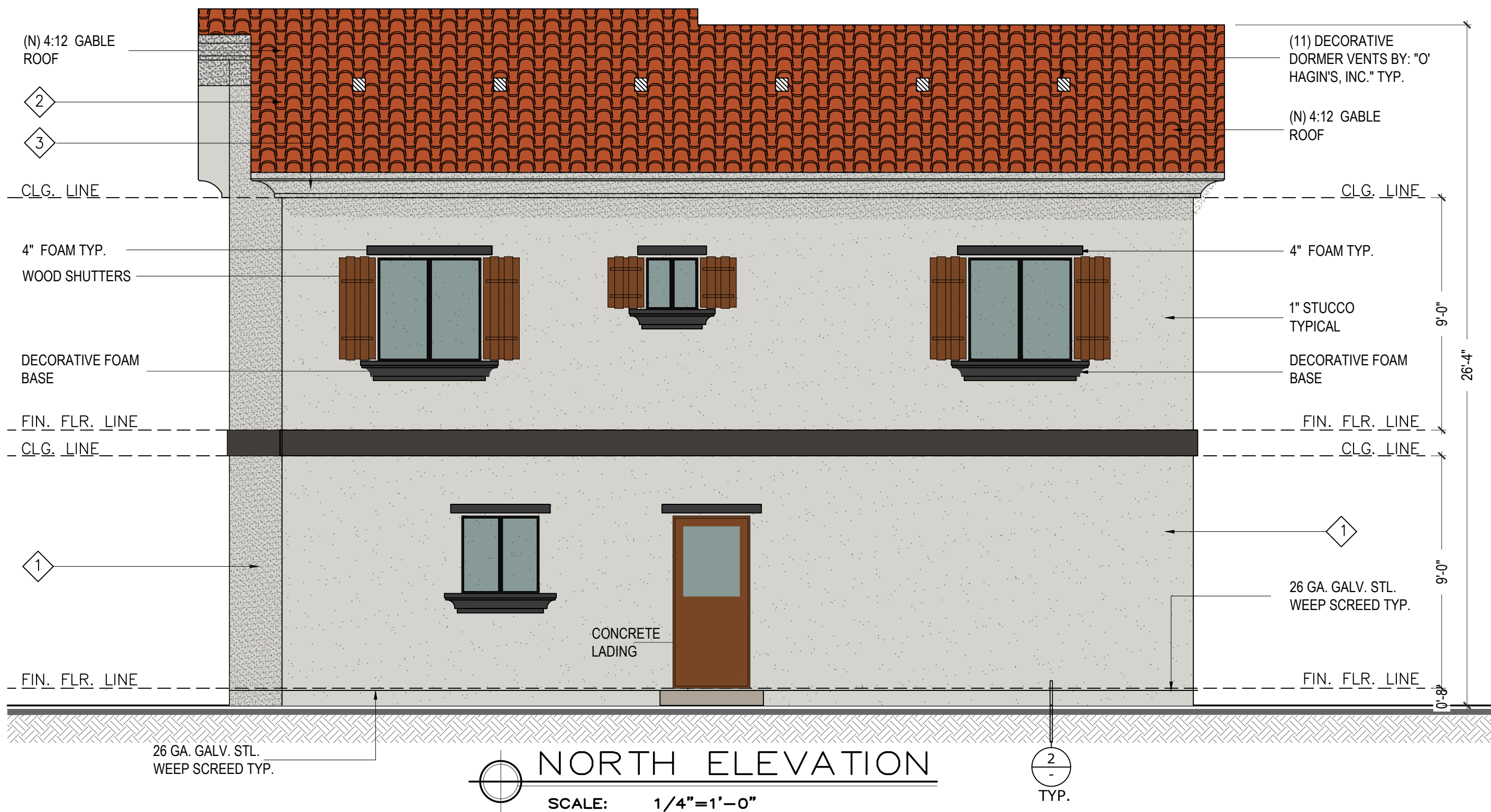
"INSPECTION OF NAILING REQUIRED FOR DRYWALL AND ALL LATH WHEN IN PLACE CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SPACING SHALL BE 3/8 INCH MAXIMUM. TWO LAYERS OF GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD WOOD BASE SHEATHING.

NOTE:

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306) ANTI-GRAFFITI FINISH LARR# 25142 T

REVISIONS	BY
12/27/2022	C.L.
Plans drawn by:	
 G.P. FOX DRAFTING INC. RESIDENTIAL DRAFTING 8050 E. FLORENCE AVE., SUITE 27 DOWNEY, CA 90240 (562) 928-5467 email: gpfoxdesign@verizon.net	
GENERAL NOTES	
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3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.	
Project:	
PROPOSED (4) 2-STORY UNITS	
Sheet Title:	
FLOOR PLANS PLAN - C	
Project for:	
SALVADOR POLINA	
Project:	
Address:	
7040 NEWELL ST HUNTINGTON PARK, CA. 90280	
Checked	
G.P.	
Job no.	

Drawn	
J.P.M	
Date	
12/19/2022	
SHEET:	
7	
OF	
SHEETS	



EXTERIOR MATERIALS COLOR SCHEDULE:		
SYMBOL	DESCRIPTION	COLOR
1	STUCCO FLAT SMOOTH FINISHBY: LA HABRA	OFF WHITE (BASE 100)
2	ROOFING HEAVY WEIGHT TILE	HEAVY WEIGHT TILE BY: US TILE MONARCH TILE
3	ROOF FASCIA	ROASTED SEPIA (6006-2C) BY: VALSPAR OR EQUIVALENT (DARK BROWN FINISH)
4	STONE VENEER	HERITAGE (CSR-2926) BY: "STONECRAFT INDUSTRIES"

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12/27/2022	C.L.

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Project:

**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:

**COLORED
ELEVATIONS
PLAN -C**

Project for:

SALVADOR POLINA

Project:

Address:

**7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280**

Checked G.P.

