



AGENDA

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, July 19, 2017 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Any person who requires a disability-related modification or accommodation, including auxiliary aids or services, in order to participate in the public meeting may request such modification, accommodation, aid or service by contacting the City Clerk's Office either in person at 6550 Miles Avenue, Huntington Park, California or by telephone at (323) 584-6230. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

NOTE: Any person who has a question concerning any agenda item may contact the Community Development Department at (323) 584-6210. Materials related to an item on this agenda are available for inspection in the office of the Community Development Department at 6550 Miles Avenue, Huntington Park, California during the hours of 7:00 a.m. to 5:30 p.m., Monday through Thursday.

Assembly Bill No. 2674 amended several provisions of the Ralph M. Brown Act (Section 54950 et seq. of the Government Code) effective January 1, 1987. This bill prohibits the legislative body from taking any action on any item, which did not appear on the agenda, which was posted 24 hours prior to the Planning Commission meeting. If action is necessary on subject matter, which the public presents, the matter should be presented in writing to the Planning Division for placement on the agenda by Thursday noon prior to the next Planning Commission meeting.

CALL TO ORDER

ROLL CALL

Chair Efren Martinez
Commissioner Eduardo Carvajal
Commissioner Angelica Montes
Commissioner Luz Gomez
Commissioner Irving Pacheco

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

For both open and closed session each speaker will be limited to three minutes per Huntington Park Municipal Code Section 2-1.207. Time limits may not be shared with other speakers and may not accumulate from one period of public comment to another or from

one meeting to another. This is the only opportunity for public input except for scheduled public hearing items.

PUBLIC HEARING

1. A request to consider the modification of Conditional Use Permit Case No.1459 allowing the operation of a cocktail lounge to continue; or revoke Conditional Use Permit No. 1459 in connection with property located at 3256 Gage Avenue, within the Commercial General (CG) Zone.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing; and
2. Take public testimony; and
3. Consider the following options:
 - 3-1 Approve modifications to CUP Case No.1459;
 - 3-2 Approve the revocation of CUP Case No.1459;
 - 3-3 Continue the item and request additional information.
2. A request for a Conditional Use Permit to allow an ice manufacturing facility and a Development Permit for a proposed tenant improvement consisting of a change in use from an existing warehouse to an ice manufacturing facility; and an existing residential use to commercial offices for property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing; and
2. Take public testimony; and
3. Adopt PC Resolution No. 2017-03, approving a Conditional Use Permit and Development Permit in connection with property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

STAFF COMMENTS

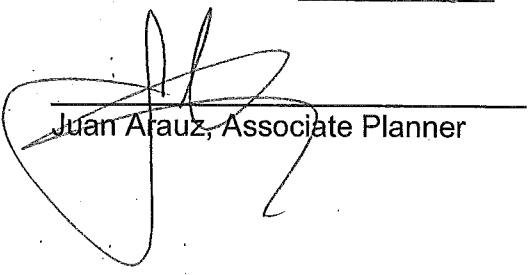
PLANNING COMMISSION COMMENTS

ADJOURNMENT

The City of Huntington Park Planning Commission will adjourn to a Regular Meeting on Wednesday, August 16, 2017 at 6:30 p.m.

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I, Juan Arauz, hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted at City of Huntington Park City Hall and made available at www.hPCA.gov on the 13th of July 2017.


Juan Arauz, Associate Planner



CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: JULY 19, 2017

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: SERGIO INFANZON, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: RODRIGO PELAYO, ASSISTANT PLANNER

SUBJECT: **PLANNING COMMISSION CASE NO. 1459 CUP
(CONDITIONAL USE PERMIT)**

REQUEST: A request to consider the modification of Conditional Use Permit Case No.1459 allowing the operation of a cocktail lounge to continue; or revoke Conditional Use Permit No. 1459 in connection with property located at 3256 Gage Avenue, within the Commercial General (CG) Zone.

APPLICANT: City of Huntington Park

BACKGROUND:

- Current Business Operator (Javier Gonzalez)***

On December 20, 2016, the Planning Division received a business license application from Javier Gonzalez requesting approval for a change in ownership of an existing cocktail lounge located at 3256 Gage Avenue. As part of the application review process, Planning Staff verified if there was an existing Conditional Use Permit (CUP) in connection with the subject property and use. City records identified CUP No. 1459 to be in connection with the subject property and use. Therefore, the application process also required the transfer of the existing CUP to the new business operator. As a result, the Planning Division scheduled a site inspection in order to verify compliance with the conditions of approval within Planning Commission Resolution No. 1459.

On January 4, 2017, the City conducted an inspection of the subject property and determined that it was in violation of Condition Nos. 2, 4, 16, and 17 of PC Resolution 1459 (see Exhibit A). The business license application and

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PC CASE NO. 1459 CUP: 3256 Gage Avenue

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transfer of Conditional Use Permit was processed by the Planning Division and the applicant was given 30 days from the date of the approval to correct all violations. On January 17, 2017, the Building & Safety Division conducted an inspection and approved a certificate of occupancy the same day, allowing the business to begin operating. The applicant continued to work with Staff and acquired City approval to make site improvements and correct violations.

- ***New Business License Applicant (Melissa Martinez)***

On April 26, 2017, a business license application was submitted to the Planning Division by Melissa Martinez requesting approval for a change in ownership of the business. At the time of the application submittal, Planning Staff explained to Ms. Martinez that the application process also required the transfer of the conditional use permit in connection with the property, therefore a site inspection would need to be conducted. However, Staff had been previously informed by the Huntington Park Police Department that the business was causing disturbance in the surrounding neighborhood. Before scheduling a site inspection, Planning Staff met with the Police Department to discuss the issues caused by the current operator.

- ***Police Department Findings***

On May 2, 2017, the Police Department and Business License Enforcement Division met with Planning Staff and informed that the current operator has been conducting events with live music and entertainment and as result, causing nuisances in the surrounding properties. The Police Department also noted that 154 calls for service have been reported between January, 2015 and June, 2017 (see Exhibit B). In addition, the establishment has been in violation with requirements of the California Department of Alcoholic Beverage Control (see Exhibit C).

Following the meeting with Police Department, the Planning Division determined that the business license application (Exhibit D) and Conditional Use Permit 1459 (Exhibit E) should be further reviewed by the Planning Commission.

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- ***Planning Commission meeting of June 21, 2017***

- *Conditional Use Permit*

On June 21, 2017, a Planning Commission meeting was held and the business license application submitted by Ms. Martinez was presented as an item of consideration. During the meeting, the Planning Commission identified that the current operator is out of compliance with the conditions of approval No. 2, No. 10, and No. 11 of CUP No. 1459.

- Condition No.2 states, “That the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park.”
- Condition No.10 states, “That inventory or merchandise shall only be permitted to be stored or displayed within the enclosed building.”
- Condition No.11 states, “That the permit may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the Planning Commission as deemed appropriate to address problems of land use compatibility, security, and crime control.”

- *Police Department Comments*

Police Department staff explained that the business was established over 30 years ago and historically has caused problems associated with weapons, drugs, public intoxication, sexual offenses, human trafficking, noise, traffic, and peace disturbance. Police staff also stated the following:

- The business is in violation of the conditions of approval imposed by the California Department of Alcoholic Beverage Control (ABC).
- The business has produced a total of 74 calls for service between January 2015 and June 2017.

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- The business operates beyond 12:00am and allows the consumption of alcohol after midnight on operating days.
- The business hosts dancing and live entertainment events, causing traffic and noise problems.
- The calls for service tie up police resources that can be utilized in other areas.
- On July 1, 2015, a person was sexually assaulted at the establishment.
- On January 22, 2017, Police responded to a call from a resident complaint of traffic in the street block generated by the business. Police arrived to the scene and a gentleman by the name of Mr. Francisco Rivas identified himself as the owner of the business. However, the registered business owner is Mr. Javier Gonzalez whom was not present.
- On January 26, 2017, Police issued a warning to the operator for posting advertisements outside of the establishment, which is a violation of ABC conditions of approval.
- On February 9, 2017, the business operator was caught buying alcohol from a supermarket (non-distributor), which is a violation of ABC requirements. Police also found hard liquor stored inside the business, which is another violation of ABC regulations.

Police staff concluded by expressing their concern for the public welfare and stating that residents continue to be intimidated by individuals associated to the business.

- Department of Alcoholic Beverage Control Violations

The Planning Commission identified that the current operator is out of compliance with ABC regulations and conditions of approval No. 1, No. 5, No.6, No.10, and No.12.

- Condition No.1 states, "Sales, service and consumption of alcoholic beverages shall be permitted

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only between the hours of 10am to 12midnight, each day of the week.”

- Condition No.5 states, “No ‘happy hour’ type or reduced price alcoholic beverage promotion shall be allowed.”
- Condition No.6 states, “There shall be no dancing allowed on the premises.”
- Condition No.10 states, “There shall be no live entertainment of any type, including but not limited to live music, disc jockey, topless entertainment, male or female performers or fashion shows. Karaoke is not deemed a violation of this condition.”
- Condition No.12 states, “There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.”

At the conclusion of the meeting, it was direction of the Planning Commission to prepare this item for consideration of modification or the revocation of Conditional Use Permit No. 1459.

DISCUSSION:

- ***Business License***

Business license applications are reviewed and processed administratively in most cases. When an application is submitted, staff searches records for any entitlements in connection with the subject property/use. When there are no responsive records, the application clears Planning review and continues to get processed by the remaining departments.

When records yield active entitlements, staff then proceeds to review the conditions of approval. After reviewing the conditions of approval, a site inspection is conducted in order to verify compliance with the conditions of approval.

When a property/use is determined to be in compliance

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with conditions of approval, the application clears Planning review, continues to get processed by the remaining departments, and the entitlement in connection with the property is transferred to the new applicant.

When a property/use is determined to be out of compliance with conditions of approval due to lack of maintenance of the site, the application still clears Planning review, continues to get processed by the remaining departments, and the entitlement in connection with the property is transferred to the new applicant. However, the applicant is given a time period (usually 30 days) to correct all violations and be in compliance with all conditions of approval.

- ***Conditional Use Permit (CUP)***

Pursuant to HPMC Section 9-2.11, review of a Conditional Use Permit shall determine whether the proposed use should be permitted by weighing the public need for and the benefit(s) to be derived from the proposed use, against the negative impacts it may cause. Upon receipt of a Conditional Use Permit Application and compliance with the City's CEQA Guidelines, a public hearing is set and notice of the hearing is given. Following a hearing, the Planning Commission records its decision in writing and recites the findings upon which the decision is based.

Pursuant to HPMC Section 9-2.1105, the Commission may approve and/or modify a CUP application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;

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4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;
5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

Additionally, the Commission may hold a hearing to revoke or modify a Conditional Use Permit granted in compliance with the provisions of HPMC Section 9-2.11. A Conditional Use Permit may be revoked or modified by the Commission if any one of the following findings can be made:

1. That circumstances been changed by the applicant to a degree that one or more of the findings contained in the original permit can no longer be made in a positive manner and the public health, safety and welfare require the revocation;
2. That the Conditional Use Permit was issued, in whole or in part, on the basis of a misrepresentation or omission of a material statement in the application, or in the applicant's testimony presented during the public hearing, for the entitlement or permit;
3. That the use for which the Conditional Use Permit was granted had ceased or was suspended for six (6) or more months;
4. That one or more of the conditions of the Conditional Use Permit have not been met;
5. That the use is in violation of any statute, ordinance, law or regulation; or

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6. That the use permitted by the Conditional Use Permit is detrimental to the public health, safety or welfare or constitutes a nuisance.

ANALYSIS:

- ***Business License***

On April 26, 2017, a business license application was submitted to the Planning Division by Melissa Martinez requesting approval for a change in ownership of the business. During the application review, records yielded a CUP in connection with the property. Therefore, the CUP needs to be transferred to Ms. Martinez in order to continue processing the business license application for the change in ownership.

After review of the CUP, it was determined that the property/use is out compliance with the conditions of approval. The property/use must be in compliance with all conditions of approval in order to complete the transfer of the CUP to the new operator and the business license application process.

- ***Conditional Use Permit (CUP)***

The Planning Commission identified that the current operator is out of compliance with the conditions of approval No. 2, No. 10, and No. 11 of CUP No. 1459.

- Condition No.2 states, “That the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park.”

The current operator is hosting dance and live entertainment events without a City permit. In addition, dancing and live entertainment is prohibited within the conditions of approval of ABC.

In addition, the current operator cooks and serves prepared food without a City permit and Los Angeles County Department of Public Health approval.

The current operator purchased alcohol from a supermarket (non-distributor). ABC regulations require

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the establishment purchase alcohol only from distributors.

The Huntington Park Police Department found hard liquor inside of the establishment. ABC regulations prohibit keeping hard liquor or spirits within the establishment.

- Condition No.10 states, "That inventory or merchandise shall only be permitted to be stored or displayed within the enclosed building."

The current operator advertises and displays "happy hour" and beverage discounts outside of the establishment. Such advertisements are also prohibited within the conditions of approval of ABC.

- Condition No.11 states, "That the permit may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the Planning Commission as deemed appropriate to address problems of land use compatibility, security, and crime control."

Land use compatibility, security, and crime control problems have been identified with subject property and use. Therefore, the CUP may be subject to additional conditions and/or modification of existing conditions as deemed appropriate by the Planning Commission.

Pursuant to HPMC Section 9-2.1106, in order to address problems of land use compatibility, security, and crime control, the Planning Commission may add conditions, including but not limited to:

- That cooking of food shall be prohibited within the premises.
- That no prepackaged or prepared food be served in the premises.
- That the CUP be reviewed on a quarterly basis for compliance. (HPMC Section 9-2.1107.)

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- That the establishment shall comply with all California Department of Alcoholic Beverage Control (ABC) regulations and conditions of approval.
- That the establishment shall not conduct any type of dance and entertainment, including but not limited to, disc jockeys and karaoke.
- That security staff patrol inside and outside the establishment during the business hours of operation.
- That patrons shall be restricted access to and from the alley located at the rear of the establishment.
- That the facades of the building be modified to incorporate openings to allow visibility to the inside.

• ***Police Department Comments***

Police Department expressed concerns for the surrounding neighborhood as the establishment continues to cause problems associated with weapons, drugs, public intoxication, sexual offenses, human trafficking, noise, traffic, and peace disturbance. Police Staff have identified the following:

- The business has produced a total of 74 calls for service between January 2015 and June 2017.

The calls for service report indicates that the establishment is the generator of problems associated with weapons, drugs, public intoxication, sexual offenses, human trafficking, noise, traffic, and peace disturbance.

- The business operates beyond 12:00am and allows the consumption of alcohol after midnight on operating days.

The management of the business has not improved and continues to violate ABC and City regulations.

- The business hosts dancing and live entertainment events, causing traffic and noise problems.

The dancing and live entertainment events cause traffic and noise problem and are a nuisance to the neighborhood.

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- The calls for service tie up police resources that can be utilized in other areas.
- On January 22, 2017, Police responded to a call from a resident complaint. Police arrived to the scene and a gentleman by the name of Mr. Francisco Rivas identified himself as the owner of the business. However, the registered business owner is Mr. Javier Gonzalez.

Police have interviewed staff from the establishment on different occasions and yielded Mr. Rivas as the owner of the business. However, Mr. Javier Gonzalez is documented as the business owner because Mr. Rivas is permanently banned by ABC from owning or operating any alcohol establishments due to previous offenses.

- On January 26, 2017, Police issued a warning to the operator for posting advertisements outside of the establishment, which is a violation of ABC conditions of approval.
- On February 9, 2017, the business operator was caught buying alcohol from a supermarket (non-distributor), which is a violation of ABC requirements. Police also found hard liquor stored inside the business, which is another violation of ABC regulations.

Concerns from residents and police have become a detriment. The neighborhood does not feel safe when walking near the establishment. Residents have expressed their consideration of moving out because due to the problems caused by the establishment.

Based on the input provided by the Police Department, it is reasonable to assume that without conditions of approval and monitoring, the establishment will continue to operate in the same fashion.

- ***Department of Alcoholic Beverage Control***

The Planning Commission identified that the current operator is out of compliance with ABC regulations and

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conditions of approval No. 1, No. 5, No.6, No.10, and No.12.

- Condition No.1 states, “Sales, service and consumption of alcoholic beverages shall be permitted only between the hours of 10am to 12midnight, each day of the week.”

Police have responded to calls for service and found the establishment to be serving alcohol beyond 12 midnight.

- Condition No.5 states, “No ‘happy hour’ type or reduced price alcoholic beverage promotion shall be allowed.”

The business advertises “happy hour” and beverage discounts through social media sites. The Police Department has issued a warning to the operator for posting advertisements outside of the establishment.

- Condition No.6 states, “There shall be no dancing allowed on the premises.”

During a site inspection, a dance floor was noted inside the business. The establishment is continuously hosting dancing events. Due to ABC requirements, the City cannot allow dancing at the establishment.

- Condition No.10 states, “There shall be no live entertainment of any type, including but not limited to live music, disc jockey, topless entertainment, male or female performers or fashion shows. Karaoke is not deemed a violation of this condition.”

The business continues to promote live bands through social media websites. Police has responded to a call for service due to traffic because the establishment was hosting an event with live music. Due to ABC requirements, the City cannot allow dancing or entertainment at the establishment.

- Condition No.12 states, “There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or

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signs which are clearly visible to the exterior shall constitute a violation of this condition."

ABC regulations require the business to purchase alcohol from distributors only. An employee of the establishment was caught purchasing alcohol from a non-distributor. The employee stated that the owner gave them direction to buy alcohol knowing that it is unlawful. The department of ABC has an active case against the operator due to this matter. Based on the evidence presented, it is reasonable to assume that the business will continue operating in the same manner.

- ***CUP Modification/Revocation Findings***

The Commission may hold a hearing to modify or revoke the Conditional Use Permit granted in compliance with the provisions of HPMC Section 9-2.1112.

Proper noticing requirements of a hearing to modify or revoke a Conditional Use Permit must be followed. Fifteen (15) days prior to the hearing, notice shall be delivered in writing to the applicant and/or owner of the property for which the Conditional Use Permit was granted.

A Conditional Use Permit may be revoked or modified by the Commission if any one of the following findings can be made:

1. That circumstances have been changed by the applicant to a degree that one or more of the findings contained in the original permit can no longer be made in a positive manner and the public health, safety and welfare require the revocation;
2. That the Conditional Use Permit was issued, in whole or in part, on the basis of a misrepresentation or omission of a material statement in the application, or in the applicant's testimony presented during the public hearing, for the entitlement or permit;
3. That the use for which the Conditional Use Permit was granted had ceased or was suspended for six (6) or more months;
4. That one or more of the conditions of the Conditional Use Permit have not been met;

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5. That the use is in violation of any statute, ordinance, law or regulation; or
6. That the use permitted by the Conditional Use Permit is detrimental to the public health, safety or welfare or constitutes a nuisance.

Based on the evidence presented, Planning Staff has determined that the required findings can be made in support of a modification or revocation of the Conditional Use Permit.

The Planning Commission may make the findings to modify the CUP. If the Planning Commission decides to make modifications to the CUP, the findings will need to be brought back at the next available meeting. Proper noticing requirements for the hearing must be followed. If the Planning Commission decides to modify the CUP, Staff proposes adding the following conditions of approval:

- That cooking of food shall be prohibited within the premises.
- That no prepackaged or prepared food be served in the premises.
- That the CUP be reviewed on a quarterly basis for compliance. (HPMC Section 9-2.1107.)
- That the establishment shall comply with all California Department of Alcoholic Beverage Control (ABC) regulations and conditions of approval.
- That the establishment shall not conduct any type of dance and entertainment, including but not limited to, disc jockeys and karaoke.
- That security staff patrol inside and outside the establishment during the business hours of operation.
- That patrons shall be restricted access to and from the alley located at the rear of the establishment.

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- That the facades of the building be modified to incorporate openings to allow visibility to the inside.

Findings in support of the CUP modification will need to be brought back to the Planning Commission at the next available meeting.

Alternatively, the Planning Commission may make the findings to revoke the CUP. If the Planning Commission decides to revoke the CUP, the findings in support of the CUP revocation will need to be brought back to the Planning Commission at the next available meeting. Proper noticing requirements for the hearing must be followed.

**ENVIRONMENTAL
REVIEW:**

The modification of conditions of approval or revocation of an entitlement, such as a Conditional Use Permit, is exempt from the provisions of the California Environmental Quality Act (CEQA).

CONCLUSION:

After conducting a public hearing and receiving public testimony, the Planning Commission has the following options:

1. Approve modifications to CUP Case No.1459;
2. Approve the revocation of CUP Case No.1459;
3. Continue the item and request additional information.

EXHIBITS:

Exhibit A: Planning Commission Meeting Staff Report (June 21, 2017)
Exhibit B: Police Department Calls for Service (January 2015 to Present)
Exhibit C: ABC Conditions of Approval
Exhibit D: Business Promotions and Advertisements
Exhibit E: Business License Application
Exhibit F: PC Resolution No.1459
Exhibit G: CUP Transfer Letter
Exhibit H: Written Notice to Modify/Revoke CUP No. 1459

PLANNING COMMISSION MEETING STAFF REPORT (JUNE 21, 2017)

EXHIBIT A



CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: JUNE 21, 2017

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: CARLOS LUIS, SENIOR PLANNER

FROM: RODRIGO PELAYO, ASSISTANT PLANNER

SUBJECT: ITEM OF CONSIDERATION

REQUEST: A request to transfer Conditional Use Permit (CUP) No.1459 and the approval of a business license application for a change in ownership of a cocktail lounge located at 3256 Gage Avenue.