Job no. ----

Drawn J.P.M

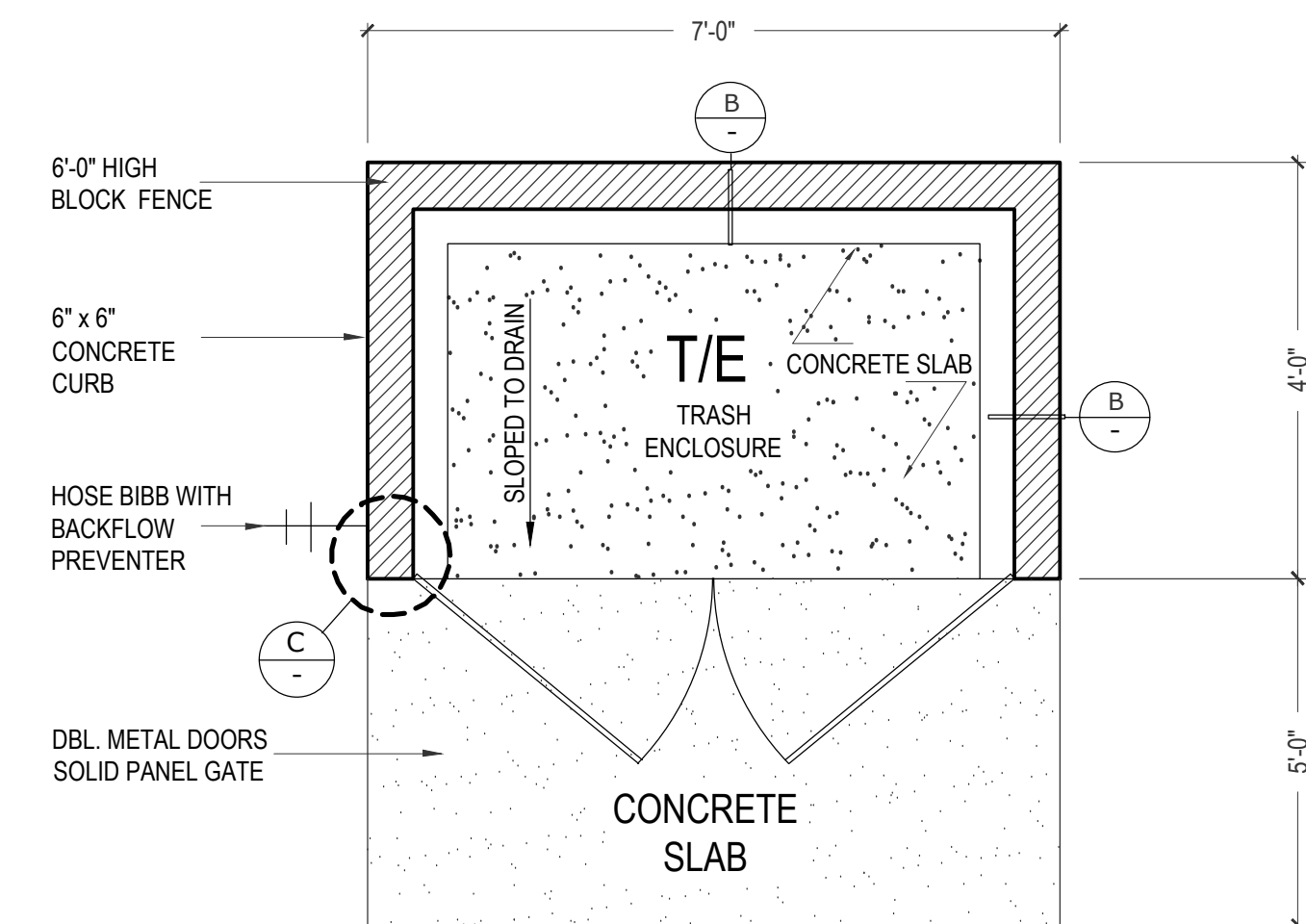
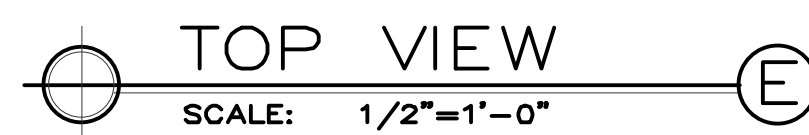
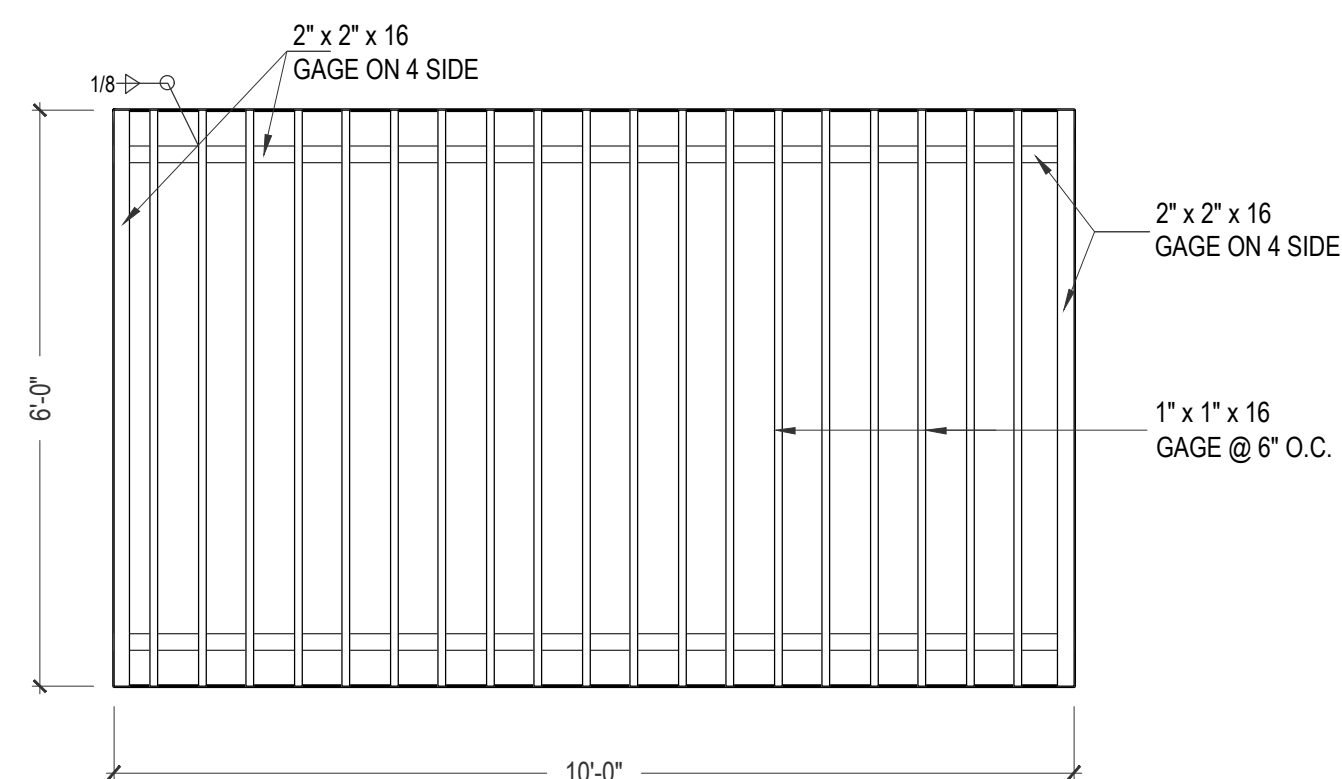
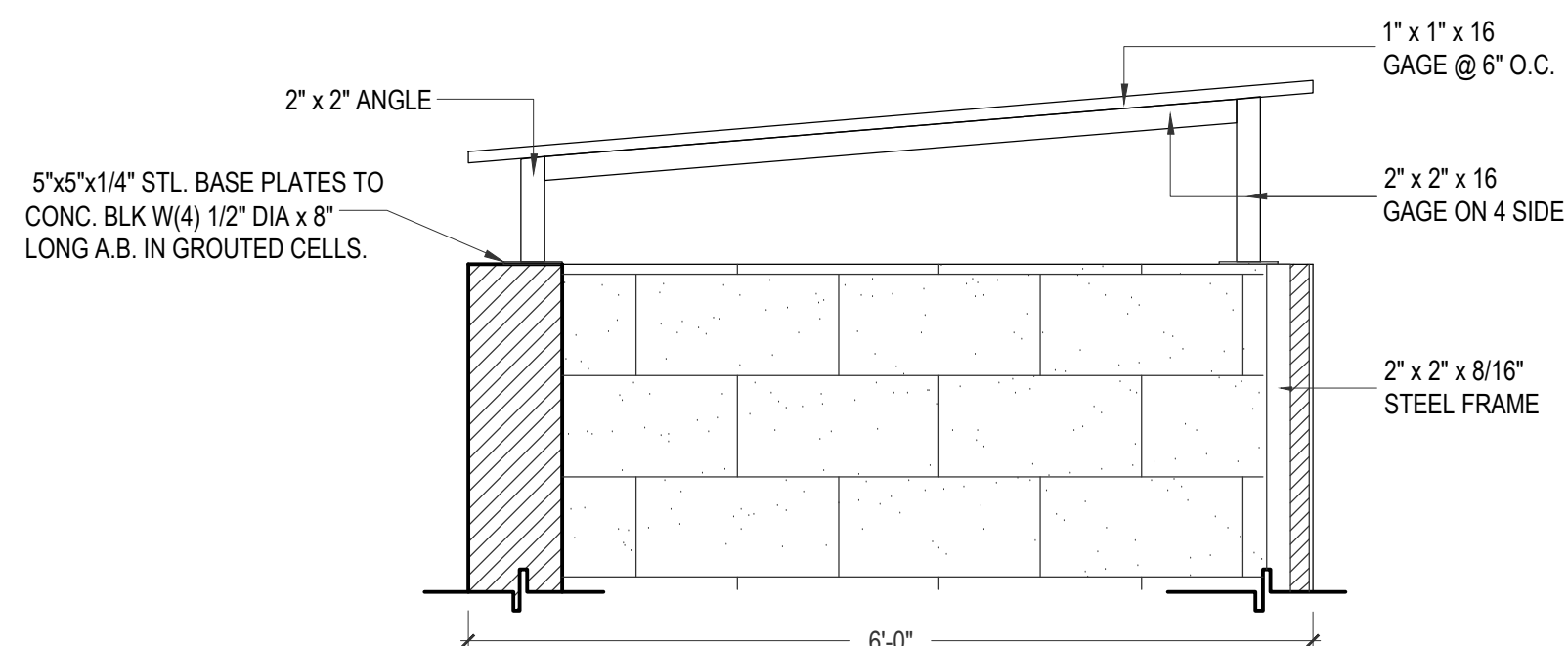
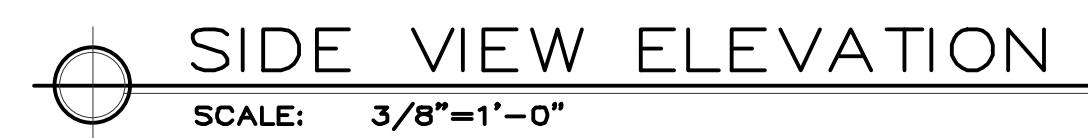
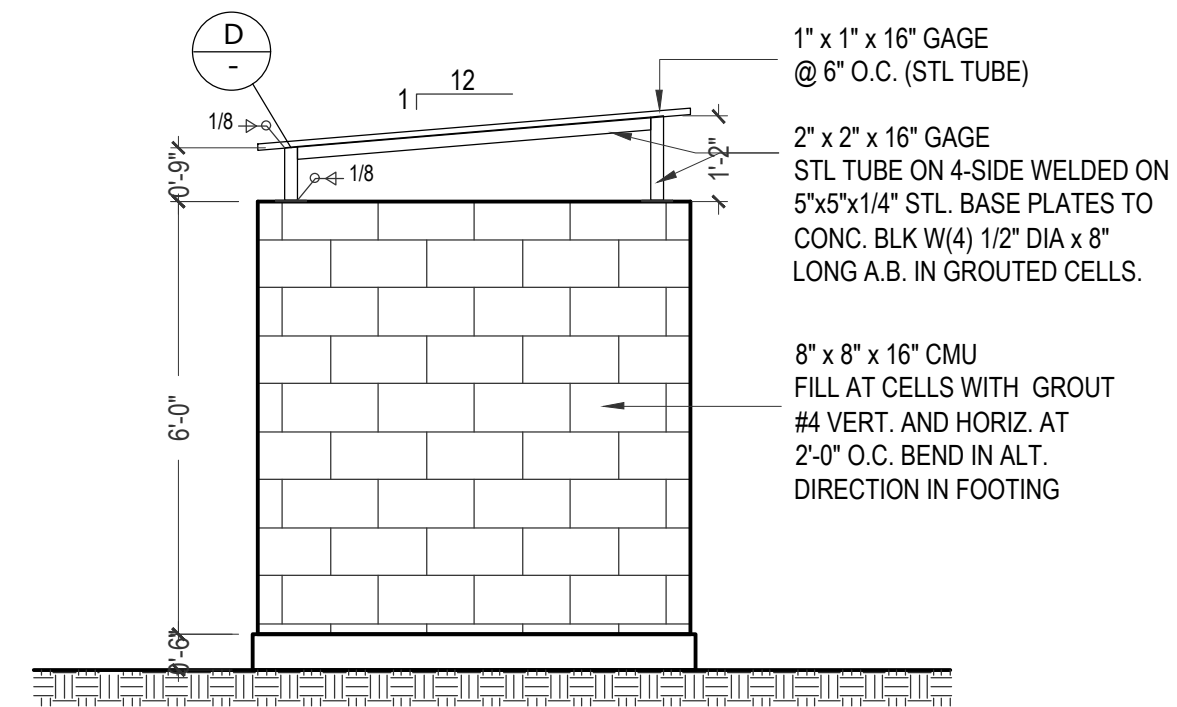
Date 12/19/2022