APPLICANT: Melissa Martinez
596 E. Devon Drive
Gilbert, AZ 85296

BACKGROUND:

- *Current Business Operator (Javier Gonzalez)*

On December 20, 2016, the Planning Division received a business license application from Javier Gonzalez requesting approval for a change in ownership of an existing cocktail lounge located at 3256 Gage Avenue. As part of the application review process, Planning Staff verified if there was an existing Conditional Use Permit (CUP) in connection with the subject property and use. City records identified CUP No. 1459 to be in connection with the subject property and use. Therefore, the application process also required the transfer of the existing CUP to the new business operator. As a result, the Planning Division scheduled a site inspection in order to verify compliance with the conditions of approval within Planning Commission Resolution No. 1459.

On January 4, 2017, the City conducted an inspection of the subject property and determined that it was in violation of Condition Nos. 2, 4, 16, and 17 of PC Resolution 1459 (see Exhibit A). The business license application and

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Item of Consideration

June 21, 2017

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transfer of Conditional Use Permit was processed by the Planning Division and the applicant was given 30 days from the date of the approval to correct all violations. On January 17, 2017, the Building & Safety Division conducted an inspection and approved a certificate of occupancy the same day, allowing the business to begin operating. The applicant continued to work with Staff and acquired City approval to make site improvements and correct violations.

- ***New Business License Applicant (Melissa Martinez)***

On April 26, 2017, a business license application was submitted to the Planning Division by Melissa Martinez requesting approval for a change in ownership of the business. At the time of the application submittal, Planning Staff explained to Ms. Martinez that the application process also required the transfer of the conditional use permit in connection with the property, therefore a site inspection would need to be conducted. However, Staff had been previously informed by the Huntington Park Police Department that the business was causing disturbance in the surrounding neighborhood. Before scheduling a site inspection, Planning Staff met with the Police Department to discuss the issues caused by the current operator.

- ***Police Department Findings***

On May 2, 2017, the Police Department and Business License Enforcement Division met with Planning Staff and informed that the current operator has been conducting events with live music and entertainment and as result, causing nuisances in the surrounding properties. The Police Department also noted that 154 calls for service have been reported between January, 2015 and June, 2017 (see Exhibit B). In addition, the establishment has been in violation with requirements of the California Department of Alcoholic Beverage Control (see Exhibit C).

Following the meeting with Police Department, the Planning Division determined that the business license application (Exhibit D) and Conditional Use Permit 1459 (Exhibit E) should be further reviewed by the Planning Commission.

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Item of Consideration

June 21, 2017

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DISCUSSION:

- ***Conditional Use Permit***

A Conditional Use Permit granted in compliance HPMC Section 9-2.11 shall continue to be valid upon a change of ownership of the site, business, service, use or structure which was the subject of the permit. In order to transfer a Conditional Use Permit, the City requires a site inspection in order to verify compliance with the conditions of approval. In addition, the new owner/operator is required to agree to all applicable conditions and operating standards prior to reuse/reopening under the new ownership.

Planning Commission Resolution No. 1459 was approved subject to compliance with 19 conditions of approval. In accordance with Condition No. 2 of PC Resolution 1459, the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park.

The current business operator has failed to comply with Condition No. 2 by hosting dance and live entertainment events without a permit, as required by the Huntington Park Municipal Code Sections 3-1.12 and 3-1.13. In addition, the establishment has active violations with the California Department of Alcoholic Beverage Control (ABC).

ANALYSIS:

Based on the evidence presented and the noncompliance with Conditions of Approval Nos. 2, the Planning Commission may review the CUP to modify and/or add conditions of approval. The Planning Commission may also review the CUP to consider revocation. Pursuant to HPMC Section 9-2.11, should the Planning Commission consider the modification or revocation of this CUP, a public hearing shall be held at a later date in compliance with all noticing requirements. Lastly, the Planning Commission may request additional information for further discussion at another scheduled meeting.

PLANNING COMMISSION AGENDA REPORT

Item of Consideration

June 21, 2017

Page 4 of 4

RECOMMENDATION:

1. Direct staff to prepare a notice of public hearing to consider modifications to CUP Case No.1459;
2. Direct staff to prepare a notice of public hearing to consider the devolution of CUP Case No.1459;
3. Continue the item and request additional information.

EXHIBITS:

Exhibit A: CUP Transfer Letter dated January 5, 2017

Exhibit B: Calls for Service (January 2015 to Present)

Exhibit C: ABC Conditions of Approval

Exhibit D: Business License Application

Exhibit E: PC Resolution No.1459

**CALLS FOR SERVICE
JANUARY 2015 TO PRESENT**

EXHIBIT B

Huntington Park Police Department

Number Of Calls Report by Complaint

Jurisdiction: HPPD

First Date: 01/03/2015

Last Date: 06/11/2017

| Complaint | | Number |
|------------------|------------------------------|---------------|
| 166 | COURT ORDER VIOLATION | 2 |
| 211R | ROBBERY REPORT | 2 |
| 242R | BATTERY REPORT | 2 |
| 261R | RAPE REPORT | 1 |
| 415C | CUSTOMER | 2 |
| 415 | DISTURBANCE | 3 |
| 415F | FIGHT | 1 |
| 415M | MUSIC | 3 |
| 415S | SUBJECT | 10 |
| 417GUN | PERSON WITH A GUN | 2 |
| 417KNIFE | PERSON WITH A KNIFE | 1 |
| 422R | TERRORIST THREATS REPORT | 1 |
| 459VR | BURGLARY VEHICLE REPORT | 1 |
| 647F | DRUNK | 1 |
| ADVISAL | ADVISAL | 2 |
| BAR CK | BAR CHECK | 1 |
| CE | CODE ENFORCEMENT | 1 |
| CODE5 | STAKEOUT | 2 |
| CSU | CSU | 2 |
| FU | FOLLOW UP | 13 |
| HS | NARCO | 2 |
| OO | EXTRA PATROL | 2 |
| PED | PED STOP | 4 |
| PKG | PARKING | 2 |
| REPO | REPOSESSION | 1 |
| SUBP | SUBPOENA | 1 |
| TC 20002R | MISD HIT&RUN REPORT | 2 |
| TC FATAL | FATAL TRAFFIC COLLISION | 1 |
| TC NON-INJ | NON INJURY | 1 |
| TRANSIENT | TRANSIENT LOITERING/SLEEPING | 1 |
| VEH CK | VEHICLE CHECK | 3 |
| WALKTHRU | WALK THRU | 1 |

Report Total: 74

Huntington Park Police Department

Number Of Calls Report by Complaint

Jurisdiction: HPPD

First Date: 01/10/2015

Last Date: 05/16/2017

| <i>Complaint</i> | | <i>Number</i> |
|------------------|----------------------------|---------------|
| 170 | ANIMAL CALLS | 2 |
| 211 | ROBBERY | 1 |
| 211R | ROBBERY REPORT | 1 |
| 242 | BATTERY IN-PROGRESS | 1 |
| 242R | BATTERY REPORT | 2 |
| 243.4R | SEXUAL BATTERY REPORT | 1 |
| 245 | ASSAULT WITH DEADLY WEAPON | 1 |
| 245R | ASSAULT WITH DEADLY WEAPON | 1 |
| 415D | DOMESTIC | 2 |
| 415M | MUSIC | 1 |
| 415S | SUBJECT | 4 |
| 415T | TRANSIENT | 1 |
| 417KNIFE | PERSON WITH A KNIFE | 1 |
| 459VR | BURGLARY VEHICLE REPORT | 1 |
| 459V | VEHICLE | 1 |
| 594 | VANDALISM | 1 |
| ADVISAL | ADVISAL | 1 |
| ASST PUB | ASSIST PUBLIC | 1 |
| CW | CHECK WELFARE | 1 |
| DWN | PERSON DOWN | 1 |
| GTAR | VEH THEFT REPORT | 2 |
| LOST PROP | LOST PROPERTY | 1 |
| MEDICAL AID | MEDICAL ASSISTANCE | 1 |
| PED | PED STOP | 7 |
| PKG | PARKING | 3 |
| PRCS | PAROLE CHECKS | 1 |
| TC 20002R | MISD HIT&RUN REPORT | 1 |
| TC INJURY | INJURY TRAFFIC COLLISION | 1 |
| TC NON-INJ | NON INJURY | 1 |
| Traffic Stop | TRAFFIC STOP | 6 |

Report Total: 50

Huntington Park Police Department

Number Of Calls Report by Complaint

Jurisdiction: HPPD

First Date: 01/21/2015

Last Date: 05/09/2017

| <i>Complaint</i> | | <i>Number</i> |
|-------------------------|----------------------------|----------------------|
| 242R | BATTERY REPORT | 1 |
| 415F | FIGHT | 1 |
| 415S | SUBJECT | 3 |
| 415T | TRANSIENT | 1 |
| 459VR | BURGLARY VEHICLE REPORT | 1 |
| CW | CHECK WELFARE | 1 |
| FLAG | FLAG DWN | 1 |
| HS | NARCO | 1 |
| PED | PED STOP | 7 |
| REC | RECOVERY | 1 |
| SEC CK | SECURITY CHECK | 1 |
| SUSP SUBJ | SUSPICIOUS SUBJ | 1 |
| TC 20002 | MISD HIT&RUN JUST OCCURRED | 1 |
| TC 20002R | MISD HIT&RUN REPORT | 1 |
| TC NON-INJ | NON INJURY | 5 |
| Traffic Stop | TRAFFIC STOP | 3 |