SHEET:

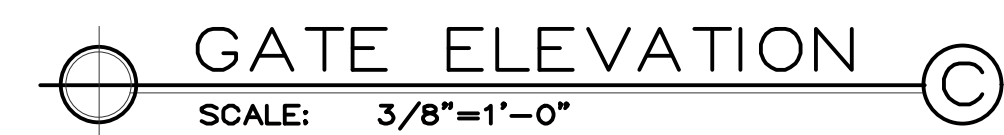
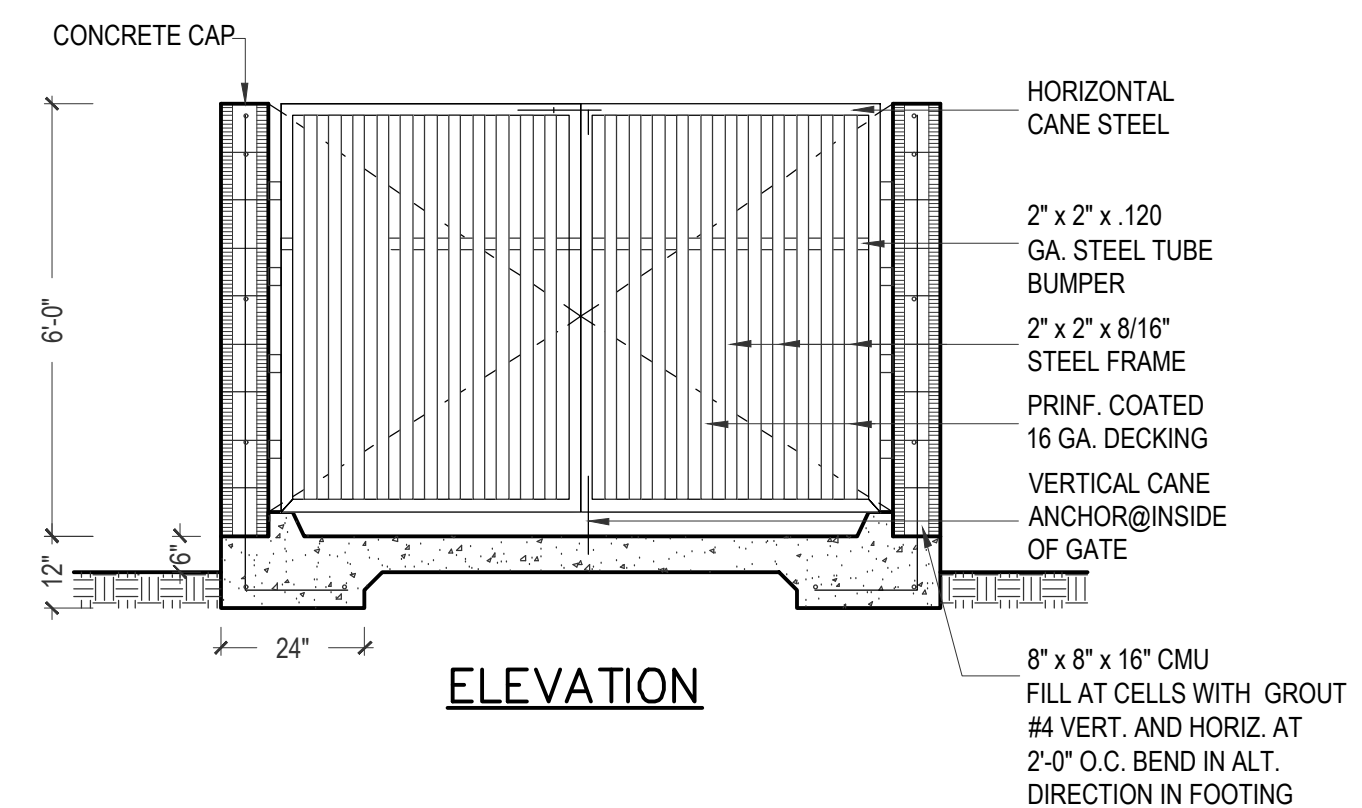
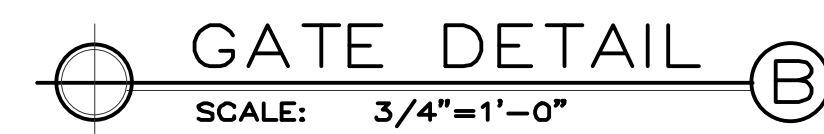
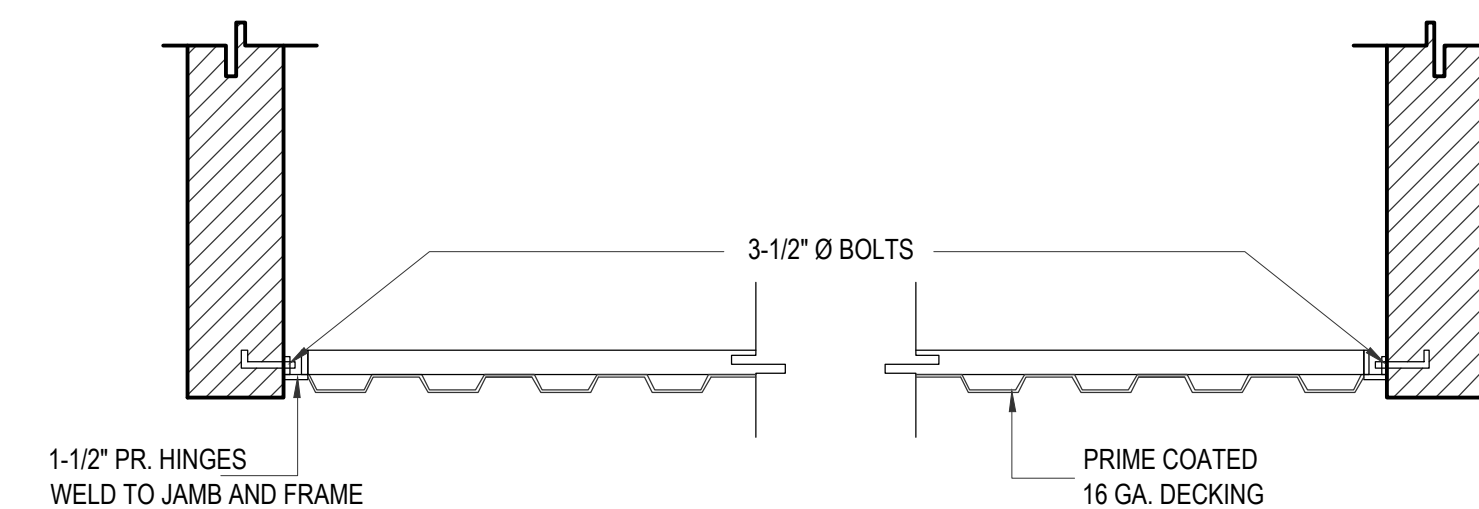
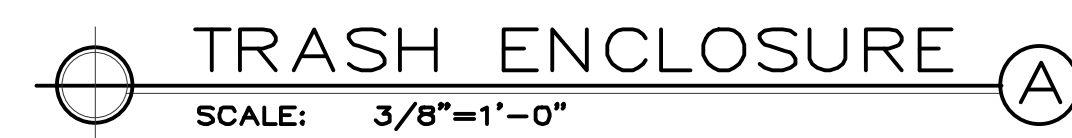
7