Report Total: 30

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|--------------------|------|------------|------------|----------|--------------------|------------------------|-----------|---------|----------|----------|----------|---------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| 150103-0029 | | | | | | | | | | | | | |
| ADV | . | 01/03/2015 | 10:11:06 | | TORRES FREDDY | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | TRANSIENT | | HP | LOPEZ,D | | | *24 | | 10:12:33 | | | 10:27:38 |
| | | | | HP | LARIOS,M | | | 21 | | 10:13:09 | 10:15:37 | | 10:27:37 |
| | | | | HP | NIJLAND,P | | | 23 | | 10:12:35 | 10:15:41 | | 10:27:37 |
| 150107-0074 | | | | | | | | | | | | | |
| ADV | . | 01/07/2015 | 18:52:06 | | FREDDIE - SECURITY | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | HS | | HP | RODRIGUEZ,CAR | | | *32 | 19:09:15 | 19:09:17 | 19:11:15 | | 19:22:20 |
| | | | | HP | LOZANO,HUMBEF | | | 34 | | 19:09:35 | | | 19:22:20 |
| 150110-0007 | | | | | | | | | | | | | |
| ADV | . | 01/10/2015 | 02:16:13 | | TORRES FREDDY | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | 415 | | HP | MARES,J | | | *12 | | 02:34:10 | 02:35:41 | | 02:39:51 |
| | | | | HP | GUIZAR,A | | | 13 | | 02:34:12 | 02:35:42 | | 02:39:51 |
| 150123-0117 | | | | | | | | | | | | | |
| NRD | 13 | . | 01/23/2015 | 23:44:32 | OFELIA SOTELO | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | 242R | HP | GUIZAR,A | | | *13 | | 23:48:45 | 23:51:41 | | 00:30:07 |
| | | | | HP | LOPEZ,D | | | 11 | | 23:48:50 | 23:57:35 | | 00:30:07 |
| | | | | HP | MARES,J | | | 12 | | 23:48:57 | 23:52:55 | | 00:04:23 |
| | | | | HP | WASIK,C | | | 15 | | 23:48:15 | 23:51:25 | | 00:25:25 |
| 150207-0008 | | | | | | | | | | | | | |
| SOW | 14 | . | 02/07/2015 | 00:58:12 | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | PED | | HP | MENDOZA,M | | | *14 | | 00:58:12 | | | 01:00:20 |
| | | | | HP | LOPEZ,D | | | 11 | | 00:58:38 | | | 01:00:20 |
| 150207-0009 | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|--------------------|------|-----|------------|----------|---------------|--------------------------|-----------|---------|----------|----------|----------|---------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| 150207-0009 | | | | | | | | | | | | | |
| OK | 14 | . | 02/07/2015 | 01:03:02 | | | | | | | | | |
| | | | WALKTHRU | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | MENDOZA,M | | | *14 | | | 01:03:02 | | 01:07:20 |
| | | | | HP | LOPEZ,D | | | 11 | | | 01:03:13 | | 01:07:20 |
| 150219-0135 | | | | | | | | | | | | | |
| CITE | 14 | . | 02/19/2015 | 22:48:14 | | FREDDIE - SECURITY GUARD | | | | | | | |
| RPT | 14 | | TC 20002R | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | GONZALEZ,A | | | *1T | | 22:54:36 | 22:57:30 | | 00:24:21 |
| | | | | HP | LOPEZ,D | | | 11 | | 22:54:23 | 23:02:17 | | 00:24:20 |
| | | | | HP | MARES,J | | | 12 | | 23:09:06 | 23:12:51 | | 00:24:20 |
| | | | | HP | MENDOZA,M | | | 14 | | | 22:57:25 | | 00:24:20 |
| | | | | HP | WASIK,C | | | 15 | | 23:06:53 | 23:29:02 | | 00:24:21 |
| | | | | HP | NAVARRETTE,JO | | | 1S | | 22:59:19 | 23:04:20 | | 00:24:21 |
| | | | | HP | PALACIOS,E | | | 31 | | 22:54:23 | 23:02:15 | | 00:24:21 |
| | | | | HP | RODRIGUEZ,CAR | | | 32 | | 22:59:02 | 23:02:53 | | 00:24:21 |
| | | | | HP | WELP,D | | | 33 | | | 22:54:59 | | 00:24:21 |
| | | | | HP | HERNANDEZ,ROE | | | X1 | 22:52:20 | | 22:55:06 | | 00:24:03 |
| 150221-0063 | | | | | | | | | | | | | |
| ADV | 24 | . | 02/21/2015 | 16:23:20 | | RANJID | | | | | | | |
| | | | 415S | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | LEE,H | | | *33 | 16:26:22 | 16:26:43 | 16:31:24 | | 16:56:37 |
| | | | | HP | MARQUEZ,A | | | 24 | 16:26:24 | 16:26:43 | 16:29:47 | | 16:56:38 |
| 150301-0021 | | | | | | | | | | | | | |
| ADV | 14 | . | 03/01/2015 | 02:49:26 | | FREDDY | | | | | | | |
| NRD | 14 | | TC NON-INJ | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | FUENTES,M | | | *14 | 02:49:54 | | 02:53:29 | | 03:23:41 |
| | | | | HP | FARMER,G | | | 11 | | 02:51:48 | | | 03:23:40 |
| | | | | HP | DURAN,S | | | 12 | | 02:51:46 | 02:55:01 | | 03:14:17 |
| | | | | HP | LEE,H | | | 33 | | | 02:59:00 | | 03:23:41 |
| 150319-0107 | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | | | | | | | | |
|-------------|------|-----|---------------------|-----------|---------------|------------------------|-----------|---------|------|----------|---------|---------|--------|---------|--------|----------|---------|---------|--------|--------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | Arrive | Remove | Comp | | | | | |
| | | | | | | | | | | | | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | Arrive | Remove |
| 150319-0107 | | | 03/19/2015 21:19:16 | | | | | | | | | | | | | | | | | | |
| | FI | . | PED | | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | |
| | SOW | | | HP | GUERRERO,E | | | | | | | | | | | | | | | | 21:32:34 |
| | | | | HP | STAAL,G | | | | | | | | | | | | | | | | 21:32:34 |
| 150325-0072 | | | 03/25/2015 17:56:16 | | | | | | | | | | | | | | | | | | |
| | ADV | . | PED | | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | |
| | | | | HP | GUTIERREZ,J | | | | | | | | | | | | | | | | 18:00:47 |
| 150326-0094 | | | 03/26/2015 19:25:25 | | | VICTOR SUAREZ | | | | | | | | | | | | | | | |
| | ADV | 32 | | TC 20002R | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | |
| | | | | HP | RODRIGUEZ,CAR | | | | | | | | | | | | | | | | 19:43:36 |
| 150506-0089 | | | 05/06/2015 20:41:14 | | | CHRISTIAN - EMPLOYEE | | | | | | | | | | | | | | | |
| | RPT | . | 417KNIFE | | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | |
| | | | | HP | CARLOS,E | | | | | | | | | | | | | | | | 21:41:30 |
| | | | | HP | GUIZAR,A | | | | | | | | | | | | | | | | 21:40:17 |
| | | | | HP | PRADO,G | | | | | | | | | | | | | | | | 21:32:49 |
| | | | | HP | GONZALEZ,A | | | | | | | | | | | | | | | | 21:32:53 |
| | | | | HP | PALACIOS,E | | | | | | | | | | | | | | | | 21:03:56 |
| | | | | HP | RODRIGUEZ,CAR | | | | | | | | | | | | | | | | 22:00:46 |
| | | | | HP | GUERRERO,E | | | | | | | | | | | | | | | | |
| | | | | HP | CHACON,C | | | | | | | | | | | | | | | | |
| | | | | HP | STAAL,G | | | | | | | | | | | | | | | | |
| 150511-0087 | | | 05/11/2015 20:34:14 | | | FREDDIE TORRES | | | | | | | | | | | | | | | |
| | ARR | . | 415S | | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | |
| | | | | HP | FARMER,G | | | | | | | | | | | | | | | | 21:01:02 |
| | | | | HP | FUENTES,M | | | | | | | | | | | | | | | | 22:04:09 |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | | | |
|-------------|------|-----|------------|----------|------------------------|---------|-----------|---------------|------|----------|----------|----------|--------|------------------------|----------|------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | | | |
| | | | | | | | | | | | | | | | | |
| 150528-0073 | | | | | | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | Arrive | Remove | Comp |
| 150528-0073 | ARR | 33 | 05/28/2015 | 16:18:33 | | | | | | | | | | | | |
| | RPT | 33 | 415S | | 3256 E GAGE AV, HTG PK | | HP | LOZANO,J | *W8 | | 16:18:34 | | | RMS Juris CA0193100 | 16:33:54 | |
| | | | | | | | HP | GONZALEZ,A | 1T | | 16:18:57 | 16:21:36 | | | 16:32:46 | |
| | | | | | | | HP | MARQUEZ,A | 31 | | 16:18:41 | 16:21:33 | | | 16:33:57 | |
| | | | | | | | HP | RODRIGUEZ,CAR | 32 | | | 16:24:32 | | | 16:34:00 | |
| | | | | | | | HP | WELP,D | 33 | | 16:18:41 | 16:20:45 | | | 16:55:21 | |
| 150611-0088 | ADV | . | 06/11/2015 | 22:25:57 | SUZENNA | | | | | | | | | | | |
| | | | 415 | | 3256 E GAGE AV, HTG PK | | HP | LOZANO,HUMBEF | *34 | | 22:28:56 | 22:31:20 | | | 22:33:54 | |
| | | | | | | | HP | MARQUEZ,A | 31 | | 22:28:57 | 22:32:25 | | | 22:33:53 | |
| 150701-0101 | RPT | | 07/01/2015 | 23:08:47 | JESSICA RENGINFO | | | | | | | | | | | |
| | | | 261R | | 3256 E GAGE AV, HTG PK | | HP | CARLOS,E | *14 | | 23:24:38 | 23:30:16 | | RMS Juris CA0193100 | 02:07:50 | |
| | | | | | | | HP | CHACON,C | 1S | | | 23:11:55 | | | 00:03:15 | |
| 150710-0001 | CITE | . | 07/10/2015 | 00:01:58 | | | | | | | | | | | | |
| | | | PED | | 3256 E GAGE AV, HTG PK | | HP | CARLOS,E | *14 | | | 00:01:58 | | | 00:25:41 | |
| | | | | | | | HP | GUIZAR,A | 13 | | 00:02:04 | | | | 00:25:41 | |
| 150711-0002 | ADV | . | 07/11/2015 | 00:06:45 | TORRES FREDDY | | | | | | | | | | | |
| | | | 415S | | 3256 E GAGE AV, HTG PK | | HP | GUIZAR,A | *13 | | 00:10:17 | 00:10:39 | | | 00:15:28 | |
| | | | | | | | HP | CARLOS,E | 14 | | 00:10:18 | 00:11:05 | | | 00:15:28 | |
| | | | | | | | HP | GUTIERREZ,J | 2G | | 00:10:32 | | | | 00:15:29 | |
| | | | | | | | HP | STAAL,G | 4G | | 00:10:34 | | | | 00:15:29 | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|--------------------|-------|------------|----------|--------|---------------|------------------------|-----------|---------|----------|----------|----------|---------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| | | | | | | | | | | | | | |
| Unit | Depar | Arrive | Remove | Comp | | | | | | | | | |
| 150722-0105 | | | | | | | | | | | | | |
| COMP 13 | . | 07/22/2015 | 22:01:44 | | | | | | | | | | |
| | | FU | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | VALLE,F | | | *13 | | | 22:01:44 | | 22:04:50 |
| 150724-0055 | | | | | | | | | | | | | |
| ARR | . | 07/24/2015 | 17:08:26 | | | FREDDIE | | | | | | | |
| RPT | | FU | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | NAVIA,M | | | *3S | | 17:10:12 | 17:11:20 | | 17:34:39 |
| | | | | HP | PRADO,G | | | 1G | | | 17:23:05 | | 17:34:35 |
| | | | | HP | FUENTES,M | | | 31 | | 17:10:36 | 17:11:46 | | 19:15:26 |
| | | | | HP | RODRIGUEZ,SAU | | | 33 | | 17:10:17 | 17:13:40 | | 17:34:42 |
| | | | | HP | LOZANO,HUMBEF | | | 34 | | 17:10:34 | 17:15:22 | | 19:59:39 |
| | | | | HP | GUERRERO,E | | | 3G | | | 17:23:08 | | 17:34:37 |
| 150724-0066 | | | | | | | | | | | | | |
| LOG | . | 07/24/2015 | 18:48:05 | | | | | | | | | | |
| | | FU | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | PRADO,G | | | *1G | | | 18:48:05 | | 19:01:02 |
| 150805-0001 | | | | | | | | | | | | | |
| COMP 12 | . | 08/05/2015 | 00:19:09 | | | | | | | | | | |
| | | SUBP | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | MARQUEZ,A | | | *12 | 00:20:36 | 00:38:51 | 00:40:29 | | 00:50:26 |
| 150821-0005 | | | | | | | | | | | | | |
| ARR | . | 08/21/2015 | 01:38:54 | | | | | | | | | | |
| RPT | | FU | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | MARQUEZ,A | | | *12 | | | 01:38:54 | | 03:32:02 |
| | | | | HP | BARILLAS,R | | | 11 | 01:55:07 | 01:56:33 | 03:11:53 | | 02:32:07 |
| | | | | HP | CURIEL,RICK | | | 13 | | | 01:39:20 | | 03:24:10 |
| | | | | HP | LOPEZ,D | | | 14 | | 01:56:35 | | | 02:34:51 |
| | | | | HP | CHACON,C | | | 1S | | | 01:39:11 | | 03:24:07 |
| 150821-0010 | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|--------------------|------|-----|------------|--------|---------------|------------------------|------------------------|---------|----------|----------|------------|------------|-----------|--|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | Arrive | |
| 150821-0010 | | | | | | | | | | | | | | |
| | RPT | . | 08/21/2015 | 459VR | 02:32:00 | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | | | | HP | BARILLAS,R | | | *11 | | | Department | OCA Number | RMS Juris | |
| | | | | HP | CURIEL,RICK | | | 13 | | | HP | 15-04466 | CA0193100 | |
| | | | | | | | | | | | 02:32:07 | | 03:11:50 | |
| | | | | | | | | | | | | | 03:06:52 | |
| 150823-0086 | | | | | | | | | | | | | | |
| | ARR | 33 | . | FU | 08/23/2015 | 18:05:43 | JOSEFINA MARTINEZ | | | | | | | |
| | RPT | | | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | MENDOZA,M | | | *24 | | | 18:07:52 | 18:13:04 | 19:00:42 | |
| | | | | HP | RODRIGUEZ,CAR | | | 22 | | | 18:07:53 | 18:13:06 | 19:15:24 | |
| | | | | HP | GUIZAR,A | | | 33 | | | 18:14:16 | 18:34:07 | 20:26:36 | |
| 150909-0126 | | | | | | | | | | | | | | |
| | ADV | 12 | . | 415S | 09/09/2015 | 21:52:25 | SOTELO CELIA | | | | | | | |
| | | | | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | MARQUEZ,A | | | *12 | 21:56:04 | | | 22:02:06 | 22:19:56 | |
| | | | | HP | RENDON,A | | | 11 | | | 21:56:31 | 21:59:33 | 22:19:55 | |
| 150927-0058 | | | | | | | | | | | | | | |
| | RPT | 32 | . | 211R | 09/27/2015 | 15:12:12 | TORRES FREDDY | | | | | | | |
| | | | | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | RODRIGUEZ,SAU | | | *32 | | | 15:14:08 | 15:20:07 | 15:37:51 | |
| | | | | HP | RODRIGUEZ,CAR | | | 22 | | | 15:15:14 | 15:20:01 | 15:33:28 | |
| | | | | HP | GARCIA,C | | | 23 | | | 15:14:54 | 15:20:09 | 15:34:15 | |
| 150927-0071 | | | | | | | | | | | | | | |
| | ADV | | . | FU | 09/27/2015 | 19:06:33 | TORRED FREDDY | | | | | | | |
| | | | | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | RODRIGUEZ,SAU | | | *32 | | | 19:20:36 | 20:22:57 | 20:23:13 | |
| 150927-0081 | | | | | | | | | | | | | | |
| | ADV | | . | 415S | 09/27/2015 | 21:02:05 | ALFREDO GARCIA | | | | | | | |
| | | | | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | HP | DIAZ,MARIO | | | *14 | | | 21:05:52 | 21:12:54 | 21:21:09 | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|-------------|------|-----|---------------------|---------------------|------------------------------------------|----------|-----------|----------|----------|----------|---------|---------|----------|--|
| | | | | Code | Complaint | | Dep | | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | Officer | | | | | | | |
| 150927-0081 | | | 09/27/2015 21:02:05 | | ALFREDO GARCIA 3256 E GAGE AV, HTG PK | | | | | | | | 21:21:09 | |
| | ADV | . | 415S | HP | MAGALLANES,M | 31 | | 21:07:08 | 21:10:23 | | | | 21:10:33 | |
| | | | | HP | GUIZAR,A | 33 | | 21:05:56 | | | | | | |
| 151003-0005 | RPT | 14 | . | 10/03/2015 01:27:09 | TORRES FREDDY 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | | | 422R | HP | LOPEZ,D | | *14 | 01:29:15 | 01:34:35 | | | | 01:52:05 | |
| 151003-0033 | ASST | 21 | . | 10/03/2015 10:00:54 | FREDDIE TORRES 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | | | ADVISAL | HP | BOJORQUEZ,M | *24 | | 11:16:07 | | | | | 11:31:16 | |
| | | | | HP | PALACIOS,E | 21 | | 11:18:08 | 11:20:48 | | | | 11:31:16 | |
| 151005-0101 | UTL | 14 | . | 10/05/2015 22:08:51 | TORRES FREDDIE 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | ADV | | FU | HP | DIAZ,MARIO | *14 | | 22:12:02 | 22:16:07 | | | | 22:22:23 | |
| | | | | HP | SPINDOLA,C | 11 | | 22:12:35 | 22:16:51 | | | | 22:22:23 | |
| | | | | HP | RODRIGUEZ,SAU | 32 | 22:12:44 | 22:12:46 | 22:14:05 | | | | 22:22:23 | |
| 151009-0057 | ADV | . | 10/09/2015 19:29:36 | | MARIA SALAZAR 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | SOW | | 415S | HP | FUENTES,M | *31 | | 19:35:10 | 19:40:52 | | | | 19:50:56 | |
| | | | | HP | PARRA,C | 22 | | 19:35:22 | 19:37:29 | | | | 19:50:56 | |
| | | | | HP | LOZANO,HUMBEF | 34 | | 19:35:12 | 19:38:37 | | | | 19:50:56 | |
| 151010-0074 | ADV | 32 | . | 10/10/2015 16:54:47 | FREDDY TORRES 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | GOA | 32 | | 415S | HP | GARCIA,C | *23 | 16:58:09 | | | | | 17:04:41 | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|--------------------|------|-----|----------|------------|-----------|------------------------|-----------|---------------|------|----------|----------|----------|----------|--|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | |
| 151010-0074 | | | | | | | | | | | | | | |
| | ADV | 32 | . | 10/10/2015 | 16:54:47 | FREDDY TORRES | | | | | | | | |
| | GOA | 32 | | | 415S | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | | | | | | | HP | RODRIGUEZ,SAU | 32 | | 16:58:09 | 17:02:25 | | |
| | | | | | | | | | | | | | 17:04:42 | |
| 151012-0095 | | | | | | | | | | | | | | |
| | ADV | . | | 10/12/2015 | 21:43:17 | TORRES FREDDY | | | | | | | | |
| | | | | FU | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | | | | | | | HP | DIAZ,MARIO | *14 | | 21:47:11 | 21:49:34 | | |
| | | | | | | | HP | DURAN,S | 31 | | 21:47:13 | 21:50:43 | | |
| | | | | | | | | | | | | | 21:53:01 | |
| | | | | | | | | | | | | | 21:53:01 | |
| 151015-0103 | | | | | | | | | | | | | | |
| | ADV | 12 | . | 10/15/2015 | 22:36:36 | ALFREDO GARCIA | | | | | | | | |
| | ADV | | | | 415C | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | SOW | | | | | | HP | LOPEZ,D | *14 | 22:38:39 | 22:39:14 | | | |
| | | | | | | | HP | RENDON,A | 11 | | 22:39:30 | | | |
| | | | | | | | HP | MARQUEZ,A | 12 | | 22:53:55 | 22:40:25 | | |
| | | | | | | | | | | | | | 23:22:27 | |
| | | | | | | | | | | | | | 22:45:57 | |
| | | | | | | | | | | | | | 23:22:26 | |
| 151016-0091 | | | | | | | | | | | | | | |
| | ADV | . | | 10/16/2015 | 22:38:27 | FREDDY TORRES | | | | | | | | |
| | SOW | | | | 415C | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | | | | | | | HP | LOPEZ,D | *14 | 22:42:53 | 22:47:21 | | | |
| | | | | | | | HP | RENDON,A | 11 | | 22:43:19 | | 23:07:52 | |
| | | | | | | | HP | MARQUEZ,A | 12 | | 22:49:16 | | | |
| | | | | | | | HP | PARSA,M | 13A | | 22:47:35 | 22:50:55 | | |
| | | | | | | | HP | FUENTES,M | 31 | | 22:47:44 | 22:47:53 | | |
| | | | | | | | HP | LOZANO,HUMBEF | 34 | | 22:47:51 | 22:50:53 | | |
| | | | | | | | | | | | | | 23:07:52 | |
| | | | | | | | | | | | | | 23:07:53 | |
| | | | | | | | | | | | | | 23:07:53 | |
| 151020-0098 | | | | | | | | | | | | | | |
| | COMP | . | | 10/20/2015 | 22:21:47 | | | | | | | | | |
| | | | | FU | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | | | | | | | HP | LISNER | *GS | | 22:21:50 | | | |
| | | | | | | | HP | GUERRERO,E | 3G | | 22:22:12 | | | |
| | | | | | | | HP | ARREDONDO | 5G | | 22:22:14 | | | |
| | | | | | | | | | | | | | 22:30:22 | |
| | | | | | | | | | | | | | 22:30:21 | |
| | | | | | | | | | | | | | 22:30:22 | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|--------------------|------|-----|------------|----------|-----------|------------------------|-----------|---------------|------|----------|----------|------------|------------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| 151021-0059 | | | | | | | | | | | | | |
| ARR | | | 10/21/2015 | 14:04:08 | | | | | | | | | |
| RPT | | | CSU | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | | | | HP | BOJORQUEZ,M | *24 | | | Department | OCA Number |
| | | | | | | | HP | CURIEL,RICK | E1 | | | HP | 15-05675 |
| | | | | | | | HP | MARETTI,R | ES | | | | CA0193100 |
| | | | | | | | | | | 14:05:19 | | | 14:30:42 |
| | | | | | | | | | | 14:51:51 | | | 21:25:58 |
| | | | | | | | | | | 14:13:09 | | | 14:30:43 |
| 151224-0002 | | | | | | | | | | | | | |
| UTL | 15 | | 12/24/2015 | 00:28:37 | | MARTHA MESA | | | | | | | |
| | | | 166 | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | | | | HP | VALLE,F | *15 | | | 00:32:09 | 00:34:40 |
| | | | | | | | HP | MARQUEZ,A | 12 | | | 00:32:57 | 00:36:07 |
| | | | | | | | HP | PARSA,M | 13 | | | 00:32:09 | 00:34:18 |
| | | | | | | | | | | | | | 00:44:58 |
| | | | | | | | | | | | | | 00:44:57 |
| | | | | | | | | | | | | | 00:44:57 |
| 151227-0003 | | | | | | | | | | | | | |
| RPT | 14 | | 12/27/2015 | 00:20:51 | | MEZA MARTHA | | | | | | | |
| | | | 166 | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | | | | HP | LEE,H | *13 | | | 00:26:03 | 00:31:19 |
| | | | | | | | HP | DIAZ,MARIO | 14 | | | 00:26:28 | 00:33:15 |
| | | | | | | | HP | MARES,J | 15 | | | 00:35:22 | 00:36:15 |
| | | | | | | | | | | | | | 01:06:12 |
| | | | | | | | | | | | | | 01:06:13 |
| | | | | | | | | | | | | | 01:06:13 |
| 160103-0046 | | | | | | | | | | | | | |
| ADV | 22 | | 01/03/2016 | 15:24:53 | | FREDDY | | | | | | | |
| SOW | 22 | | 415S | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | | | | HP | MENDOZA,M | *24 | 15:29:37 | 15:29:57 | | 15:31:23 |
| | | | | | | | HP | RODRIGUEZ,CAR | 22 | 15:30:37 | 15:31:54 | | 15:40:11 |
| | | | | | | | HP | WASIK,C | 25 | 15:29:38 | 15:29:57 | | 15:31:23 |
| | | | | | | | HP | GUIZAR,A | 33 | 15:30:37 | 15:32:59 | | 15:40:12 |
| 160117-0076 | | | | | | | | | | | | | |
| GOA | | | 01/17/2016 | 17:40:35 | | SECURITY - MALE | | | | | | | |
| | | | HS | | | 3256 E GAGE AV, HTG PK | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|-------------|------|-----|------------|------------|-----------|-------------------------|-----------|-------------|------|----------|----------|---------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| | | | | | | | | | | | | | Arrive |
| | | | | | | | | | | | | | Remove |
| | | | | | | | | | | | | | Comp |
| 160122-0097 | | | | | | | | | | | | | |
| | LOG | . | 01/22/2016 | 22:34:17 | | TONY - THUMBLE RECOVERY | | | | | | | |
| | | | | REPO | | 3256 E GAGE AV, HTG PK | | | | | | | |
| 160206-0002 | | | | | | FREDDY | | | | | | | |
| | SOW | . | 02/06/2016 | 00:18:42 | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | 647F | | | HP | SPINDOLA,C | *14 | 00:24:26 | 00:26:32 | | 00:37:48 |
| | | | | | | | HP | PARSA,M | 13 | 00:24:06 | 00:26:32 | | 00:37:47 |
| 160218-0086 | | | | | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | DET | . | 02/18/2016 | 18:32:11 | | | | | | | | | |
| | | | | CODE5 | | | HP | PORRAS,J | *E2 | 18:49:40 | 18:49:47 | | 21:52:35 |
| 160220-0035 | | | | | | | | | | | | | |
| | ADV | . | 02/20/2016 | 10:17:28 | | GONZALEZ JAVIER | | | | | | | |
| | | | | ADVISAL | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | | | | HP | NAVIA,M | *25 | 10:22:46 | 10:30:55 | | 10:31:03 |
| 160305-0101 | | | | | | | | | | | | | |
| | OK | 13 | . | 03/05/2016 | 22:37:27 | JOSE | | | | | | | |
| | | | | 415F | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | | | | HP | LEE,H | *13 | 22:39:02 | 22:42:16 | | 22:46:04 |
| | | | | | | | HP | MACIAS,J | 31 | 22:39:43 | | | 22:46:04 |
| | | | | | | | HP | INOUE,D | 32 | 22:39:03 | | | 22:46:05 |
| 160311-0063 | | | | | | | | | | | | | |
| | CITE | . | 03/11/2016 | 18:03:59 | | | | | | | | | |
| | IMP | | | CODE5 | | 3256 E GAGE AV, HTG PK | | | | | | | |
| | | | | | | | HP | STAAL,G | *4G | 18:43:52 | | | 18:44:46 |
| | | | | | | | HP | GUIZAR,A | 13 | 21:16:11 | | | 21:53:20 |
| | | | | | | | HP | CERVANTES,O | D2 | 21:16:07 | | | 22:07:20 |

Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | | | | | | | | | |
|-------------|------|-----|---------------------|--------|---------------|------------------------|-----------|----------|------|----------|----------|----------|----------|---------|--------|----------|---------|---------|--------|----------|--------|------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | Arrive | Remove | Comp | | | | | | |
| | | | | | | | | | | | | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | Arrive | Remove | Comp |
| 160423-0103 | | | 04/23/2016 23:26:24 | | | | | | | | | | | | | | | | | | | |
| | ADV | 12 | . | OK | 415 | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | | |
| | | | | HP | ABRAHAM,S | | 15 | | | | 23:29:56 | | | | | | | | | 23:39:59 | | |
| | | | | HP | RODRIGUEZ,SAU | | 32 | | | 23:31:09 | 23:31:21 | | | | | | | | | 23:39:59 | | |
| | | | | HP | MENDOZA,M | | X2 | | | | 23:33:02 | | | | | | | | | 23:39:59 | | |
| 160603-0080 | | | 06/03/2016 20:42:50 | | | | | | | | | | | | | | | | | | | |
| | ADV | 14 | . | CE | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | | |
| | | | | HP | SPINDOLA,C | | *14 | | | | 20:42:50 | | | | | | | | | 20:46:22 | | |
| 160709-0092 | | | 07/09/2016 22:27:24 | | | | | | | | | | | | | | | | | | | |
| | ARR | | . | RPT | 417GUN | ANDREW | | | | | | | | | | | | | | | | |
| | | | | | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | | |
| | | | | HP | FUENTES,M | | *14 | | | 22:28:31 | 22:30:36 | 23:06:37 | 23:10:34 | | | | | | | 23:47:19 | | |
| | | | | HP | NIJLAND,P | | 12A | | | | 22:38:37 | | | | | | | | | 22:45:33 | | |
| | | | | HP | ANDRADE,H | | 13A | | | 22:30:31 | 22:31:55 | | | | | | | | | 23:47:19 | | |
| | | | | HP | CHACON,C | | 1S | | | 22:29:40 | 22:34:24 | | | | | | | | | 23:47:19 | | |
| | | | | HP | MACIAS,J | | 31 | | | 22:29:05 | 22:29:54 | | | | | | | | | 23:47:20 | | |
| 160710-0087 | | | 07/10/2016 22:48:25 | | | | | | | | | | | | | | | | | | | |
| | LOG | 13A | . | FU | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | | |
| | | | | HP | ANDRADE,H | | *13A | | | | 22:48:25 | | | | | | | | | 22:52:43 | | |
| 160711-0095 | | | 07/11/2016 21:17:02 | | | | | | | | | | | | | | | | | | | |
| | LOG | | . | FU | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | | |
| | | | | HP | ANDRADE,H | | *13A | | | | 21:17:04 | | | | | | | | | 21:33:56 | | |
| 160730-0103 | | | 07/30/2016 23:40:34 | | | | | | | | | | | | | | | | | | | |
| | ADV | 14A | . | 415M | | RICHARD | | | | | | | | | | | | | | | | |
| | | | | | | 3256 E GAGE AV, HTG PK | | | | | | | | | | | | | | | | |
| | | | | HP | DURAN,S | | *14A | 00:01:33 | | 00:01:38 | 00:02:12 | | | | | | | | | 00:06:17 | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|--------------------|------|-----|---------------------|-----------------------------|------------------------|---------|-----------|----------|----------|------------|------------|-----------|----------|--|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | Arrive | |
| | | | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | Arrive | Remove | Comp | |
| 161016-0011 | | | | | | | | | | | | | | |
| RPT | 13 | . | 10/16/2016 02:14:44 | JUAN CARLOS RAMIREZ 211R | 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | | | | HP | ANDRADE,H | | *14 | | | Department | OCA Number | RMS Juris | | |
| | | | | HP | CARLOS,E | | 12 | | | HP | 16-05353 | CA0193100 | 03:01:30 | |
| | | | | HP | DURAN,S | | 13 | 02:28:43 | 02:29:41 | | | | 02:53:26 | |
| | | | | | | | | | | | | | 03:01:29 | |
| 161016-0067 | | | | | | | | | | | | | | |
| LOG | 14 | . | 10/16/2016 18:30:04 | FU | 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | | | | HP | ANDRADE,H | | *14 | | | | 18:30:04 | | 18:37:19 | |
| 161016-0085 | | | | | | | | | | | | | | |
| OK | | . | 10/16/2016 21:33:23 | FU | 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | | | | HP | ANDRADE,H | | *14 | | | | 21:33:23 | | 21:55:37 | |
| 161126-0087 | | | | | | | | | | | | | | |
| ADV | 13 | . | 11/26/2016 23:44:22 | JORGE 415M | 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | | | | HP | CORONEL,M | | *11 | 23:45:39 | 23:45:50 | | | | 23:50:46 | |
| | | | | HP | CARLOS,E | | 13 | 23:45:39 | 23:45:51 | 23:49:02 | | | 23:50:46 | |
| 170121-0114 | | | | | | | | | | | | | | |
| ADV | 1S | . | 01/21/2017 23:41:56 | OO | 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | | | | HP | CURIEL,RICK | | *1S | | | | 23:41:56 | | 00:12:55 | |
| | | | | HP | DURAN,S | | 12 | 23:48:45 | 23:59:05 | | | | 00:12:55 | |
| 170129-0001 | | | | | | | | | | | | | | |
| OK | | . | 01/29/2017 00:04:19 | OO | 3256 E GAGE AV, HTG PK | | | | | | | | | |
| | | | | HP | SOBERANIS,E | | *14 | | | | 00:04:19 | | 00:05:09 | |
| 170209-0077 | | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

| Call Number | Disp | Ten | Received | Caller | | Unit Time | | | | | | | | |
|-------------|------|-----|---------------------|--------|-----------|------------------------|-----|---------|------|----------|------------------|------------------------|------------------------|----------|
| | | | | Code | Complaint | Address | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | | |
| 170209-0077 | | | 02/09/2017 16:32:45 | | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | RPT | . | CSU | | | HP MARETTI,R | | *ES | | | Department HP | OCA Number 17-00781 | RMS Juris CA0193100 | 17:03:04 |
| | | | | | | | | | | | 16:32:47 | | | |
| 170304-0117 | | | 03/04/2017 23:07:10 | | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | CITE | 12 | VEH CK | | | HP DURAN,S | | *12 | | | 23:07:10 | | | 23:13:08 |
| | | | | | | | | | | | | | | |
| 170304-0118 | | | 03/04/2017 23:13:34 | | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | CITE | 12 | PKG | | | HP DURAN,S | | *12 | | | 23:13:34 | | | 23:19:17 |
| | | | | | | | | | | | | | | |
| 170305-0084 | | | 03/05/2017 22:20:33 | | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | CITE | 11 | VEH CK | | | HP CORONEL,M | | *11 | | | 22:20:33 | | | 22:27:13 |
| | | | | | | | | | | | | | | |
| 170415-0092 | | | 04/15/2017 23:01:45 | | REFUSED | | | | | | | | | |
| | UTL | . | 417GUN | | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | | | | | | HP SCHWARTZMAN,I | | *13 | | | 23:07:48 | | 23:11:34 | 23:18:14 |
| | | | | | | HP PEREZ,T | | 14 | | | 23:07:49 | | 23:11:43 | 23:18:15 |
| | | | | | | HP NIJLAND,P | | 15 | | | 23:08:09 | | 23:11:05 | 23:18:15 |
| | | | | | | HP CURIEL,RICK | | 1S | | | 23:11:31 | | | 23:18:15 |
| 170522-0001 | | | 05/22/2017 00:03:08 | | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | CITE | . | PKG | | | HP CORONEL,M | | *11 | | | 00:03:08 | | | 00:08:17 |
| | | | | | | | | | | | | | | |
| 170610-0011 | | | | | | | | | | | | | | |

Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Last Date: 06/11/2017

Jurisdiction: HPPD

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|--------------------|-------------|------------|---------------------|---------------|------------------------|----------------|------------------|----------------|-------------|-----------------|----------------|----------------|---------------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| | | | | | | | | | | | | | |
| 170610-0011 | | | 06/10/2017 00:28:03 | | VERNON PD | | | | | | | | |
| | NRD | . | 242R | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | | | | HP | ANDRADE,H | | | *11 | | 00:32:57 | 00:35:40 | | 01:00:40 |
| | | | | HP | NICHOLS,N | | | 13 | | 00:32:59 | 00:38:03 | | 01:00:41 |
| 170611-0083 | | | 06/11/2017 23:51:18 | | 3256 E GAGE AV, HTG PK | | | | | | | | |
| | CITE | . | VEH CK | | | | | | | | | | |
| | | | | HP | CORONEL,M | | | *11 | | 23:51:18 | | | 23:58:02 |
| | | | | HP | DURAN,S | | | 12 | | 23:51:30 | | | 23:58:02 |

* Denotes Primary Unit

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|-------------|------|-----|------------|---------|------------|-------------------------------------------------------|----------------------------------------------------------|-------------|------|------------------|------------------------|------------------------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| | | | | | | | | | | | | | |
| 150110-0009 | | | | | | | | | | | | | |
| | RPT | . | 01/10/2015 | 211R | 02:49:02 | VILLALOBOS MARICELA E GAGE AV // NEWELL ST, HTG PK | | | | Department HP | OCA Number 15-00170 | RMS Juris CA0193100 | |
| | | | | | | | HP | MARES,J | *12 | 03:25:36 | 03:32:09 | | 04:05:46 |
| 150129-0037 | | | | | | | | | | | | | |
| | ADV | 24 | . | GTAR | 01/29/2015 | 10:20:45 | LOPEZ CESAR E GAGE AV // NEWELL ST, HTG PK | | | | | | |
| | | | | | | | HP | BOJORQUEZ,M | *24 | 10:25:13 | 10:26:58 | | 11:04:48 |
| 150130-0012 | | | | | | | | | | | | | |
| | RPT | 24 | . | GTAR | 01/30/2015 | 07:49:05 | E GAGE AV // NEWELL ST, HTG PK | | | Department HP | OCA Number 15-00566 | RMS Juris CA0193100 | |
| | | | | | | | HP | BOJORQUEZ,M | *24 | 07:51:00 | | | 08:34:26 |
| 150206-0097 | | | | | | | | | | | | | |
| | OK | 6G | . | SOW | 02/06/2015 | 23:09:05 | E GAGE AV // NEWELL ST, HTG PK | | | | | | |
| | | | | | | | HP | LEE,H | *6G | | 23:09:05 | | 23:20:26 |
| | | | | | | | HP | PRADO,G | 1G | | 23:09:43 | | 23:20:25 |
| | | | | | | | HP | GUTIERREZ,J | 2G | | 23:09:44 | | 23:20:25 |
| | | | | | | | HP | GUERRERO,E | 3G | 23:09:48 | | | 23:20:26 |
| | | | | | | | HP | STAAL,G | 4G | 23:09:48 | | | 23:20:26 |
| 150207-0029 | | | | | | | | | | | | | |
| | ADV | . | 02/07/2015 | ADVISAL | 06:47:03 | E GAGE AV // NEWELL ST, HTG PK | | | | | | | |
| | | | | | | | HP | GUIZAR,A | *13 | | 06:47:03 | | 06:50:12 |
| | | | | | | | HP | NIJLAND,P | 22 | | 06:47:06 | | 06:50:12 |
| | | | | | | | HP | MARQUEZ,A | 24 | 06:47:39 | | | 06:50:12 |
| 150214-0094 | | | | | | | | | | | | | |
| | ASST | 14 | . | 242 | 02/14/2015 | 22:30:48 | MCDONALD`S RESTAURANTS E GAGE AV // NEWELL ST, HTG PK | | | | | | |
| | | | | | | | HP | FUENTES,M | *14 | 22:32:53 | 22:42:46 | | 23:14:39 |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|-------------|------|-----|----------|--------------|-----------|--------------------------------|-----------|---------|------|----------|---------|---------|----------|--|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | | |
| 150214-0094 | | | | | | | | | | | | | | |
| | ASST | 14 | . | 02/14/2015 | 22:30:48 | MCDONALD`S RESTAURANTS | | | | | | | | |
| | | | | 242 | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | | | | | | HP LEE,H | | 33 | | 22:32:54 | | | 22:58:47 | |
| 150220-0072 | | | | | | | | | | | | | | |
| | RPT | 33 | . | 02/20/2015 | 15:25:26 | | | | | | | | | |
| | | | | 242R | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | | | | | | HP WELP,D | | *33 | | 15:25:28 | | | 15:39:08 | |
| 150223-0045 | | | | | | | | | | | | | | |
| | ARR | | . | 02/23/2015 | 13:47:54 | | | | | | | | | |
| | RPT | | | PED | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | | | | | | HP MARQUEZ,A | | *24 | | 13:47:54 | | | 14:17:43 | |
| | | | | | | HP GARCIA,C | | 23 | | 13:48:04 | | | 14:17:42 | |
| 150326-0066 | | | | | | | | | | | | | | |
| | ADV | 32 | . | 03/26/2015 | 14:54:48 | | | | | | | | | |
| | | | | Traffic Stop | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | 14:59:55 | |
| | | | | | | HP RODRIGUEZ,CAR | | *32 | | 14:54:48 | | | | |
| | | | | | | HP GONZALEZ,A | | 1T | | 14:55:06 | | | 14:55:47 | |
| 150503-0011 | | | | | | | | | | | | | | |
| | ADV | | . | 05/03/2015 | 01:43:19 | | | | | | | | | |
| | | | | Traffic Stop | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | | | | | | HP DURAN,S | | *12 | | 01:43:19 | | | 01:46:30 | |
| | | | | | | HP SPINDOLA,C | | 13 | | 01:43:22 | | | 01:46:31 | |
| 150512-0069 | | | | | | | | | | | | | | |
| | ADV | | . | 05/12/2015 | 17:34:53 | JOSE RUIZ | | | | | | | | |
| | | | | 211 | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | | | | | | HP RODRIGUEZ,CAR | | *32 | | 17:38:03 | | | 17:54:39 | |
| | | | | | | HP WELP,D | | 33 | | 17:38:06 | | | 17:54:40 | |
| 150527-0038 | | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|--------------------|------|-----|---------------------|---------------|-----------|--------------------------------|-----------|-----------|------|----------|----------|----------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| 150527-0038 | | | | | | | | | | | | | |
| RPT | CC | . | 05/27/2015 10:34:36 | KAREN TIRADO | LOST PROP | E GAGE AV // NEWELL ST, HTG PK | HP | DISPATCH3 | *CC | | 10:40:38 | | 10:40:51 |
| 150601-0094 | | | | | | | | | | | | | |
| GOA | | . | 06/01/2015 21:40:47 | ANON | CW | E GAGE AV // NEWELL ST, HTG PK | HP | DURAN,S | *12 | 21:44:36 | | 21:45:09 | |
| | | | | | | | HP | FUENTES,M | 14 | 21:45:15 | | 21:50:36 | |
| | | | | | | | HP | VALLE,F | 15 | 21:45:07 | 21:50:33 | | 21:50:50 |
| 150623-0034 | | | | | | | | | | | | | |
| Comp | | . | 06/23/2015 09:54:54 | 170 | | E GAGE AV // NEWELL ST, HTG PK | HP | LOZANO,J | *W8 | | 09:54:55 | | 11:31:34 |
| 150721-0102 | | | | | | | | | | | | | |
| RPT | 11 | . | 07/21/2015 23:20:39 | TORRES FREDDY | 245 | E GAGE AV // NEWELL ST, HTG PK | HP | RENDON,A | *11 | 23:21:33 | 23:22:24 | 23:24:08 | 23:47:11 |
| | | | | | | | HP | MARQUEZ,A | 12 | | 23:22:02 | 23:24:15 | 23:47:11 |
| | | | | | | | HP | LOPEZ,D | 14 | | 23:34:51 | | 23:47:11 |
| | | | | | | | HP | CHACON,C | 1S | | | 23:26:09 | 23:47:11 |
| | | | | | | | HP | NAVIA,M | 3S | | 23:23:06 | 23:23:52 | 23:37:19 |
| 150724-0029 | | | | | | | | | | | | | |
| RPT | | . | 07/24/2015 10:57:11 | ERNESTO | 242R | E GAGE AV // NEWELL ST, HTG PK | HP | MARES,J | *24 | 11:10:10 | 11:15:51 | | 11:48:16 |
| | | | | | | | HP | PARRA,C | 22 | 11:10:13 | 11:14:56 | | 11:48:17 |
| 150903-0060 | | | | | | | | | | | | | |
| ADV | | . | 09/03/2015 13:53:12 | Traffic Stop | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|-------------|------|-----|------------|----------|--------------|-------------------------------------------------|-----------|---------------|------|------------|------------|----------|-----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| 150903-0060 | ADV | . | 09/03/2015 | 13:53:12 | Traffic Stop | E GAGE AV // NEWELL ST, HTG PK | | | | | | | |
| | | | | | | | HP | PRADO,G | *1G | | | 13:53:15 | 14:28:03 |
| 150918-0094 | ADV | . | 09/18/2015 | 23:26:26 | PED | E GAGE AV // NEWELL ST, HTG PK | | | | | | | |
| | SOW | | | | | | HP | GUTIERREZ,J | *2G | | | 23:26:26 | 23:34:15 |
| | | | | | | | HP | GUERRERO,E | 3G | | | 23:26:40 | 23:34:15 |
| 151009-0010 | RPT | 21 | 10/09/2015 | 08:25:49 | 459VR | ADRIANA VIDAL E GAGE AV // NEWELL ST, HTG PK | | | | Department | OCA Number | | RMS Juris |
| | | | | | | | HP | CARLOS,E | *21 | 08:27:54 | 15-05411 | 08:33:45 | CA0193100 |
| | | | | | | | | | | | | 08:41:48 | 09:10:37 |
| 151009-0013 | ASST | 21 | 10/09/2015 | 08:41:46 | MEDICAL AID | E GAGE AV // NEWELL ST, HTG PK | | | | Department | OCA Number | | RMS Juris |
| | | | | | | | HP | CARLOS,E | *21 | | 15-05413 | | CA0193100 |
| | | | | | | | HP | CASTRO,S | 25 | 08:45:58 | | | 08:51:03 |
| 151017-0045 | ADV | . | 10/17/2015 | 14:09:14 | 415S | BRENDA PEREZ E GAGE AV // NEWELL ST, HTG PK | | | | | | | 15:08:08 |
| | | | | | | | HP | RODRIGUEZ,CAR | *22 | | | 14:11:34 | 14:13:22 |
| | | | | | | | HP | GARCIA,C | 23 | | | 14:11:36 | 15:08:08 |
| 151023-0064 | FI | . | 10/23/2015 | 20:14:23 | PRCS | E GAGE AV // NEWELL ST, HTG PK | | | | | | | 20:27:06 |
| | | | | | | | HP | PRADO,G | *1G | | | 20:14:25 | |
| | | | | | | | HP | LISNER | GS | | | 20:16:28 | 20:27:07 |
| 151113-0059 | | | | | | | | | | | | | |

Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|-------------|------|-----|------------|-----------|------------|------------------------------------------|-----------------------------------------------|----------------|------|----------|----------|----------|----------|--|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | | |
| 160210-0053 | | | | | | | | | | | | | | |
| | RPT | . | 02/10/2016 | 243.4R | 14:39:59 | NATALY E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | | | | | | | HP | GUERRERO,E | *3G | 14:42:18 | | | | |
| | | | | | | | HP | WELP,D | 23 | | 14:45:16 | 14:51:12 | | |
| | | | | | | | HP | CASTRO,S | 24 | 14:42:47 | | 14:48:09 | | |
| | | | | | | | HP | LISNER | GS | | 14:43:30 | | 14:45:09 | |
| 160330-0067 | UTL | 5p | . | PKG | 03/30/2016 | 18:26:54 | MARIA E GAGE AV // NEWELL ST, HTG PK | | | | | | | |
| | | | | | | | HP | LECATO,ELIZABE | *5p | | 18:52:30 | 18:56:47 | | |
| | | | | | | | | | | | | | 19:05:05 | |
| 160402-0037 | RPT | . | 04/02/2016 | TC 20002R | 14:10:41 | LASO E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | IMP | | | | | | HP | NAVIA,M | *25 | | 14:39:58 | 14:47:33 | | |
| | | | | | | | HP | PALACIOS,E | 21 | | 14:50:57 | 14:56:51 | | |
| 160415-0038 | CITE | 2T | . | PED | 04/15/2016 | 12:21:10 | E GAGE AV // NEWELL ST, HTG PK | | | | | | | |
| | | | | | | | HP | FARMER,G | *2T | | 12:21:11 | | | |
| | | | | | | | | | | | | | 12:34:33 | |
| 160503-0062 | ADV | 12 | . | PED | 05/03/2016 | 22:08:58 | E GAGE AV // NEWELL ST, HTG PK | | | | | | | |
| | SOW | 12 | | | | | HP | CARLOS,E | *12 | | 22:08:58 | | | |
| | | | | | | | HP | GUIZAR,A | 13 | | 22:09:02 | | | |
| 160506-0063 | RPT | 31 | . | 417KNIFE | 05/06/2016 | 19:29:08 | WENDY REYES E GAGE AV // NEWELL ST, HTG PK | | | | | | | |
| | | | | | | | HP | BOJORQUEZ,M | *31 | 19:32:29 | | 19:35:37 | | |
| | | | | | | | | | | | | | 20:11:23 | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|-------------|------|-----|--------------|----------|--------------------------------|---------|-----------|----------|----------|----------|---------|---------|----------|--|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | | |
| 160506-0063 | | | 05/06/2016 | 19:29:08 | WENDY REYES | | | | | | | | | |
| | RPT | 31 | 417KNIFE | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | |
| | | | | HP | PARSA,M | | 33 | | | 19:36:24 | | | 19:45:21 | |
| | | | | HP | VERDIELL,J | | 3S | | 19:34:56 | | | | 20:11:24 | |
| | | | | HP | LISNER | | GS | 19:32:29 | | 19:36:55 | | | 19:44:16 | |
| 160614-0064 | | | 06/14/2016 | 15:49:52 | | | | | | | | | | |
| | CITE | | Traffic Stop | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | |
| | | | | HP | MENDOZA,M | | *3T | | | 15:49:54 | | | 15:55:55 | |
| 160730-0067 | | | 07/30/2016 | 17:19:12 | | | | | | | | | | |
| | ADV | | 415M | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | |
| | | | | HP | WASIK,C | | *21 | 17:22:57 | | 17:32:04 | | | 17:43:34 | |
| 160820-0072 | | | 08/20/2016 | 18:19:01 | | | | | | | | | | |
| | | | Traffic Stop | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | |
| | | | | HP | DURAN,S | | *13 | | 18:19:02 | | | | 18:22:56 | |
| 160920-0050 | | | 09/20/2016 | 12:43:18 | RAMONA CITY YARDS | | | | | | | | | |
| | ADV | | 415T | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | |
| | | | | HP | CASTRO,S | | *25 | | 12:57:12 | 13:04:55 | | | 13:09:41 | |
| 160923-0098 | | | 09/23/2016 | 20:14:29 | | | | | | | | | | |
| | RPT | | TC NON-INJ | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | |
| | | | | HP | MACIAS,J | | *14 | | 20:14:34 | | | | 20:26:33 | |
| | | | | HP | HENRIQUEZ,R | | 12 | | 20:17:49 | | | | 20:26:32 | |
| | | | | HP | CHAVEZ,G | | 32A | 20:25:38 | | | | | 20:26:33 | |
| 161002-0006 | | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|-------------|------|-----|----------|------------|-----------|--------------------------------|-----------|---------------|------|----------|----------|---------|----------|--|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | | |
| 161002-0006 | | | | | | | | | | | | | | |
| | ADV | 14 | . | 10/02/2016 | 00:55:10 | JESSICA | | | | | | | | |
| | SOW | 14 | | 415D | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | VERB | 14 | | | | | HP | ANDRADE,H | *14 | 00:57:28 | 00:59:45 | | 01:06:53 | |
| | | | | | | | HP | CARLOS,E | 12 | 00:57:29 | | | 00:58:04 | |
| | | | | | | | HP | RODRIGUEZ,SAU | 32 | 00:58:13 | 01:00:54 | | 01:06:53 | |
| 161105-0080 | | | | | | | | | | | | | | |
| | RPT | 12 | . | 11/05/2016 | 19:39:59 | FEMALE ANON | | | | | | | | |
| | | | | TC INJURY | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | | | | | | | HP | NIJLAND,P | *12 | 19:40:34 | 19:41:02 | | 20:14:15 | |
| | | | | | | | HP | CARLOS,E | 13 | 19:40:34 | | | 20:14:15 | |
| | | | | | | | HP | RODRIGUEZ,SAU | 32 | 19:40:35 | 19:41:19 | | 20:14:15 | |
| 161122-0069 | | | | | | | | | | | | | | |
| | OK | . | | 11/22/2016 | 20:55:44 | | | | | | | | | |
| | SOW | | | PED | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | | | | | | | HP | THORESON,S | *3S | | 20:56:06 | | 21:09:13 | |
| | | | | | | | HP | SPINDOLA,C | 31 | | 20:58:07 | | 21:09:12 | |
| | | | | | | | HP | SOBERANIS,E | 33 | | 20:58:29 | | 21:09:13 | |
| 161206-0004 | | | | | | | | | | | | | | |
| | ADV | 11 | . | 12/06/2016 | 00:47:19 | | | | | | | | | |
| | SOW | 11 | | PED | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| | | | | | | | HP | CORONEL,M | *11 | | 00:47:19 | | 00:53:36 | |
| | | | | | | | HP | CARLOS,E | 13 | 00:47:37 | 00:52:48 | | 00:53:36 | |
| 161207-0067 | | | | | | | | | | | | | | |
| | LOG | . | | 12/07/2016 | 14:52:03 | DAVE | | | | | | | | |
| | | | | 170 | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | |
| 161207-0083 | | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | | | | |
|-------------|------|-----|------------|------------|--------------------------------|--------------------------------|-----------|---------------|------|----------|----------|----------|------------|------------|-----------|-----------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | | | | |
| | | | | | | | | | | | | | | | | | |
| 161207-0083 | | | | | | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | Arrive | Remove | Comp | |
| 161207-0083 | ARR | . | 12/07/2016 | 17:40:57 | DAVE RIVERA | | | | | | | | | | | | |
| | RPT | | 415S | | E GAGE AV // NEWELL ST, HTG PK | | HP | SOBERANIS,E | *33 | 17:42:00 | | | Department | OCA Number | RMS Juris | | |
| | | | | | | | HP | SCHWARTZMAN,I | 32A | | | 17:52:13 | | | 16-06440 | CA0193100 | 17:47:42 |
| | | | | | | | HP | FUENTES,M | 34 | 17:42:03 | | 17:50:31 | | | | | 18:37:14 |
| | | | | | | | HP | VALLE,A | 3S | | | 17:43:19 | | | | | 18:08:05 |
| | | | | | | | | | | | | | | | | | 18:25:20 |
| 161210-0075 | ADV | 12 | . | 12/10/2016 | 20:48:55 | FEMALE CALLER | | | | | | | | | | | |
| | OK | 12 | | 594 | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | | | |
| | | | | | | | HP | ANDRADE,H | *14 | 20:52:25 | | | | | | | 20:52:53 |
| | | | | | | | HP | NIJLAND,P | 12 | 20:52:25 | 20:53:24 | 20:56:21 | | | | | 21:07:56 |
| | | | | | | | HP | RODRIGUEZ,SAU | 24 | 20:53:07 | 20:53:25 | | | | | | 21:07:57 |
| 161218-0048 | ADV | 14 | . | 12/18/2016 | 19:17:02 | ANGEL | | | | | | | | | | | |
| | | | | PKG | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | | | |
| | | | | | | | HP | ANDRADE,H | *14 | | 19:19:40 | 19:22:34 | | | | | 19:25:59 |
| 170121-0009 | RPT | 12 | . | 01/21/2017 | 02:19:47 | JOSH | | | | | | | | | | | |
| | | | | 245R | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | Department | OCA Number | RMS Juris | | |
| | | | | | | | HP | BOJORQUEZ,M | *12 | 02:22:58 | | 02:27:53 | | | | | 02:56:49 |
| 170121-0097 | CITE | 1P | . | 01/21/2017 | 21:16:09 | SUSANA RODRIGUEZ | | | | | | | | | | | |
| | | | | PKG | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | | | |
| | | | | | | | HP | MIRANDA,H | *1P | 21:17:35 | 21:17:58 | 21:22:30 | | | | | 21:33:10 |
| 170514-0108 | OK | 12A | . | 05/14/2017 | 23:20:03 | MANUEL | | | | | | | | | | | |
| | UTL | 12A | | DWN | | E GAGE AV // NEWELL ST, HTG PK | | | | | | | | | | | |
| | | | | | | | HP | SCHWARTZMAN,I | *13 | | 23:21:04 | 23:24:41 | | | | | 23:32:49 |
| | | | | | | | HP | GARCIA,R | 12A | 23:21:32 | 23:23:37 | | | | | | 23:34:33 |

Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Last Date: 05/16/2017

Jurisdiction: HPPD

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|--------------------|-------------|------------|---------------------|--------------------------------|------------------|----------------|------------------|----------------|-------------|-----------------|----------------|----------------|---------------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| | | | | | | | | | | | | | |
| 170514-0108 | | | 05/14/2017 23:20:03 | MANUEL | | | | | | | | | |
| | OK | 12A | . | E GAGE AV // NEWELL ST, HTG PK | DWN | | HP | PEREZ,T | 31A | | 23:23:42 | | 23:34:33 |
| | UTL | 12A | | | | | | | | | | | |
| 170516-0084 | | | 05/16/2017 22:36:30 | ANGEL ARANDIA | | | | | | | | | |
| | FI | | . | E GAGE AV // NEWELL ST, HTG PK | 415S | | HP | CARLOS,E | *12 | 22:39:13 | 22:41:48 | | 23:00:45 |
| | | | | | | | HP | NICHOLS,N | 13 | 22:39:15 | 22:43:30 | | 23:00:45 |

* Denotes Primary Unit

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|--------------------|------|------------|------------|------------------------------|-------------------------------------------|---------|-----------|---------|----------|----------|----------|---------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| 150121-0078 | | | | | | | | | | | | | |
| ADV | . | 01/21/2015 | 16:57:12 | CARLOS | | | | | | | | | |
| SOW | | 415T | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | | | | HP | WELP,D | | | *33 | | 17:20:35 | 17:24:54 | | 17:29:19 |
| | | | | HP | PALACIOS,E | | | 31 | | 17:20:36 | | | 17:29:19 |
| 150125-0049 | | | | | | | | | | | | | |
| RPT | . | 01/25/2015 | 14:01:01 | VARGAS ANEL | | | | | | | | | |
| | | TC NON-INJ | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | | | | HP | RODRIGUEZ,SAU | | | *32 | | 14:03:34 | 14:11:53 | | |
| | | | | | | | | | | | | | |
| 150213-0067 | | | | | | | | | | | | | |
| ASST | 23 | . | 02/13/2015 | 16:01:19 | SOCORRO HERRERA | | | | | | | | |
| | | | TC NON-INJ | | NEWELL ST // GAGE AV, HTG PK S/A TB 675 B | | | | | | | | |
| | | | | HP | DIAZ,MARIO | | | *23 | 16:07:28 | 16:07:58 | 16:16:08 | | 16:28:47 |
| 150310-0071 | | | | | | | | | | | | | |
| UTL | . | 03/10/2015 | 16:33:48 | DENISE RAMIREZ | | | | | | | | | |
| | | 415F | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | | | | HP | RODRIGUEZ,CAR | | | *32 | | 16:38:32 | 16:40:39 | | 16:42:47 |
| | | | | HP | PALACIOS,E | | | 31 | | 16:40:56 | | | 16:42:46 |
| | | | | HP | WELP,D | | | 33 | | 16:39:14 | | | 16:41:01 |
| 150329-0083 | | | | | | | | | | | | | |
| ASST | 32 | . | 03/29/2015 | 21:55:38 | MOISES | | | | | | | | |
| INFX | 32 | | TC NON-INJ | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | HP | SPINDOLA,C | | | *13 | | 21:57:16 | 22:01:29 | | 22:42:34 |
| | | | | HP | RODRIGUEZ,SAU | | | 32 | | 21:57:17 | 21:59:54 | | 22:42:34 |
| 150329-0085 | | | | | | | | | | | | | |
| UTL | 14 | . | 03/29/2015 | 22:20:10 | JUAN | | | | | | | | |
| UTL | | | SUSP SUBJ | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | HP | FUENTES,M | | | *14 | | 22:22:32 | 22:30:15 | | 22:32:34 |
| | | | | HP | FARMER,G | | | 11 | | 22:22:32 | 22:27:23 | | 22:38:36 |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

| Call Number | Disp | Ten | Received | Caller | | Unit Time | | | | | | | | | |
|-------------|------|-----|---------------------|--------|-----------|------------------------------|-----|---------|------|----------|----------|----------|--------|----------|----------|
| | | | | Code | Complaint | Address | | | | | | | | | |
| | | | | | | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | Arrive | Remove |
| 150429-0081 | | | 04/29/2015 17:02:56 | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | ADV | 32 | . | PED | | RODRIGUEZ,CAR | HP | | *32 | | | 17:02:56 | | | 17:08:02 |
| 150601-0027 | | | 06/01/2015 09:59:57 | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | CITE | | . | PED | | NAVIA,M | HP | | *25 | | | 09:59:57 | | | 10:12:27 |
| | | | | | | MENDOZA,M | HP | | 22 | | 10:00:35 | | | | 10:12:27 |
| 150715-0028 | | | 07/15/2015 08:58:45 | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | FI | 24 | . | PED | | BOJORQUEZ,M | HP | | *24 | | | 08:58:46 | | | 09:20:00 |
| | SOW | 24 | | | | PARRA,C | HP | | 22 | | 08:58:52 | | | | 09:19:59 |
| | | | | | | PORRAS,J | HP | | 26 | | | 09:03:40 | | | 09:20:00 |
| | | | | | | ALPIZAR,GABRIEL | HP | | D5 | | 09:00:33 | | | | 09:20:01 |
| 150718-0097 | | | 07/18/2015 21:40:14 | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | ADV | 33 | . | FLAG | | PARSA,M | HP | | *33 | | | 21:40:14 | | | 21:45:40 |
| 150719-0062 | | | 07/19/2015 16:02:54 | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | ADV | 33 | . | PED | | PARSA,M | HP | | *33 | | | 16:02:54 | | | 16:15:55 |
| | | | | | | RODRIGUEZ,SAU | HP | | 32 | | 16:02:56 | | | | 16:15:54 |
| 150726-0063 | | | 07/26/2015 14:02:46 | | | PEREZ IRMA | | | | | | | | | |
| | ADV | | . | HS | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | SOW | 24 | | | | MENDOZA,M | HP | | *24 | | 14:20:39 | | | 14:22:08 | |
| | | | | | | WASIK,C | HP | | 25 | | 14:20:42 | | | 14:22:12 | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|--------------------|------|-----|------------|------------|-----------|------------------------------|-----------|---------|----------|----------|---------|---------|----------|--|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | Arrive | |
| | | | | | | | | | | | | | Remove | |
| | | | | | | | | | | | | | Comp | |
| 150726-0063 | | | | | | | | | | | | | | |
| | ADV | . | 07/26/2015 | 14:02:46 | | PEREZ IRMA | | | | | | | | |
| | SOW | 24 | | HS | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | HP | RODRIGUEZ,SAU | 32 | | 14:22:06 | | | | 14:43:32 | |
| | | | | | HP | GUIZAR,A | 33 | | 14:22:04 | 14:36:11 | | | 14:43:32 | |
| 150729-0061 | | | | | | | | | | | | | | |
| | ADV | . | 07/29/2015 | 18:58:23 | | ARRANDIA ANGEL | | | | | | | | |
| | SOW | | | 415S | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | HP | LOZANO,HUMBEF | *34 | | 19:01:23 | 19:04:10 | | | 19:05:48 | |
| | | | | | HP | DURAN,S | 32 | | 19:01:26 | | | | 19:05:48 | |
| 150831-0067 | | | | | | | | | | | | | | |
| | ARR | 33 | . | 08/31/2015 | 14:44:42 | | | | | | | | | |
| | RPT | 33 | | PED | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | HP | GUIZAR,A | *33 | | 14:44:42 | 15:02:27 | | | 15:14:04 | |
| | | | | | HP | MAGALLANES,M | 31 | | 14:53:35 | | | | 15:02:33 | |
| 150902-0046 | | | | | | | | | | | | | | |
| | REC | . | 09/02/2015 | 13:37:50 | | | | | | | | | | |
| | | | | REC | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | HP | RODRIGUEZ,DA | *7P | | 13:37:50 | | | | 14:09:30 | |
| 150929-0036 | | | | | | | | | | | | | | |
| | RPT | . | 09/29/2015 | 10:48:30 | | OSCAR EFRAIN DE LEON ARANGO | | | | | | | | |
| | | | | 459VR | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | HP | | | | | | | | | |
| 160215-0047 | | | | | | | | | | | | | | |
| | RPT | . | 02/15/2016 | 17:52:45 | | SGT. THORESON | | | | | | | | |
| | | | | TC NON-INJ | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | HP | MENDOZA,M | *3T | | 18:02:54 | 18:11:08 | | | 18:35:49 | |
| 160305-0057 | | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

| Call Number | Disp | Ten | Received | Caller | | Unit Time | | | | | | | | | |
|-------------|------|-----|------------|--------------|-----------|------------------------------|-----|---------------|------|----------|---------|----------|----------|--------|----------|
| | | | | Code | Complaint | Address | | | | | | | | | |
| | | | | | | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | Arrive | Remove |
| 160305-0057 | | | | | | | | | | | | | | | |
| | ASST | . | 03/05/2016 | 15:11:19 | | | | | | | | | | | |
| | INFX | | TC NON-INJ | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | | | | | | | HP | WASIK,C | | *24 | | 15:12:18 | 15:16:44 | | 15:40:49 |
| 160312-0012 | | | | | | | | | | | | | | | |
| | ADV | . | 03/12/2016 | 02:19:57 | | JUANITA | | | | | | | | | |
| | SOW | | CW | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | VERB | | | | | | HP | SPINDOLA,C | | *14 | | 02:24:28 | 02:26:32 | | 02:46:43 |
| | | | | | | | HP | GUIZAR,A | | 13 | | 02:24:29 | 02:25:50 | | 02:46:43 |
| 160320-0016 | | | | | | | | | | | | | | | |
| | ARR | 13 | . | 03/20/2016 | 01:49:23 | | | | | | | | | | |
| | RPT | | | Traffic Stop | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | | | | | | | HP | THORESON,S | | *1S | | 01:49:24 | | | 02:15:23 |
| | | | | | | | HP | CARLOS,E | | 12 | | 02:11:52 | | | 02:30:55 |
| | | | | | | | HP | FARMER,G | | 13 | | 01:49:33 | 01:52:32 | | 03:06:32 |
| 160331-0001 | | | | | | | | | | | | | | | |
| | ADV | 12 | . | 03/31/2016 | 00:06:55 | | | | | | | | | | |
| | | | | PED | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | | | | | | | HP | CARLOS,E | | *12 | | 00:06:59 | | | 00:12:18 |
| 160425-0026 | | | | | | | | | | | | | | | |
| | UTL | . | 04/25/2016 | 09:27:56 | | | | | | | | | | | |
| | | | | SEC CK | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | | | | | | | HP | RODRIGUEZ,CAR | | *22 | | 09:38:07 | 09:45:03 | | 09:49:21 |
| | | | | | | | HP | NAVIA,M | | 25 | | 09:38:45 | 09:45:05 | | 09:49:21 |
| 160521-0007 | | | | | | | | | | | | | | | |
| | REC | 12 | . | 05/21/2016 | 01:05:08 | MARIO CHACON | | | | | | | | | |
| | IMP | 12 | | TC 20002 | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | | |
| | RPT | 12 | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | | |
|-------------|------|-----|------------|------------|-----------|------------------------------|-----------|-------------|------|----------|----------|---------|----------|--|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart | |
| | | | | | | | | | | | | | | |
| 160521-0007 | | | | | | | | | | | | | | |
| | REC | 12 | . | 05/21/2016 | 01:05:08 | MARIO CHACON | | | | | | | | |
| | IMP | 12 | | TC 20002 | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | RPT | 12 | | | | | HP | MARES,J | *12 | 01:06:42 | 01:11:54 | | 02:42:31 | |
| | | | | | | | HP | PARSA,M | 11 | 01:08:55 | 01:11:54 | | 02:00:13 | |
| | | | | | | | HP | LEE,H | 13 | 01:07:13 | 01:11:58 | | 02:00:14 | |
| | | | | | | | HP | SPINDOLA,C | 14 | 01:11:09 | 01:15:32 | | 02:00:14 | |
| 160621-0078 | | | | | | | | | | | | | | |
| | ARR | . | 06/21/2016 | 15:15:37 | | | | | | | | | | |
| | RPT | | 415S | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | | | HP | Coronel,M | *33A | 15:15:37 | | | | |
| | | | | | | | HP | PRADO,G | 1G | 15:17:51 | | | 15:22:54 | |
| | | | | | | | HP | LISNER | 3S | 15:17:36 | | | 16:24:04 | |
| | | | | | | | HP | STAAL,G | 4G | 15:17:46 | | | 16:24:02 | |
| 160717-0084 | | | | | | | | | | | | | | |
| | NRD | 14 | . | 07/17/2016 | 23:20:32 | RAMON R.N | | | | | | | | |
| | | | 242R | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | | | HP | FUENTES,M | *14 | 23:25:27 | 23:33:09 | | 23:40:17 | |
| 161015-0067 | | | | | | | | | | | | | | |
| | LOG | . | 10/15/2016 | 16:44:49 | | MARAVILLA FRANK | | | | | | | | |
| | | | TC 20002R | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| 161103-0075 | | | | | | | | | | | | | | |
| | CITE | E2 | . | 11/03/2016 | 20:35:21 | | | | | | | | | |
| | SOW | | PED | | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | | | HP | PORRAS,J | *E2 | 20:35:21 | | | 20:41:47 | |
| | | | | | | | HP | CURIEL,RICK | E1 | 20:35:26 | | | 20:41:47 | |
| | | | | | | | HP | MARETTI,R | ES | 20:35:26 | | | 20:41:48 | |
| 170225-0088 | | | | | | | | | | | | | | |

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

| Call Number | Disp | Ten | Received | Caller | | Address | Unit Time | | | | | | |
|--------------------|------|-----|--------------|--------------|------------------------------|------------------------------|-----------|---------|----------|----------|----------|---------|----------|
| | | | | Code | Complaint | | Dep | Officer | Unit | Dispatch | Enroute | OnScene | Depart |
| | | | | | | | | | | | | | Arrive |
| 170225-0088 | | | | | | | | | | | | | |
| | ARR | . | 02/25/2017 | 19:34:41 | MAYRA | | | | | | | | |
| | RPT | | 415S | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | HP SOBERANIS,E | | | *14 | 19:38:07 | 19:38:56 | 19:43:13 | | |
| | | | | | HP ANDRADE,H | | | 13 | 19:38:08 | 19:38:55 | 19:41:57 | | |
| | | | | | HP INOUE,D | | | | X1 | | 19:42:36 | | |
| | | | | | | | | | | | | | 19:47:57 |
| | | | | | | | | | | | | | 20:23:53 |
| 170408-0089 | | | | | | | | | | | | | |
| | CITE | . | 04/08/2017 | 22:14:13 | | | | | | | | | |
| | | | Traffic Stop | | NEWELL ST // GAGE AV, HTG PK | | | | | | | | |
| | | | | | HP DURAN,S | | | *12 | | | 22:14:14 | | |
| | | | | | | | | | | | | | 22:23:29 |
| 170509-0101 | | | | | | | | | | | | | |
| | CITE | 12 | . | 05/09/2017 | 23:47:06 | | | | | | | | |
| | IMP | | | Traffic Stop | | NEWELL ST // GAGE AV, HTG PK | | | | | | | |
| | | | | | HP CARLOS,E | | | *12 | | | 23:47:06 | | |
| | | | | | HP HENRIQUEZ,R | | | 14 | | 23:47:57 | 23:51:05 | | |
| | | | | | | | | | | | | | 00:20:15 |
| | | | | | | | | | | | | | 00:31:36 |

* Denotes Primary Unit

ALCOHOLIC BEVERAGE CONTROL CONDITIONS OF APPROVAL

EXHIBIT C

BEFORE THE
DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL
OF THE STATE OF CALIFORNIA

IN THE MATTER OF THE APPLICATION OF

JAVIER SANCHEZ GONZALEZ
CLUB 21
3256 E GAGE AVE
HUNTINGTON PARK, CA 90255-5442

} FILE 42-571381
}
} REG.
}

21

} PETITION FOR CONDITIONAL
} LICENSE

For Issuance of an On-Sale Beer And Wine - Public
Premises - License

Under the Alcoholic Beverage Control Act

WHEREAS, petitioner(s) has/have filed an application for the issuance of the above-referred-to license(s) for the above-mentioned premises; and,

WHEREAS, the proposed premises and/or parking lot, operated in conjunction therewith, are located within 100 feet of residences(s); and,

WHEREAS, issuance of the applied-for license without the below-described conditions would interfere with the quiet enjoyment of the property by nearby residents and constitute grounds for the denial of the application under the provisions of Rule 61.4, of Chapter 1, Title 4, of the California Code of Regulations; and,

WHEREAS, the premises to be licensed is located in an area in which there is a significant law enforcement problem; and,

WHEREAS, the issuance of an unrestricted license would be contrary to public welfare or morals;

NOW, THEREFORE, the undersigned petitioner(s) do/does hereby petition for a conditional license as follows, to-wit:

- 1 Sales, service and consumption of alcoholic beverages shall be permitted only between the hours of 10am to 12midnight, each day of the week.
- 2 No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee(s) as depicted on the ABC-257 and ABC-253 dated 6/30/2016.
- 3 The petitioner(s) shall be responsible for maintaining free of litter the area adjacent to the premises over which they have control, as depicted on the ABC-257 and ABC-253 dated 6/30/2016.
- 4 Any graffiti painted or marked upon the premises or on any adjacent area under the control of the licensee(s) shall be removed or painted over within 72 hours of being applied.
- 5 No "happy hour" type or reduced price alcoholic beverage promotion shall be allowed.

JSG
Initials

RECEIVED

21

LAW

6 There shall be no dancing allowed on the premises.

7 There shall be no amusement machines or video game devices in the premises at any time.

8 The rear/side doors of the premises shall be equipped on the inside with an automatic locking device and shall be closed at all times, and shall not be used as a means of access by patrons to and from the licensed premises. Temporary use of these doors for delivery of supplies does not constitute a violation.