OF

SHEETS



FLOOR PLAN NOTE: TRASH ENCLOSURE IS TO BE
SCREENED FROM VIEW WHENEVER
POSSIBLE WITH HEAVY LANDSCAPING



REVISIONS	BY

Plans drawn by:



GUILLERMO PALAFOX
RESIDENTIAL DRAFTING
8050 E. FLORENCE AVE, SUITE.27
DOWNEY, CA 90240
(562) 928-5467
email: gpfoxdesign@verizon.net

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Project:

**PROPOSED
(4) 2-STORY UNITS**

Sheet Title:

TRASH ENCLOSURE

Project for:

SALVADOR POLINA

Project:

Address:

**7040 NEWELL ST
HUNTINGTON PARK,
CA. 90280**

Checked G.P.

Job no. -----

Drawn J.P.M

Date	12/19/2022
------	------------

SHEET:

8

OF SHEETS

TENTATIVE TRACT MAP NO. 84285

EXHIBIT F

CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)

OWNER/SUBDIVIDER:

SP HOMES COMPANY, LLC
12631 IMPERIAL HWY, STE B-204,
SANTA FE SPRINGS, CA 90670

MAP PREPARER:

CAL LAND ENGINEERING & ASSOCIATES, INC.
574 E. LAMBERT ROAD,
BREA, CA 92821

EASEMENTS:

EASEMENT FOR POLE LINE PURPOSES. SAID
EASEMENT IS NOT DISCLOSED IN A RECORDED
DEED BUT IN PRELIMINARY TITLE REPORT
ORDER NO. 305-2301486-01, DATED
06-30-2022. SAID EASEMENT CANNOT BE
LOCATED AND IS BLANKET IN NATURE.

SOURCE OF WATER:

CITY OF HUNTINGTON PARK

WATER MAIN AT NEWELL ST

SEWAGE DISPOSAL

BY GRAVITY TOWARDS SEWER MAIN AT NEWELL ST

PROJECT DATA

TOTAL AREA: 9,885.60 SF
DISTURBED AREA: 9,885.60 SF
ZONING: RH - HIGH DENSITY RESIDENTIAL
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

NUMBER OF UNITS: 4 (ALL 4 BEDS & 2.5 BATHS)

UNIT 1 - 1,353 SF
UNIT 2 - 1,331 SF
UNIT 3 - 1,331 SF
UNIT 4 - 1,416 SF

SURVEY NOTE

NEW SURVEY MONUMENTS (PROPERTY CORNERS, CENTERLINE TIES, ETC.) IN THE
PUBLIC RIGHT-OF-WAY SHALL BE ESTABLISHED IN ACCORDANCE WITH THE
SUBDIVISION MAP ACT. SURVEYOR OF RECORD SHALL COMPLETE THIS TASK
PRIOR TO FINAL SIGN OFF OF THE PROJECT. SURVEY MONUMENTATION
DOCUMENTS TO BE RECORDED WITH LOS ANGELES COUNTY. ALL DISTURBED AND
REMOVED SURVEY MONUMENTS IN THE PUBLIC RIGHT-OF-WAY SHALL BE
RE-ESTABLISHED AND RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY
SURVEYOR IN ACCORDANCE WITH APPLICABLE PROVISIONS OF THE STATE LAW.

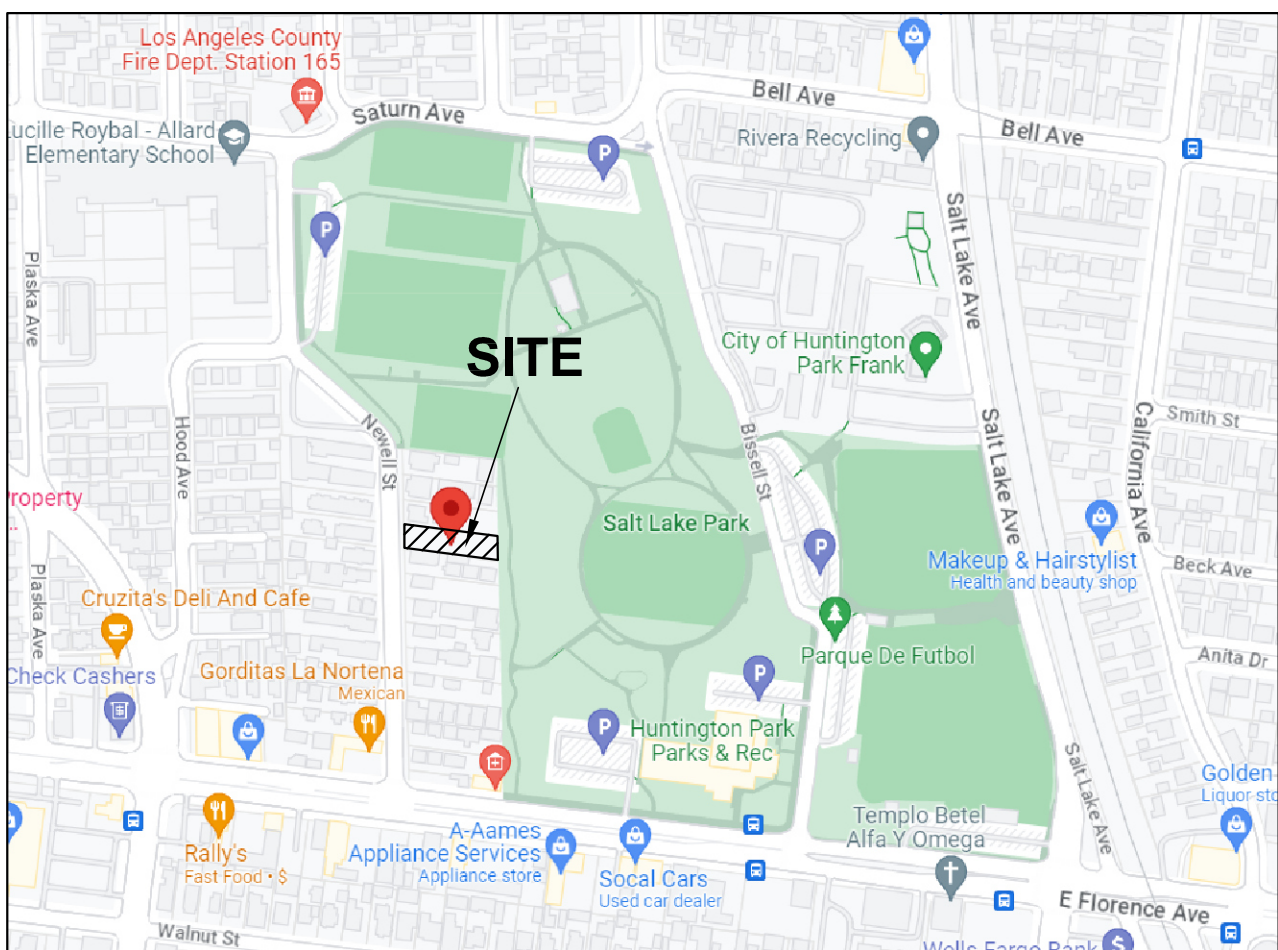
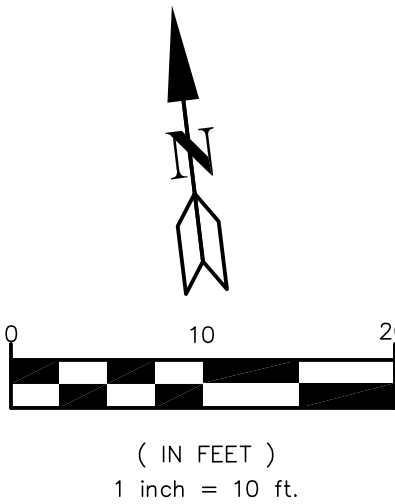
TENTATIVE TRACT MAP NO. 84285