9 Entertainment provided shall not be audible beyond the area under the control of the licensee(s) as defined on the ABC-257 and ABC-253 dated 6/30/2016.

10 There shall be no live entertainment of any type, including but not limited to live music, disc jockey, topless entertainment, male or female performers or fashion shows. Karaoke is not deemed a violation of this condition.

11 The parking lot of the premises shall be equipped with lighting of sufficient power to illuminate and make easily discernible the appearance and conduct of all persons on or about the parking lot. Additionally, the position of such lighting shall not disturb the normal privacy and use of any neighboring residences.

12 There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.

13 Loitering is prohibited on or around these premises or this area under the control of the licensee(s) as depicted on the ABC-257 and ABC-253 dated 6/30/2016.

14 No employee or agent shall be permitted to accept money or any other thing of value from a customer for the purpose of sitting or otherwise spending time with customers while in the premises, nor shall the licensee(s) provide or permit, or make available either gratuitous or for compensation, male or female persons who act as escorts, companions, or guests of and for the customers.

15 No employee or agent shall solicit or accept any alcoholic or non-alcoholic beverage from any customer while in the premises.

This petition for conditional license is made pursuant to the provisions of Sections 23800 through 23805 of the Business and Professions Code and will be carried forward in any transfer at the applicant-premises.

Petitioner(s) agree(s) to retain a copy of this petition on the premises at all times and will be prepared to produce it immediately upon the request of any peace officer.

The petitioner(s) understand(s) that any violation of the foregoing condition(s) shall be grounds for the suspension or revocation of the license(s).

DATED THIS 20 DAY OF October, 20 16.

Frank Sander
Applicant/Petitioner

Applicant/Petitioner

LICENSED PREMISES DIAGRAM (RETAIL)

1. APPLICANT NAME (If individual, last, first, middle)

Gonzalez Jovier Sanchez

3. PREMISES ADDRESS (Street number and name, city, zip code)

3256 E Gage Ave Huntington Park CA 90255

2. LICENSE TYPE

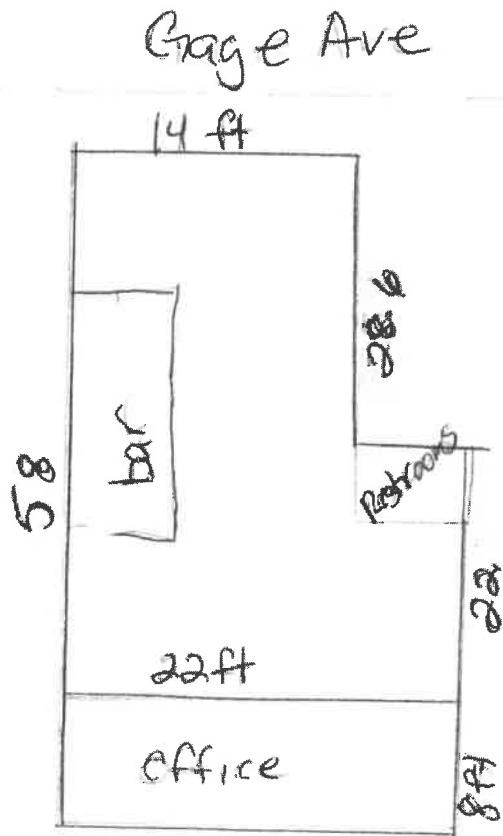
42

4. NEAREST CROSS STREET

Newell St.

The diagram below is a true and correct description of the entrances, exits, interior walls and exterior boundaries of the premises to be licensed, including dimensions and identification of each room (i.e., "storeroom", "office", etc.).

DIAGRAM



It is hereby declared that the above-described boundaries, entrances and planned operation as indicated on the reverse side, will not be changed without first notifying and securing prior written approval of the Department of Alcoholic Beverage Control. I declare under penalty of perjury that the foregoing is true and correct.

APPLICANT SIGNATURE (Only one signature required)

CERTIFIED CORRECT (Signature)

ABC-257 (10/05)

DATE SIGNED

01/30/16

INSPECTION DATE

Completed/Retained

PRINTED NAME

FOR ABC USE ONLY

ANGIE RIVERA

Department of Alcoholic Beverage Control
LICENSED PREMISES DIAGRAM (RETAIL)

State of California
Edmund G. Brown Jr., Governor

1. APPLICANT NAME (If individual, last, first, middle)

Gonzalez Jovier Sonchez

2. LICENSE TYPE

42

3. PREMISES ADDRESS (Street number and name, city, zip code)

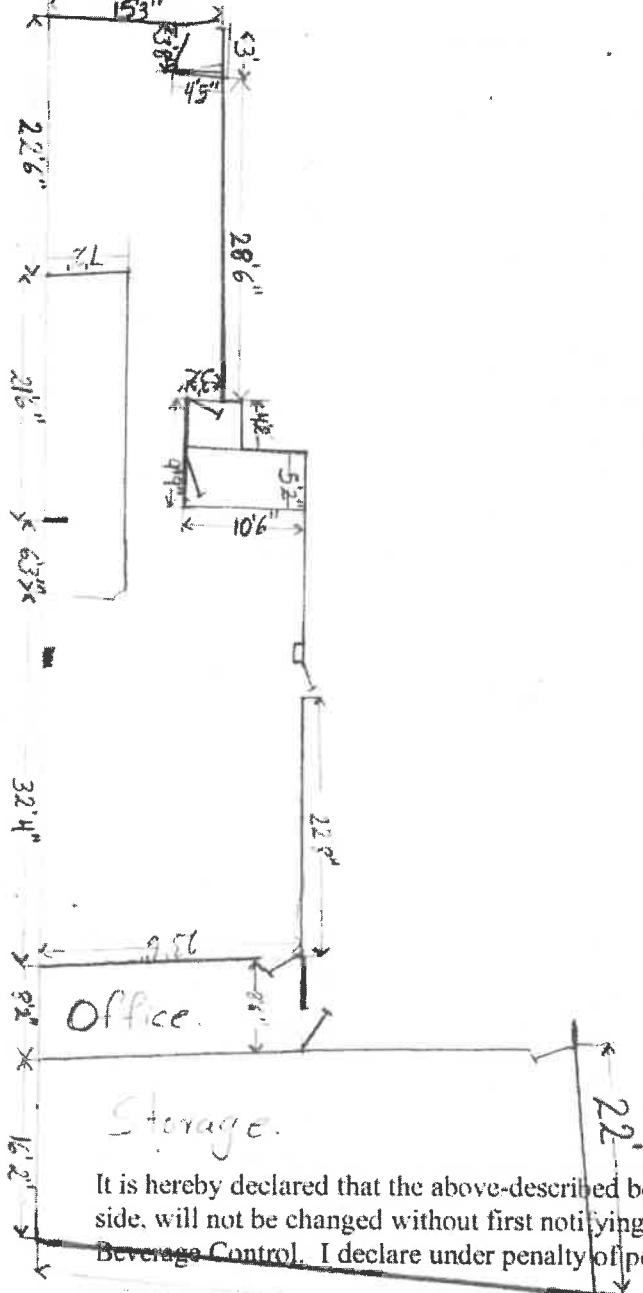
3256 E Gage Ave Huntington Park CA 90255

4. NEAREST CROSS STREET

Newell St.

The diagram below is a true and correct description of the entrances, exits, interior walls and exterior boundaries of the premises to be licensed, including dimensions and identification of each room (i.e., "storeroom", "office", etc.).

DIAGRAM



It is hereby declared that the above-described boundaries, entrances and planned operation as indicated on the reverse side, will not be changed without first notifying and securing prior written approval of the Department of Alcoholic Beverage Control. I declare under penalty of perjury that the foregoing is true and correct.

APPLICANT SIGNATURE (Only one signature required)

Gonzalez Jovier Sonchez

DATE SIGNED

6-30-10

CERTIFIED CORRECT (Signature)

PRINTED NAME

FOR ABC USE ONLY

INSPECTION DATE

SUPPLEMENTAL DIAGRAM

Instructions to Applicant:

Draw a sketch of the area on which the licensed premises is or will be located. Show adjacent structures and nearest cross streets. If this is an event for a daily license, catering authorization or miscellaneous use, show the area where sales and consumption of alcoholic beverages will occur. Post a copy of this diagram with Daily License, Catering Authorization or Event Authorization where the event is held. Sales and consumption of alcoholic beverages must be confined to the area designated in the diagram and supervised to prevent violations of the Alcoholic Beverage Control Act.

1. APPLICANT NAME (Last, first, middle)

Gonzalez Javier sonchez

12. LICENSE TYPE

42

3. PREMISES ADDRESS (Street number and name, city, zip code)

3256 E Gage Ave. Huntington Park CA 90255

4. NEAREST CROSS STREET

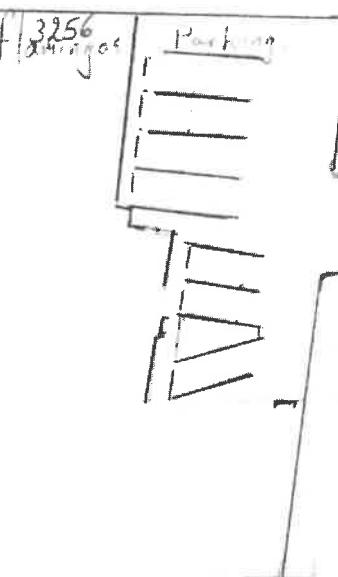
DIAGRAM

Newell St.

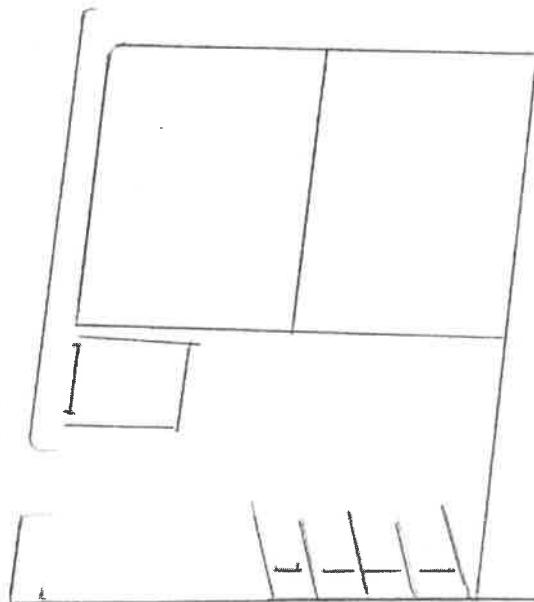
Gage Ave

3250

Business



Newell St.



Chiropractor

Alex

Houses

Houses

I have read the above instructions and I declare under penalty of perjury that the above diagram is true and correct.

APPLICANT SIGNATURE

Gonzalez, Javier sonchez

DATE SIGNED

6-30-16

CERTIFIED CORRECT (Signature)

Angie Rivera

FOR ABC USE ONLY

ANGIE RIVERA

INSPECTION DATE

Compared/verified

BUSINESS PROMOTIONS AND ADVERTISEMENTS

EXHIBIT D



Club 21 Bar

June 17 at 7:19pm · 3

BANDA REBELDE DE 9PM A 2AM FIERRO

Rebel band from 9 PM TO 2 AM FIERRO

Translated

Venga a celebrar el dia del padre con una rica CARNE ASADA!!! gratis de 5pm a 9pm y despues le tenemos una gran sorpresa a esos papa's. 
3256 E. Gage ave Huntington park, ca 90255





Club 21 Bar

June 17 at 5:51pm · 

Celebrando el dia del padre carne asada gratis todo los Domingos de 5pm a 9pm con La BANDA REBELDE

3256 E. Gage ave Huntington park, ca 90255



Avierto los 7 dias de 2pm a 2am

Club 21 Bar empieza con su tardiada de
CARNE ASADA GRATIS todo los DOMINGOS!!



**3256 E. Gage Ave
Huntington Park CA 90255**

Club 24

3256



OPEN

BUD
LIGHT

ESTE
SABADO



Hoy carne Asada GRATIS de 5pm a 9pm y el
Juego en pantalla GRANDE tenemos una
SORPRESA despues de el Jugo
3256 E. Gage ave Huntington park, ca 90255
El juego es 5:30pm



CLUB 21 BAR PRESENTA

Noche De Banda

TODOS LOS DOMINGOS



DJ AY PAPE!



3256 E Gage Ave Huntington Park CA 90255

PANCHO RIVAS DEL DURANGO'S BAR

**LOS INVITA A SU NUEVO LUGAR
A PARTIR DE ESTE ENERO 1ro. 2017**

CLUB 21

ANTES EL FLAMINGO'S BAR

3257 E GAGE AVE. ENTRE STATE ST. Y CALIFORNIA AVE, HUNTINGTON, PARK.

!!! GRAN INAUGURACION SABADO 21 ENERO !!!

CON LA PRESENTACION DE

**LOS
INCOMPARABLES
DE TIJUANA**



ADEMÁS!!!

LA SONORA DINAMITA

**TODOS LOS MIERCOLES
Y DOMINGOS**
**BANDA
SINALOENSE**

**DE MIERCOLES A DOMINGO
LA MEJOR MUSICA REGIONAL MEXICANA**

BETO DJ
AY PAPEL!!!
Y SU SISTEMA DE VIDEO MUSICALES
TENEMOS LAS MEJORES CERVEZAS
IMPORTADAS Y NACIONALES!!!

**TE ESPERAMOS TODOS
LOS JUEVES**
**MUSICA
NORTENA**

VIERNES MUSICA DE

**ACORDEON
Y TUBA**

STATE ST. GAGE AVE. CALIFORNIA
FLORENCE



Club 21 Bar

Like This Page · May 1 · Edited · 0

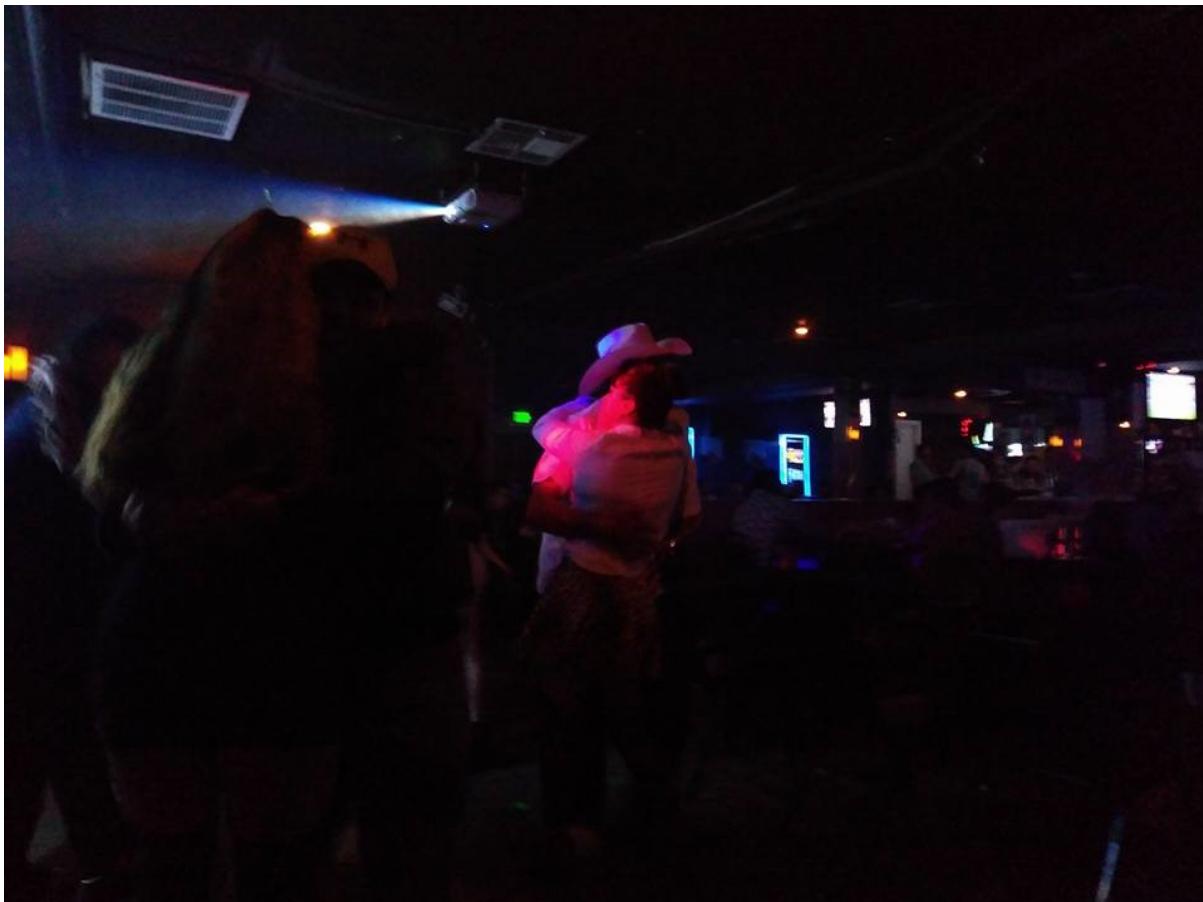
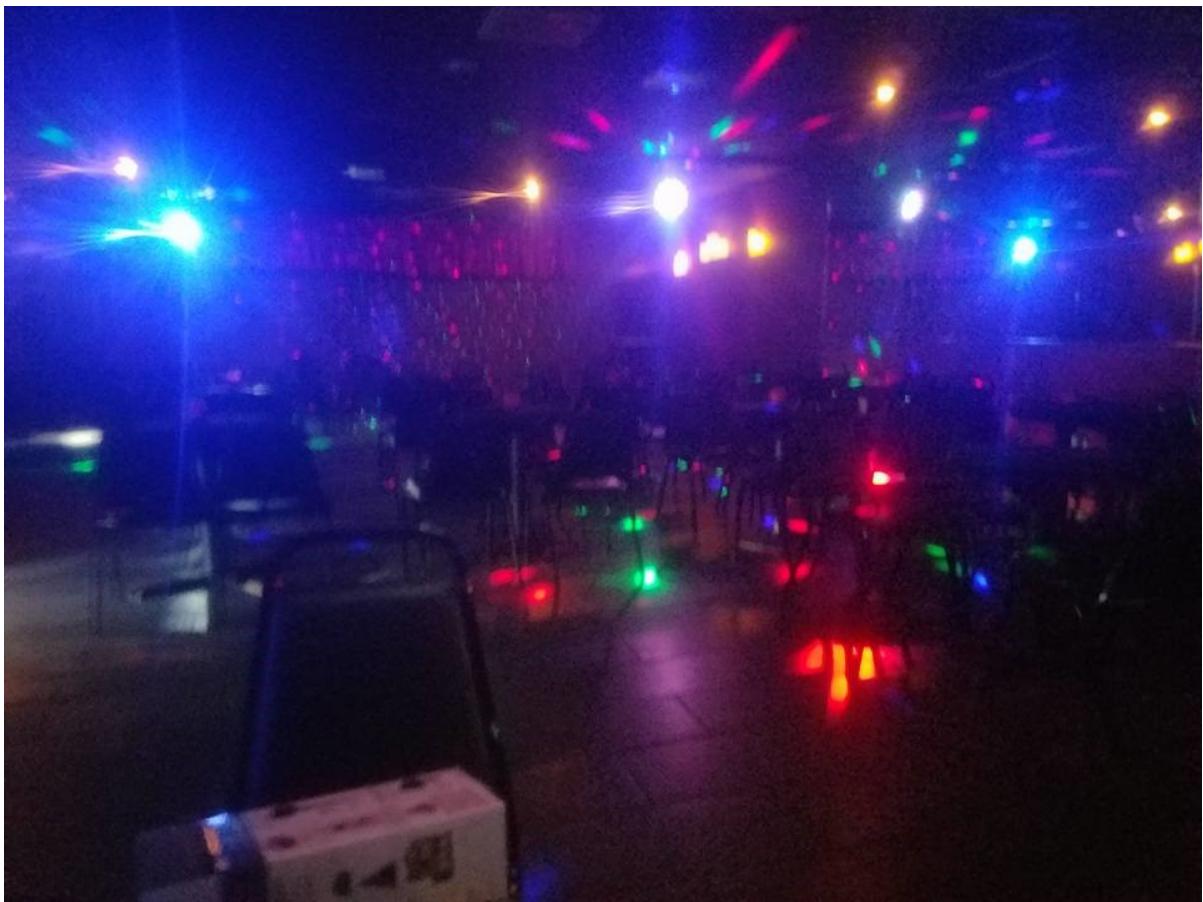
Happy Hour !! ☀ de 6 a 8 p.m. todos los Dias

Cerveza 2x5 ... Sabrosas Micheladas Musica y
Diversion Atendidos por Barbie

154 Views

Saldana Loca, Alice Oz, El Daza Daza and 2 others like this

4 shares





BUSINESS LICENSE APPLICATION

EXHIBIT E

**CITY OF HUNTINGTON PARK**

Finance Department | License Division
6550 Miles Avenue, #127 Huntington Park, CA 90255
Tel: (323) 584-6232 | Fax: (323) 588-2657
license@h pca.gov

RECEIVED
APR 26 2017
BY:

**BUSINESS LICENSE
APPLICATION**

Account No. _____

*The Huntington Park Municipal Code requires that all businesses operating in the City obtain a license.
It is the responsibility of the applicant to maintain an active business license by renewing each year.*

| | | |
|--------------------------------------------|--------------------------------------------------|---------------------------------------------------------|
| Type of Application: | <input type="checkbox"/> New Business | <input checked="" type="checkbox"/> Change of Ownership |
| <input type="checkbox"/> Change of Address | <input type="checkbox"/> Change of Business Name | <input type="checkbox"/> Change of Business Description |
| Type of License: | <input type="checkbox"/> Commercial/Industrial | <input type="checkbox"/> Non-Profit Organization |
| <input type="checkbox"/> Contractor | <input type="checkbox"/> Home Occupation | <input type="checkbox"/> Property Rental |
| Type of Ownership: | <input checked="" type="checkbox"/> Sole | <input type="checkbox"/> Partnership |
| <input type="checkbox"/> LLC | <input type="checkbox"/> Corporation | <input type="checkbox"/> Trust |

| | | | |
|-----------------------------------------------------|---------------------------|------------------|----------------------------|
| Business Information | Business Name / DBA | Club 21 | |
| | Business Address | 3256 F. Gage Ave | |
| | Mailing Address | City, State, Zip | Huntington Park CA 90255 |
| | Business Phone | City, State, Zip | Gilbert AZ 85296 |
| | Federal ID No. | Email | cleantheplanet12@yahoo.com |
| | State Class & License No. | State Tax No. | |
| Board of Equalization No. _____ | | | |
| Estimated Gross Receipts for First Year of Business | | | |

| | | | | |
|---------------------------|------------------------------------|------------------|------------------|----------------------------|
| Owners Information | Owner's Name/ Corporate Officer | melissa martinez | Date of Birth | 10/5/90 |
| | Owner's Address | _____ | City, State, Zip | Gilbert AZ 85296 |
| | Owner's Phone | _____ | Email | cleantheplanet12@yahoo.com |
| | Driver's License No. | _____ | SSN | _____ |
| | 2 nd Owner's Name | _____ | Date of Birth | _____ |
| | Owner's Address | _____ | City, State, Zip | _____ |
| Owner's Phone | _____ | Email | _____ | |
| Driver's License No. | _____ | SSN | _____ | |

| | | | | |
|-----------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------|----------------------------------------|-------------------------------------------------------------------------------------------------|
| Business Description | Business operation statement. Include products/services offered or produced as well as any parts of the business that are incidental to the primary use. | | | |
| | Bar, beer and wine sale | | | |
| | Number of Employees | 3 | Hours of Operation | 1 pm to 2 am |
| | Making Tenant Improvements | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Any existing business signs <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| | Sharing Tenant Space | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, business name Club 21 |
| | Status of Business | <input type="checkbox"/> Vacant | <input type="checkbox"/> Occupied | <input checked="" type="checkbox"/> Current Business |

**CITY OF HUNTINGTON PARK****BUSINESS LICENSE APPLICATION**

Page 2

Supplemental

Will the business include any of the following? (Check all that apply)

| | | | | | |
|------------------------------------|---------------------------------------------------------------------|-----------------------|---------------------------------------------------------------------|--------------------------|---------------------------------------------------------------------|
| Adult-oriented items or activities | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Cyber cafe | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Pawn brokering | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Alcohol sales | Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | Dance | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Precious metals purchase | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Alcohol/drug counseling | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Entertainment | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Restaurant with seating | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Auto title loans | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Firearm/weapons sales | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Short-term/payday loans | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Banquet facility | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Fortune telling | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Tobacco sales | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Check cashing | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Gaming | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Used merchandise | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| Currency exchange | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Medical marijuana | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Vending machines | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| | | Money transfer | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Video machines | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |

Affidavit

I hereby certify under penalty of perjury that the information provided herein is to the best of my knowledge and belief, a true and complete statement. I understand that this application is not a license and that no business activity may commence until a business license is issued.

Signature _____

Date 4/26/17Printed Name and Title melissa martinez 4/26/17 owner

If processing by mail please include the following:

- ✓ Completed Application Form
- ✓ All applicable schedules
- ✓ Check payable to City of Huntington Park
- ✓ Mail to the attention of:

City of Huntington Park – Business License Division
6550 Miles Avenue, #127
Huntington Park, CA 90255

PLANNING (OFFICE USE ONLY)

General Plan: _____ Zone: _____ SIC Code: _____

Previous Use/Business: _____

Note: _____

 Permitted Permitted with Entitlement (CUP/DP# _____) Pending Prohibited

Planning Approval: _____ Date: _____

BUILDING / FIRE (OFFICE USE ONLY)

Building Approval: _____ Date: _____ Fire Approval: _____ Date: _____

FINANCE (OFFICE USE ONLY)

| | | | | | | |
|-----------------------------|----------------------|------------------|------------------------|-------------------------------|--------------------|----------------|
| Business License Fee: \$ | Occupancy Fee: \$ | Misc. Fee: \$ | Application Fee: \$ | Change of Location Fee: \$ | Penalty Fee: \$ | Total: \$ 0 |
|-----------------------------|----------------------|------------------|------------------------|-------------------------------|--------------------|----------------|

PC RESOLUTION NO.1459

EXHIBIT F

RESOLUTION NO. 1459

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
HUNTINGTON PARK, STATE OF CALIFORNIA, GRANTING A CONDITIONAL
USE PERMIT IN CONNECTION WITH REAL PROPERTY LOCATED AT 3256
GAGE AVENUE, HUNTINGTON PARK, CALIFORNIA

WHEREAS, a public hearing was held in the City Hall, 6550 Miles Avenue, Huntington Park, California, on Wednesday, March 4, 1992 at 7:30 p.m., pursuant to the notice published and posted as required by law in accordance with the provisions of the Huntington Park Municipal Code, upon the application from Manuel Arellano, requesting a conditional use permit for on-sale of beer and wine in conjunction with a cocktail lounge located in the Commercial General (C-G) Zone on the following described property:

Assessor's Parcel Number 6323-001-037,
commonly known as 3256 Gage Avenue,
Huntington Park, California, and

WHEREAS, all persons appearing for or against the granting of the conditional use permit were given the opportunity to be heard in connection with said matter; and

WHEREAS, the Planning Commission has considered the environmental impact information relative to the proposed entitlement; and

WHEREAS, the Planning Commission is required to announce its findings and recommendations.

NOW, THEREFORE, THE PLANNING COMMISSION DOES FIND,
DETERMINE, RECOMMEND AND RESOLVES AS FOLLOWS:

SECTION 1: The Planning Commission determines that the proposed conditional use permit would not have a significant effect on the environment and hereby adopts a Environmental Categorical Exemption.

11

11

1 SECTION 2: The Planning Commission hereby makes the
2 following findings in connections with Conditional Use Permit
3 No. 1459:

4 (A) That the conditional use permit applied for is
5 authorized by the provisions of the Huntington Park Municipal
6 Code;

7 (B) That the granting of such conditional use permit will
8 not adversely affect the established character of the
9 surrounding neighborhood or be injurious to the property or
10 improvements in such vicinity and zone in which the property
11 is located;

12 (C) That the granting of such conditional use permit will
13 not adversely affect the Master or General Plan of this City;

14 (D) That the establishment, maintenance or conducting of
15 the use for which a conditional use permit is sought will not,
16 under the particular case, be detrimental to the health,
17 safety, morals, comfort, convenience or welfare of persons
18 residing or working in the neighborhood of such use; and will
19 not, under the circumstances of the particular case, be
20 detrimental to the public welfare or injurious to the property
21 or improvements in the neighborhood.

22 SECTION 3: The Planning Commission hereby grants
23 Conditional Use Permit No. 1459 subject to the execution
24 and fulfillment of the following conditions:

- 25 1. That subject to department corrections and conditions, the
26 property shall be developed substantially in accordance
27 with the plot plan submitted and marked Exhibit "C".
- 28 2. That the applicant shall comply with all applicable codes,
29 laws, rules and regulations, including Health and Safety,
30 Building, Fire, Sign, Zoning, and Business License Codes
31 of the City of Huntington Park.
- 32 3. That the pole sign at the northeast corner of the site be
33 removed and that the applicant comply with all regulations

1 pertaining to signage as listed in the H.P.M.C Sec. 9,
2 Article 26.

3

4. That the premises be kept in a neat and orderly manner at
5 all times and comply with the property maintenance
6 standards as set forth in H.P.M.C. Sec. 8-9.02.1.

7. That this permit shall expire in the event the entitlement
8 is not exercised within the (1) year from the date of
9 approval or if there is a cessation of the use or uses
10 authorized by this permit for a continuous period of six
11 (6) months or more.

12. That the violation of the conditions of this conditional
13 use may result in a citation or revocation of the
14 conditional use permit.

15. That should, at any time, the Alcoholic Beverage License
16 issued to the applicant by the State of California be
17 surrendered pursuant to Rule 65 thereof, this conditional
18 use permit shall automatically become null and void.

19. That should the operation of this establishment be
20 granted, deeded, conveyed, transferred, or should a change
21 in management or proprietorship occur at any time, this
22 conditional use permit shall automatically become null and
23 void.

24. That the applicant shall be required to apply for a new
25 conditional use permit if any alteration, modification,
26 or expansion which would increase the existing floor area
27 of the premises.

28. That inventory or merchandise shall only be permitted to
be stored or displayed within the enclosed building.

11. That the permit may be subject to additional conditions
after its original issuance. Such conditions shall be
imposed by the City Planning Commission as deemed
appropriate to address problems of land use
compatibility, security, and crime control.

12. The applicant construct a masonry wall around the parking
area of not less than five (5) feet nor more than six (6)
feet on the lot line abutting any residential zone or
residential dwelling.

13. That interior lighting shall be provided so as to produce
a minimum uniform intensity of three (3) footcandle power
at a height thirty-six (36") inches above the floor.

14. That all existing lighting be operable and maintained at
all times.

15. All mechanical equipment and appurtenances of any type
whatsoever, whether located on the roof top, ground level
or anywhere on the building structure shall be completely
enclosed so as not to be visible from any public street
and/or adjacent property. Such enclosed of facilities

1 shall be of compatible design and material related to the
2 building structure for which such facilities are intended
3 to secure.

4

5 16. That the parking lot be resurfaced and that a parking
6 plan be submitted to the Planning Department for review
7 and approval.

8 17. That a trash enclosure be constructed and located per the
9 City's requirements.

10 18. That the permit shall be subject to review for compliance
11 with conditions of issuance at such intervals as the City
12 Planning Commissions shall deem appropriate, but that the
13 first such review shall be within but not more than six
14 (6) months after the issuance of the permit.

15 19. That the applicant and/or owner agree in writing to the
16 above conditions.

17 SECTION 4: This resolution shall not become effective
18 until fifteen (15) days after the date of decision rendered by
19 the Planning Commission, unless within that period of time it
20 is appealed to the City Council. The decision of the Planning
21 Commission shall be stayed until final determination of the
22 appeal has been effected by the City Council.

23 //

24 //

25 //

26 //

27 //

28 //

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1 SECTION 5: The Secretary of the Planning Commission
2 shall certify to the adoption of this resolution and a copy
3 thereof shall be filed with the City Clerk.

4 PASSED, APPROVED, AND ADOPTED this 4th day of March, 1992,
5 by the following vote:

6 AYES: Commissioners Coover, Thompson, Wanke

7 NOES: Commissioners Watson, Mears

8 ABSENT: None

9 HUNTINGTON PARK PLANNING COMMISSION

10 Lucille Mears
11 Chairman

12 ATTEST:

13 Ben C. Watson
14 Secretary

15 //

16 //

17 //

18 //

19 //

20 //

21 //

22 //

23 //

24 //

25 //

26 //

27 //

28 qa3.res1459c

**CUP TRANSFER LETTER
DATED JANUARY 5, 2017**

EXHIBIT G



Community Development Department

January 5, 2017

Club 21
Attention: Mr. Javier Gonzalez
2130 Cameron Street
Long Beach, CA 90810

Re: Transfer of Conditional Use Permit for the on-sale of beer and wine at an existing cocktail lounge located at 3256 Gage Avenue, within the Commercial General (CG) Zone.

Dear Mr. Gonzalez:

This is to advise you that the Planning Commission of the City of Huntington Park adopted Resolution No. 1459 approving a request for a Conditional Use Permit (CUP) in connection with real property located at 3256 Gage Avenue, subject to the conditions contained therein.

The City requires that you accept the conditions of approval for the transfer of ownership of the use, and that you maintain the property in compliance with the conditions. The City conducted an inspection of the subject property on January 4, 2017 and the following violations must be corrected:

Violations of Resolution No. 1459

- **Condition No. 2** – That the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park.

Corrective Action Required: Remove dance floor and any other live entertainment equipment (d.j. equipment, lighting and speakers) inside the southerly area of the cocktail lounge. You may apply for a Dance & Entertainment Permit if you intend to have live entertainment or dancing activities inside the establishment.

- **Condition No. 4** – That the premises be kept in a neat and orderly manner at all times and comply with the property maintenance standards as set forth in H.P.M.C. Sec. 8-9.02.1.

Corrective Action Required: Remove all trash and debris around the parking area and building. Remove all chipped paint on southerly façade of the building and repaint the façade to match existing building color.

CUP Transfer: PC Case No. 1459

3256 Gage Avenue

January 5, 2017

Page 2 of 3

- **Condition No. 16** – That the parking lot be resurfaced and that a parking plan be submitted to the Planning Department for review and approval.

Corrective Action Required: Resurface, slurry seal, and re-stripe the parking lot area in accordance with the City's parking development standards.

- **Condition No. 17** – That a trash enclosure be constructed and located per the City's requirements.

Corrective Action Required: Repair the existing trash enclosure in accordance with the requirements of H.P.M.C. Sec. 9-3.103. The trash storage area shall be appropriately screened from view on at least three (3) sides by a solid wall six (6) feet in height and on the fourth side by a solid, reinforced gate not less than five (5) feet in height. A decorative 2-foot high wood trellis shall be installed on top of the enclosure. The design of the wall and gate shall be architecturally compatible with the surrounding structure and subject to approval of the Director.

The above items need to be completed within thirty (30) days to restore the subject property to legal compliance. If you fail to bring the property into compliance by February 4, 2017, the above violations will be referred to the City of Huntington Park Code Enforcement Division and may result in fines. Please note, the Building & Safety Division will conduct a site inspection as part of the application process. Please allow access to all portions of the building, including the areas that you did not have access to during the site inspection conducted by the Planning Division.

Should you have any questions or wish to provide evidence of violation compliance and/or to schedule a follow-up inspection, please contact me at (323) 584-6282.

In the meantime, you may continue to process your business license application. In order to complete the transfer you are required to acknowledge that you received a copy of the enclosed resolution. Please sign the RESOLUTION ACKNOWLEDGEMENT and return a copy of this letter to the Planning Division.

Sincerely,



Rodrigo Pelayo
Assistant Planner

Attachments: Resolution No. 1459

CUP Transfer: PC Case No. 1459
3256 Gage Avenue
January 5, 2017
Page 3 of 3

RESOLUTION ACKNOWLEDGEMENT

I ACKNOWLEDGE THAT I HAVE RECEIVED A COPY OF RESOLUTION NO. 1459 AND
AGREE TO COMPLY WITH ALL CONDITIONS THEREIN.

SIGNATURE:  DATE: 01-5-17

PRINTED NAME AND TITLE: JAVIER GONZALEZ

**WRITTEN NOTICE TO
MODIFY/REVOKE CUP NO. 1459**

EXHIBIT H



CITY OF HUNTINGTON PARK

NOTICE OF PUBLIC HEARING

The Planning Commission of the City of Huntington Park will conduct a Public Hearing, which you may attend.

PLACE: Huntington Park Civic Center
City Council Chambers on 2nd Floor
6550 Miles Avenue
Huntington Park, CA 90255

DATE & TIME: **Wednesday, July 19, 2017 at 6:30 p.m.**

APPLICANT: City of Huntington Park

REQUEST: **CASE NO. 1459 CUP – CONDITIONAL USE PERMIT – A REQUEST TO
CONSIDER THE MODIFICATION OF CONDITIONAL USE PERMIT CASE
NO.1459 ALLOWING THE OPERATION OF A COCKTAIL LOUNGE TO
CONTINUE; OR REVOKE CONDITIONAL USE PERMIT NO. 1459 IN
CONNECTION WITH PROPERTY LOCATED AT 3256 GAGE AVENUE,
WITHIN THE COMMERCIAL GENERAL (CG) ZONE.**

**PROPERTY
INVOLVED:** **3256 Gage Avenue, Huntington Park, CA 90255**

**REVIEW OF
THE FILE:** Anyone having any concerns, questions, or wishing to review or comment on the foregoing items is welcome to contact the City's Planning Division at (323) 584-6210 or visit the office located at 6550 Miles Avenue, during the hours of 7:00 a.m. to 1:30 p.m., Monday through Thursday.

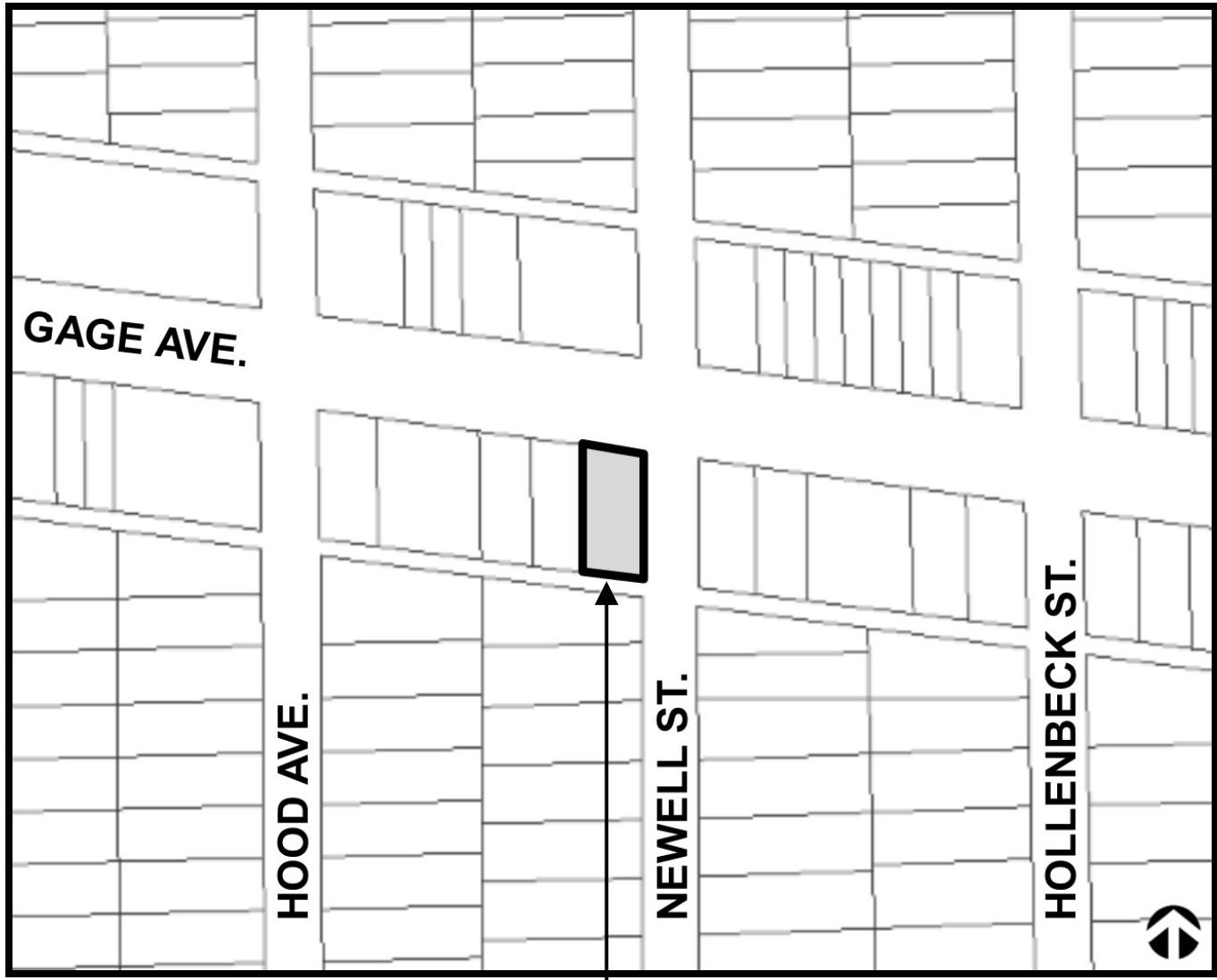
If you challenge any of the foregoing actions in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing for final action described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

The hearing may be continued or adjourned or cancelled and rescheduled to a stated time and place without further notice of a Public Hearing.

ESPAÑOL: Si desea obtener información acerca de esta junta en español, favor de llamar al (323) 584-6210.