IN THE CITY OF HUNTINGTON PARK, COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

LOT 18 OF TRACT NO. 2588, IN THE CITY OF HUNTINGTON PARK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED
IN BOOK 25 PAGE 55 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 6324-033-004

FOR CONDOMINIUM PURPOSES



VICINITY MAP

**CALLAND ENGINEERING
& ASSOCIATES, INC.**
574 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090



RELEASED

REVISIONS

REVISIONS

PROJECT LOCATION:
7040 NEWELL ST.,
HUNTINGTON PARK

DRAWN: RR

CHECKED:

DATE: 8-31-2023

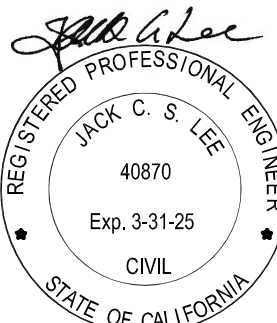
JOB NO.: 22-019-086

SCALE: 1"=10'

FILE NAME:

T-1

SHEET 1 OF 1



GRADING PLAN

EXHIBIT G

CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)

OWNER:
SP HOMES COMPANY, LLC
12631 IMPERIAL HWY, STE B-204,
SANTA FE SPRINGS, CA 90670

LEGAL DESCRIPTION:
LOT 18 OF TRACT NO. 2588, IN THE CITY OF
HUNTINGTON PARK, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA, AS PER MAP
RECORDED IN BOOK 25 PAGE 55 OF MAPS,
IN THE OFFICE OF THE COUNTY RECORDER
OF SAID COUNTY.

APN: 6324-033-004

BENCHMARK:
COUNTY B.M. NO. PY12043

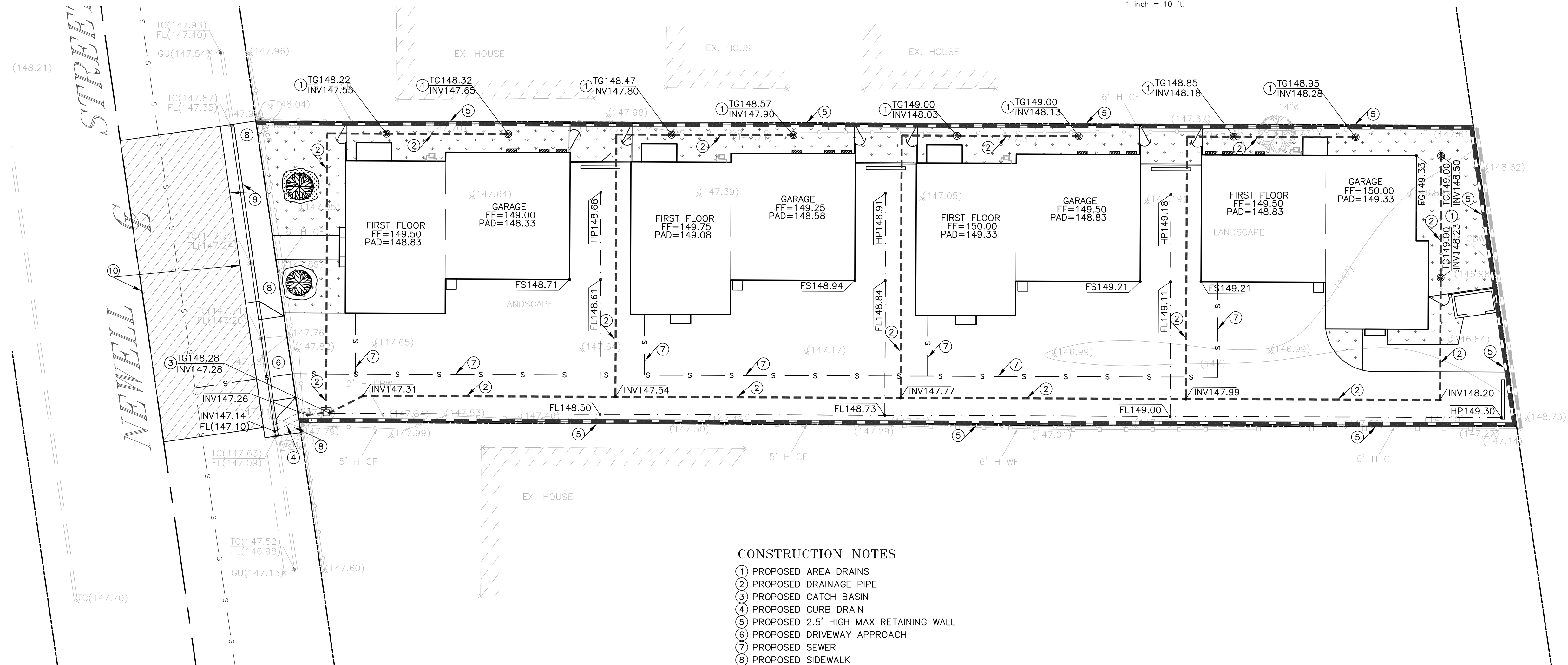
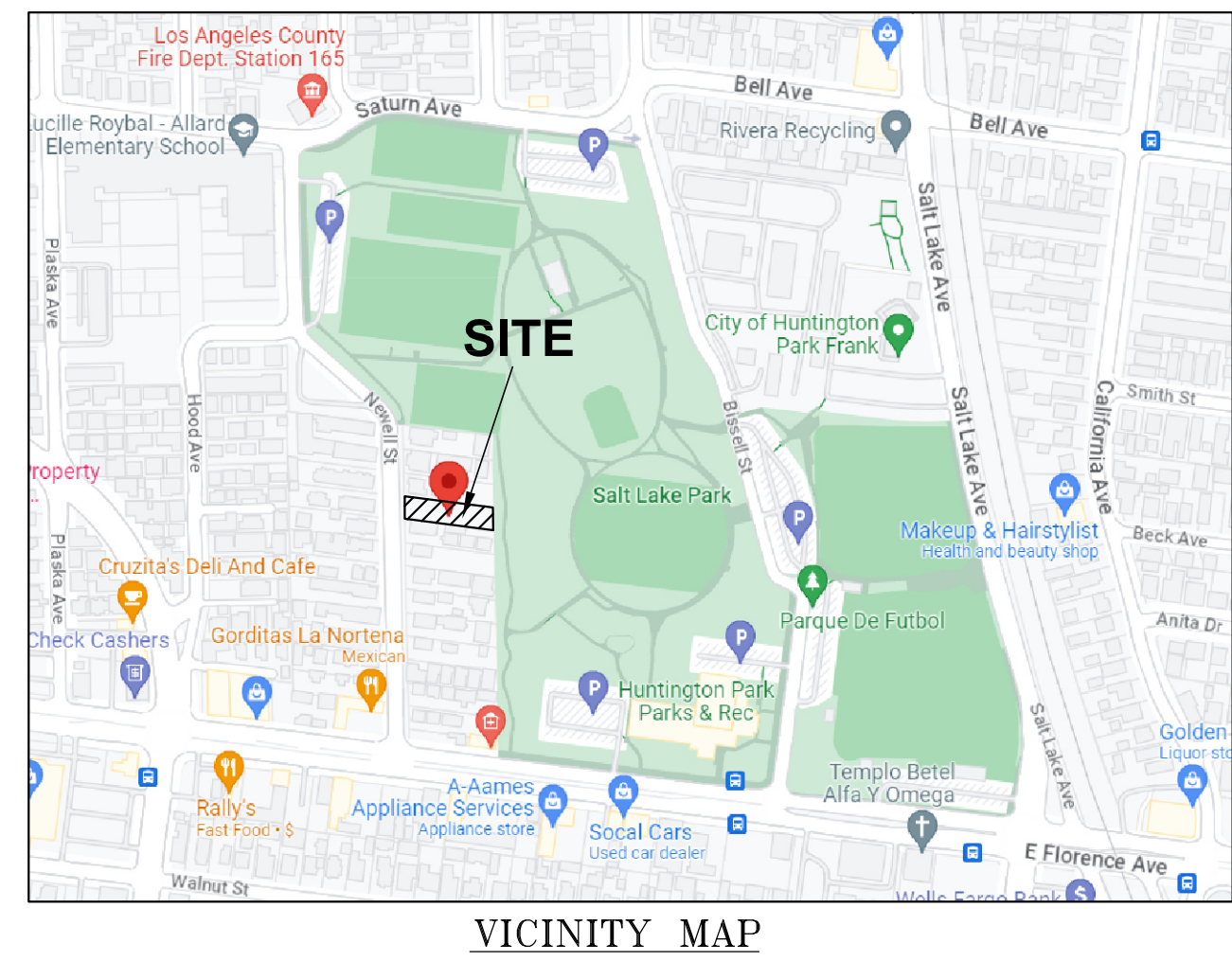
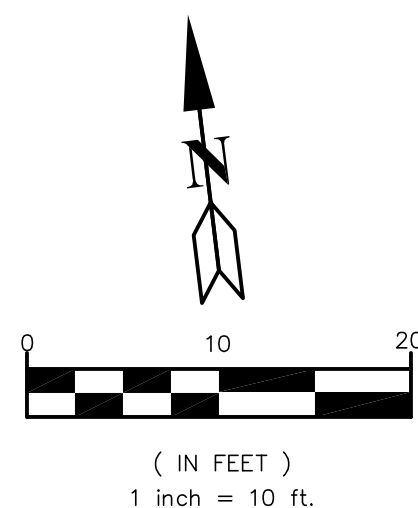
L&DPW TAG IN S CB 1FT W/O BCR @SW
COR FLORENCE AV & STATE ST

ELEVATION: 145.397' (NAVD 1988)

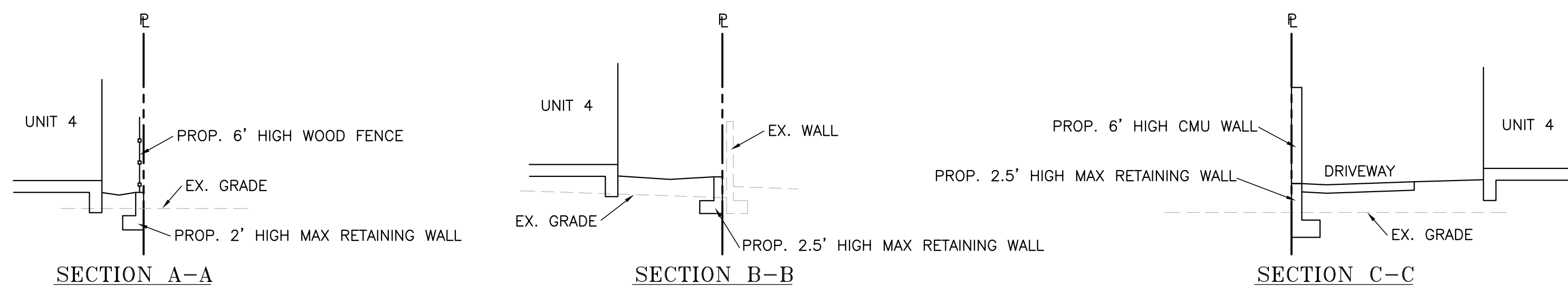
CONCEPTUAL GRADING PLAN

TENTATIVE TRACT MAP NO. 84285

EARTHWORK QUANTITIES:
CUT 0 CY
FILL 350 CY
IMPORT 350 CY



- CONSTRUCTION NOTES
- 1 PROPOSED AREA DRAINS
 - 2 PROPOSED DRAINAGE PIPE
 - 3 PROPOSED CATCH BASIN
 - 4 PROPOSED CURB DRAIN
 - 5 PROPOSED 2.5' HIGH MAX RETAINING WALL
 - 6 PROPOSED DRIVEWAY APPROACH
 - 7 PROPOSED SEWER
 - 8 PROPOSED SIDEWALK
 - 9 PROPOSED CURB AND GUTTER
 - 10 REPAVE AND RESTRIPE EXISTING AC PAVEMENT



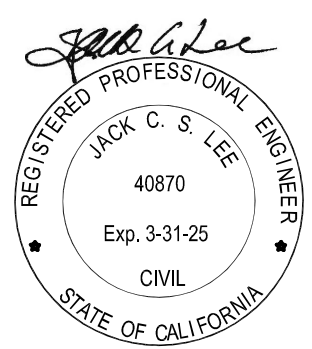
CALLAND ENGINEERING & ASSOCIATES, INC.
574 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090

RELEASED

REVISIONS

PROJECT LOCATION:
7040 NEWELL ST.,
HUNTINGTON PARK

DRAWN: RR
CHECKED:
DATE: 8-31-2023
JOB NO.: 22-019-086
SCALE: 1"=10'
FILE NAME:



C-1

LA COUNTY FIRE DEPARTMENT APPROVAL

EXHIBIT H

CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)



**COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION**

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4293, Fax (323) 890-9783

EPIC-LA NUMBER: FLDU2023001100

PROJECT NUMBER: Variance Application 2022-01 &
Development Permit Application 2022-01

CITY/COMMUNITY:

STATUS: Cleared

PROJECT ADDRESS: 7040 Newell Street
Huntington Park, CA 90255

DATE: 08/16/2023

CONDITIONS

1. Variance Application 2022-01 and Development Permit Application 2022-01, 7040 Newell Street, Huntington Park, CA 90255, has satisfied the County of Los Angeles Fire Department Fire Prevention Land Development Unit review.

For any questions regarding the report, please contact Nancy Rodeheffer at (323) 890-4243 or Nancy.Rodeheffer@fire.lacounty.gov.

PHOTOGRAPHS OF SUBJECT SITE

EXHIBIT I

CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)

7040 Newell St.
Huntington, Park
90255







7040 Newell St.
Neighboring homes with
multi units.





VICINITY MAP

EXHIBIT J CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)

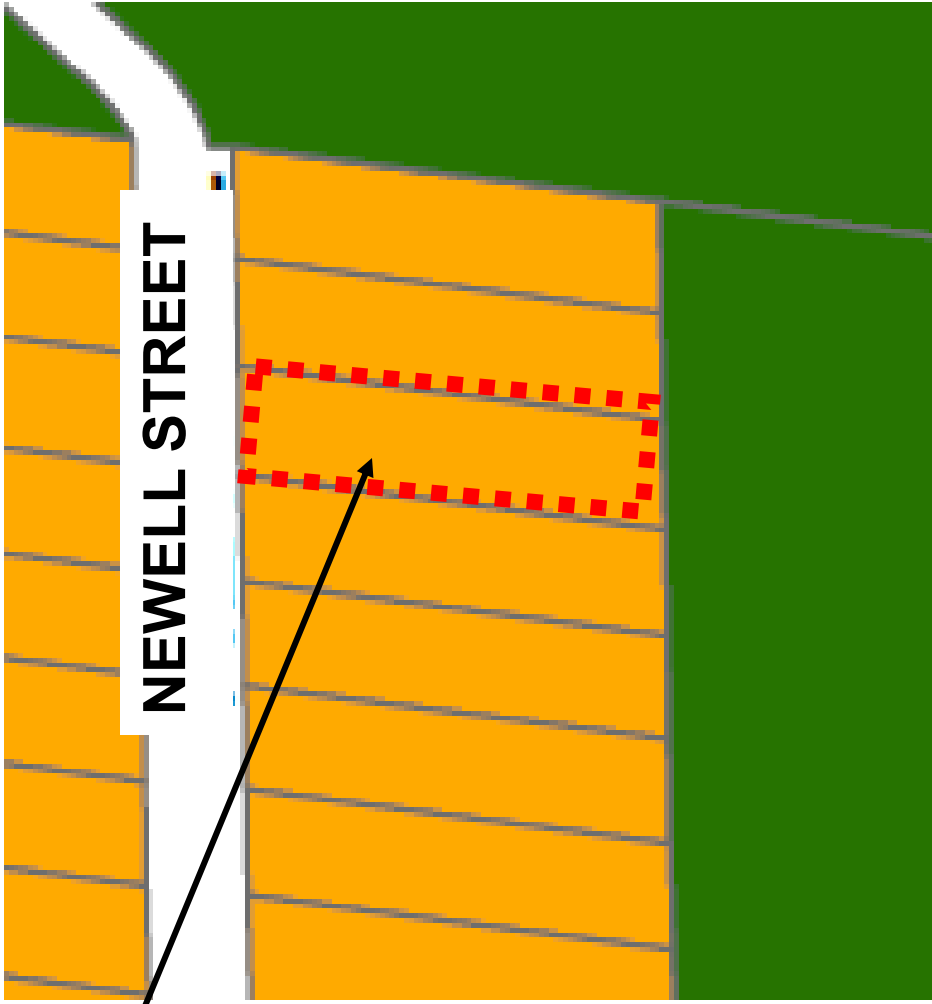
VICINITY MAP



ZONING MAP

EXHIBIT K CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)

ZONING MAP



SUBJECT SITE
7040 NEWELL STREET

LEGEND

- CG - Commercial General
- CN - Commercial Neighborhood
- CP - Commercial Professional
- PF - Public Facilities
- DTSP - Downtown Huntington Park Specific Plan
- RL - Low Density Residential (8.712 du/ac)
- RM - Medium Density Residential (17.424 du/ac)
- RH - High Density Residential (20 du/ac)
- MPD - Manufacturing Planned Development
- OS - Open Space
- T - Transportation
- Affordable Housing Overlay (70 du/ac)
- Medium Density Overlay (up to 17.424 du/ac)
- Senior Citizen Housing Overlay (225 du/ac)
- Single Room Occupancy Overlay (400 du/ac)
- Special Use Overlay Zone
- Historic District Overlay

CEQA NOTICE OF EXEMPTION

EXHIBIT L CASE NO. 2022-01 (V), 2022-01 (DP), 2023-02 (TTM)

Notice of Exemption**Appendix E**

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: _____

From: (Public Agency): _____

(Address)

Project Title: _____

Project Applicant: _____

Project Location - Specific:

Project Location - City: _____ Project Location - County: _____

Description of Nature, Purpose and Beneficiaries of Project:

Name of Public Agency Approving Project: _____

Name of Person or Agency Carrying Out Project: _____

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☐ Categorical Exemption. State type and section number: _____
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

Lead Agency _____

Contact Person: _____ Area Code/Telephone/Extension: _____

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? Yes No

Signature: _____ Date: _____ Title: _____

Signed by Lead Agency Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____