HUNTINGTON PARK PLANNING COMMISSION
Carlos Luis, Secretary

VICINITY MAP



3256 Gage Avenue
Huntington Park, CA 90255



CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: JULY 19, 2017

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: SERGIO INFANZON, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: RODRIGO PELAYO, ASSISTANT PLANNER

SUBJECT: PLANNING COMMISSION CASE NO. 2017-03 CUP/ DP
(CONDITIONAL USE PERMIT/ DEVELOPMENT PERMIT)

REQUEST: Request for a Conditional Use Permit to allow an ice manufacturing facility and a Development Permit for a proposed tenant improvement consisting of a change in use from an existing warehouse to an ice manufacturing facility; and an existing residential use to commercial offices for property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

APPLICANT: Mr. Leonardo Corona of Corona Construction
3340 Gage Avenue
Huntington Park, CA 90255

PROPERTY OWNER: Mr. Fred Rader
550 S Orange Grove Circle
Pasadena, CA 91105

PROJECT LOCATION: 2309-2315 Randolph Street

ASSESSOR'S PARCEL NUMBER: 6321-004-016 & 6321-004-017

PRESENT USE: Vacant Warehouse Building & Single-Family Dwelling

BUILDING SIZE: Warehouse Building: 5,532 sq. ft.
Single-Family Dwelling: 1,214 sq. ft.

SITE SIZE: APN: 6321-004-016: 7,130 sq. ft.
APN: 6321-004-017: 7,210 sq. ft.
Total ±14,340 sq. ft.

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GENERAL PLAN:

Manufacturing Planned Development

ZONE:

Manufacturing Planned Development (MPD)

SURROUNDING

LAND USES:

North: Industrial

West: Industrial

South: Industrial/Residential/ Rail Transportation

East: Commercial

MUNICIPAL CODE

REQUIREMENTS FOR A

CONDITIONAL USE PERMIT:

Pursuant to the Huntington Park Municipal Code (HPMC) section 9-4.302, cold storage facilities may be permitted provided a Conditional Use (CUP) has been granted by the Planning Commission.

REQUIRED FINDINGS

FOR A CONDITIONAL

USE PERMIT:

Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Commission may approve and/or modify a CUP application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the

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public interest, health, safety, convenience, or welfare of the City;

5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

**MUNICIPAL CODE
REQUIREMENTS FOR A
DEVELOPMENT PERMIT:**

Pursuant to the City of Huntington Park Municipal Code (HMC) Section 9-2.1003 approval of a Development Permit shall be required for the expansion or conversion of an existing structure or use, affecting or involving a minimum of twenty-five (25) percent of the total gross floor area of the structure.

**REQUIRED FINDINGS
FOR A DEVELOPMENT
PERMIT:**

Pursuant to HMC Section 9-2.1007, a Development Permit may be approved only if all of the following findings are made:

1. The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards;
2. The proposed development is consistent with the General Plan;
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property;
4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;

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5. The subject site is physically suitable for the type and density/intensity of use being proposed;
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare; and
7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.

ENVIRONMENTAL REVIEW:

Categorical Exemption, CEQA Article 19, Section 15301, Existing Facilities.

BACKGROUND:

- ***Site Description***

The subject site is located along Randolph Street between Santa Fe Avenue and Albany Street. The subject property is surrounded by industrial warehouses to the north; an industrial building to the west; a railroad and residences to the south; and a vacant industrial building to the east.

The site is comprised of two lots totaling 14,340 square feet developed with a single-family dwelling and a warehouse building currently vacant.

- ***Project Proposal***

The applicant, Corona Construction, is proposing tenant improvements consisting of a change in use from an existing 2,400 square-foot warehouse to an ice manufacturing and storage facility. In addition, the project proposes a change in use from an existing 1,214 square-foot single-family dwelling to commercial offices.

Other improvements include a façade remodel to the office building; re-painting the existing warehouse building; replacement of existing impervious concrete slab and driveway to facilitate a new loading zone, exterior equipment area, and a parking lot.

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In addition, the project proposes decorative stamped concrete at the driveway entrance, landscaping throughout the setback areas, and a new trash enclosure area within the footprint of the existing warehouse building. Decorative screening is proposed along the southerly and northerly boundaries of the subject site.

- ***Business Operation***

The proposed ice manufacturing and storage facility will operate one work shift per day, Monday through Friday, from 8:00am to 4:00pm. A total of four employees will work in the warehouse facility. A “bobtail” commercial truck will be scheduled to pick up ice merchandise once per day, Monday through Friday, between the hours of 7:00am and 8:00am.

ANALYSIS:

- ***Business Operation***

The proposed ice manufacturing and storage facility will provide distribution services of ice to retail stores. The proposed days and hours of operation are consistent with other surrounding business operations. As a result, it is reasonable to assume that the surrounding neighborhood will not be impacted by noise associated with the proposed use.

- ***Proposed Improvements***

The project proposes tenant improvements for a change in use of an existing 2,400 square foot one-story warehouse building. The building is proposed to be used as an ice manufacturing and distribution facility. The proposed tenant improvements will consist of installing exterior ice manufacturing equipment that will connect to the interior of the building. Staff has conditioned the project to provide decorative screening around the exterior equipment area. Pursuant to the Huntington Park Municipal Code (HPMC) Section 9-3.103(20), the exterior equipment shall be screened from public view. The screening design/construction shall be subject to the approval of the Director and shall blend with the design of the structure. A new trash storage area will be incorporated to the existing warehouse building to conceal trash containers and to maintain them accessible during pick-up times. Staff will require as a

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condition of approval that the warehouse building be repainted on all sides with a color approved by the City.

The project also proposes tenant improvements for a change in use of an existing 1,214 square foot single-family dwelling. The non-conforming residence will be converted to new offices which will be used in conjunction with the ice manufacturing facility. The proposed change in use will bring the property use into compliance with current Code requirements. The proposed tenant improvements will consist of an interior remodel of the existing structure, façade remodel, and ADA accessibility improvements.

A new parking area with new light posts is proposed to accommodate required off-street parking, one designated loading space, and exterior lighting. Drought-tolerant landscaping is proposed along southerly boundaries of the site. Decorative stamped concrete is proposed along the southerly driveway entrance. A new decorative perforated metal fence is also proposed along the northerly and southerly boundaries of the subject site.

The allowable floor area ratio (FAR) within the MPD zone is 2:1, which allows 2 square feet of gross floor area per 1 square foot of lot area, therefore both existing one-story buildings are in compliance with FAR requirements of the Code.

| ALLOWABLE FLOOR AREA RATIO (2:1) | | |
|----------------------------------|-------------------------------------------------------------------|--------------------------------------------------|
| Lot Size | Allowable Floor Area Ratio | Proposed Floor Area Ratio |
| 14,340 sq. ft. | 2 sq. ft. of G.F.A : 1 sq. ft. of Lot Area = 28,680 sq. ft. | 5,532 sq. ft. / 28,680 sq. ft. = .12 ≤ 2 = OK |

- ***Architectural Design***

The proposed façade remodel of the office building will be contemporary in style. The contemporary design will consist of exterior stucco finish walls. As a condition of approval, the project will be required that the façade design incorporate at least two types of materials (i.e. stucco-finish walls with wood trims around door and window openings, reveals, or stone veneer siding, etc.).

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- ***Landscaping***

Landscaping is proposed along the front setback area of the property fronting Randolph Street. The landscaping consists of shrubs and ground cover that will complement the proposed façade improvements of the office building. In addition, the proposed landscaping material will be drought tolerant. A condition of approval has been included requiring a maintenance plan (irrigation plan) for the proposed landscaping. Decorative stamped concrete is also proposed at the entrance of the driveway to enhance the site aesthetics along the landscape area.

- ***Floor Plan***

The new floor plan will be divided into a customer waiting area with a reception desk, three office rooms, an employee break room, and one restroom.

- ***Access/ Circulation***

The subject site is accessible from an existing driveway entrance along Randolph Street. The driveway will be utilized by standard vehicles and delivery trucks. Deliveries are proposed to be conducted within the site, adjacent to the existing public right-of-way (alley).

Commercial “bobtail” trucks are proposed to access the site in a reverse fashion and exit through the same driveway in a forward motion. A condition of approval has been added, requiring the business operator to provide a flagman for the back-up maneuver of the commercial trucks.

- ***Off-Street Parking***

Pursuant to HPMC Section 9-3.804, the parking requirement for “Industrial (general)” uses is one space for each 800 square feet of gross floor area; plus 1 space for each vehicle used in connection with the use.

Additional parking spaces are required for the proposed office use. Pursuant to HPMC Section 9-3.804, the parking requirement for “Offices (general)” uses is one space for each 400 square feet of gross floor area.

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In accordance with the City's parking standards, it was determined that a total of 7 off-street parking spaces are required. The project proposes a total of 7 off-street parking spaces. As a result, there will be no surplus off-street parking spaces.

The proposed parking layout would also incorporate one new designate loading space adjacent to the exterior equipment area. The loading space is proposed to measure 10 feet in width and 25 feet in length. Pursuant to the HPMC, one loading space is required for a building measuring less than 10,000 square feet. As a result, the site will be in compliance with parking and loading space requirements.

The parking calculations are summarized in the following table:

| STANDARD OFF-STREET PARKING CALCULATION | | |
|-----------------------------------------------------|-------------------------------------------------|-----------------|
| Type | Required | Proposed |
| Industrial (General) | Ratio: 1/800 sf (2400 sf/800) = 3 | |
| Offices (General) | Ratio: 1/400 sf (1,214 sf/400) = 3.04 | |
| Total | 6.04 ≈ 7 spaces | 7 spaces |
| Surplus of 0 spaces / Deficiency of 0 spaces | | |

- ***Lot Line Adjustment/ Lot Merger***

According to the Los Angeles County Assessor's Parcel Map, the subject site is comprised of two parcels. A condition of approval has been included requiring a Lot Line Adjustment/Lot Merger in order to consolidate the parcels into one.

- ***Comments from other Departments and/or Agencies***

The Planning Division received comments from the Huntington Park Building and Safety Division, and Code Enforcement Division. If the project is approved, the comments would be incorporated to Resolution 2017-03 (Exhibit A) as Conditions of Approval.

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- ***Conditional Use Permit Analysis***

In granting a Conditional Use Permit to allow an ice manufacturing and storage facility in conjunction with offices, the Planning Commission must make findings in connection with the Conditional Use Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Conditional Use Permit may be approved only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code *in that the proposed ice manufacturing and storage facility use is conditionally permitted within the subject zoning district. The subject zoning district is Manufacturing Planned Development (MPD) and the proposed project will not impair the integrity and character of the zoning district as it complies with all of the applicable provisions of the Huntington Park Municipal Code.*
2. The proposed use is consistent with the General Plan *in that the proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General Plan by improving existing industry and providing for an expanded industrial base by creating new areas for compatible industrial uses through both redevelopment and private enterprise. The proposed project will expand the City's industrial base by providing ice manufacturing and distribution services to that will meet the City's needs.*
3. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines *in that proposed use of ice manufacturing and storage is Categorically Exempt pursuant to Article 19, Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.*

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4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City ***in that the proposed project is located on a lot that measures approximately 14,340 square feet. The design, location, size, and operating characteristics of the proposed ice manufacturing and storage facility is not expected to be detrimental to the public health, safety and welfare of the City. The proposed project will be harmonious and compatible with the existing industrial uses presently located within the vicinity and zoning district. Additionally, the site has adequate vehicle circulation and access, as conditioned.***
5. The subject site is physically suitable for the type and density/intensity of use being proposed ***in that the proposed project is located on a lot that measures approximately 14,340 square feet. In addition, the subject site is currently developed with an existing 2,400 square foot warehouse building and an existing 1,214 square foot single-family dwelling to be converted into offices. The proposed tenant improvements to the buildings will comply with all development standards and adequate ingress and egress will exist on the site.***
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed use would not be detrimental to public health, safety and general welfare ***in that vehicular and pedestrian access to the site would be provided from Randolph Street. The proposed request for an ice manufacturing and storage facility will not significantly intensify public access, water, sanitation, and public utilities and services. The project will not require changes to existing public utilities. Given that the surrounding area is already completely developed with public access, water, sanitation, and other public utilities, the proposed***

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project would not affect these infrastructures or require any types of modifications. In addition, the proposed project would not impede the accessibility to public access, water, sanitation, or other public utilities and services.

- ***Development Permit Analysis***

In granting a Development Permit for the change in use and tenant improvements to existing buildings, the Planning Commission must make findings in connection with the Development Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Development Permit may be approved only if all of the following findings are made:

1. That the proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards *in that the proposed ice manufacturing and storage facility is conditionally permitted within the subject zoning district. The subject zoning district is Manufacturing Planned Development (MPD) and the proposed project will not impair the integrity and character of the zoning district as it complies with all of the applicable provisions of the Huntington Park Municipal Code.*
2. The proposed development is consistent with the General Plan *in that the proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General Plan by improving existing industry and providing for an expanded industrial base by creating new areas for compatible industrial uses through both redevelopment and private enterprise. The proposed project will expand the City's industrial base by providing ice manufacturing and distribution services to meet the City's needs.*
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property *in that subject site has historically been utilized for industrial purposes and has*

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created no documented nuisances to the City or surrounding properties. The design, location, size, and operating characteristics of the proposed ice manufacturing and storage facility is not expected to be detrimental to the public health, safety and welfare of the City. The proposed request for an ice manufacturing and storage facility is harmonious and compatible with the existing industrial uses presently located within the vicinity and zoning district.

4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines *in that the proposed use of ice manufacturing and storage facility is Categorically Exempt pursuant to Article 19, Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.*
5. The subject site is physically suitable for the type and density/intensity of use being proposed *in that the proposed project is located on a lot that measures approximately 14,430 square feet. In addition, the subject site is currently developed with an existing 2,400 square foot warehouse building and an existing 1,214 square foot single-family dwelling to be converted into offices. The proposed tenant improvements to the buildings will comply with all development standards and adequate ingress and egress will exist on the site, as conditioned.*
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare *in that vehicular and pedestrian access to the site would be provided from Randolph Street. The proposed request for an ice manufacturing and storage facility will not significantly intensify public access, water, sanitation, and public utilities and services. The project will not require changes to existing public utilities. Given that the surrounding area is already completely developed with public access, water, sanitation, and other public utilities, the proposed project would not affect these*

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infrastructures or require any types of modifications. In addition, the proposed project would not impede the accessibility to public access.

7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City *in that the proposed project has been reviewed accordingly. Conditions of approval have been included to ensure that project does not create any issues of concern that would be detrimental to the public health, safety, or welfare of the City.*

- ***Conclusion***

Based on the above analysis, staff has determined that with the recommended conditions of approval, the proposed project complies with the HPMC and all of the required findings in support of a Conditional Use Permit and Development Permit can be made.

RECOMMENDATION:

Based on the evidence presented, it is the recommendation of Planning Division Staff that the Planning Commission adopt the Categorical Exemption, make the required findings and requirements set forth in the Huntington Park Municipal Code, and **adopt PC Resolution No. 2017-03 CUP/DP**, subject to the following proposed conditions of approval and/or other conditions that the Planning Commission may wish to impose.

CONDITIONS OF APPROVAL:

PLANNING

1. That the property owner and applicant shall indemnify, protect, hold harmless and defend the City and any agency or instrumentality thereof, its officers, employees and agents from all claims, actions, or proceedings against the City to attack, set aside, void, annul, or seek damages arising out of an approval of the City, or any agency or commission thereof, concerning this project. City shall promptly notify both the property owner and applicant of any claim, action, or proceeding to which this condition is applicable. The City shall cooperate in the defense of the action, while reserving its right to act as it deems to be in the best interest of the City and the public. The property owner and applicant shall defend, indemnify and hold harmless the City for all costs and fees incurred in additional investigation or study, or for supplementing or revising any document, including, without limitation, environmental documents. If the City's legal counsel is required to enforce any

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condition of approval, the applicant shall pay for all costs of enforcement, including legal fees.

2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. That all architectural detailing, including building materials, lighting, colors, façade improvements, finishes and other details be consistent with the submitted plans as approved by the Planning Division.
4. That the proposed project shall comply with all applicable codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Sign, Zoning, and Business License Regulations of the City of Huntington Park.
5. That the use be conducted, and the property be maintained, in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Title 8, Chapter 9, and Section 9-3.103.18 of the Huntington Park Municipal Code.
6. That the Conditional Use Permit shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
7. That any violation of the conditions of this entitlement may result in the revocation of the entitlement.
8. That the applicant be required to apply for a new entitlement if any alteration, modification, or expansion of the use is proposed.
9. That this entitlement expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
10. That if the use ceases to operate for a period of six (6) months the entitlement shall be null and void.
11. All proposed signage shall be reviewed and approved by the Planning Division under a separate permit. All proposed signage shall comply with the requirements of the Huntington Park Municipal Code and/or Master Sign Program of the subject site.
12. That all existing and/or proposed mechanical equipment and appurtenances, including satellite dishes, gutters etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to issuance of the Certificate of Occupancy.

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13. That any proposed on-site utilities, including electrical and telephone, be installed underground and be completely concealed from public view as required by the Planning Division.
14. That an anti-graffiti finish, as approved by the Planning Division, shall be applied to all exterior surfaces that are visible to the public and likely to attract graffiti prior to the issuance of the Certificate of Occupancy.
15. That any existing and/or future graffiti as defined by Huntington Park Municipal Code Section 5-27.02(d) shall be diligently removed within a reasonable time period.
16. That prior to the issuance of the Certificate of Occupancy, the property owner shall grant either by the covenants, conditions and restrictions for the subject property, or by a separate covenant recorded against the subject property, the right of entry for authorized City employees or agents for the purpose of removing or painting over graffiti from structures on the subject property.
17. That the property comply with the City's Standards for Exterior Colors, Section 9-3.103(3)(A) of the Huntington Park Municipal Code and obtain the Planning Division's approval prior, to the issuance of the Certificate of Occupancy.
18. That the parking area be constructed and striped as approved by the Planning Division.
19. That the proposed façade improvements to the office building shall incorporate at least two types of exterior architectural materials including, but not limited to, stucco, wood trims as accents, reveals, brick stone veneer, cornices, etc.
20. That the existing warehouse building be re-painted with a color approved by the City.
21. No outside storage shall be permitted.
22. The exterior equipment area shall be screened and shall not be visible from public view, pursuant to the Huntington Park Municipal Code (HPMC) Section 9-3.103(20).
23. That the office uses shall be ancillary to the primary ice manufacturing and storage facility use, pursuant to HPMC Section 9-4.302.
24. That the business shall be operated consistent with the Business Description dated May 25, 2017.
25. The business operator shall provide a flagman for the back-up maneuver of commercial trucks.
26. That the business be operated in compliance with the City of Huntington Park Noise Ordinance.

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27. That all required on-site parking and loading spaces comply with the minimum dimensions as set forth within the Huntington Park Municipal Code prior to issuance of the Certificate of Occupancy.
28. That a landscape plan design stamped by a licensed landscape architect be provided for the entire property, showing planter design, schedule of plant material, planter location and method of automatic permanent irrigation. The plan shall be submitted to and approved by the Planning Division, and such landscaping shall be installed and planted according to such approved plan, prior to being issued the certificate of occupancy, and shall thereafter be continuously and permanently maintained.
29. That landscape planters with 6" curbing and permanent irrigation be provided within the parking area, and that landscaping be provided in areas not used for vehicle parking, vehicle circulation or pedestrian access.
30. That a lighting plan be provided for all outdoor areas of the property. Such lighting shall be decorative and installed per approved plans to the satisfaction of the building official and Planning Division prior to issuing a Certificate of Occupancy.
31. That the applicant provide publicly visible art or pay art fees in accordance with the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of Occupancy.
32. That the applicant comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The applicant shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) and the SUSUMP requirements when applicable.
33. That the Conditional Use permit may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
34. That should the operation of this establishment be granted, deemed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall be reviewed.
35. That the Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
36. That the operator shall obtain its City of Huntington Park Business License prior to commencing business operations.

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37. All requirements, as deemed necessary by the Department of Public Works during the Plan Check process, shall be complied with.
38. That a Lot Line Adjustment/Lot Merger shall be required in order to consolidate the two lots into one comprehensive lot. Lot Line Adjustment/Lot Merger shall be submitted to the Planning Division along with a completed application, submittal requirements, and all applicable fees shall be paid at the time of submittal.
39. That the applicant and property owner agree in writing to the above conditions.

BUILDING & SAFETY

40. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
41. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
42. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
43. Art fee shall be paid to the City prior to issuance of the building Permit.
44. Recycling deposit shall be filed prior to issuance of the building permit to the satisfaction of the recycling coordinator.
45. The office building shall be addressed as 2309 Randolph Street (front building); whereas the warehouse shall be addressed as 2315 Randolph Street (rear building). An application to assign unit numbers shall be filed with Building Division prior to plan check submittal.
46. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
47. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
48. Redevelopment project with land disturbing activity that would result in the replacement of 5,000 square feet or more of impervious surface area on an already developed site on Planning Priority Project categories shall comply with LID requirements per City Ordinance.
49. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:

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- a) Observation of cleared areas and benches prepared to receive fill;
- b) Observation of the removal of all unsuitable soils and other materials;
- c) The approval of soils to be used as fill material;
- d) Inspection of compaction and placement of fill;
- e) The testing of compacted fills; and
- f) The inspection of review of drainage devices.

50. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by the Public Works Department, a new Preliminary Soils and/or Geotechnical Investigation.

51. Prior to permit issuance the pdf copy of the soils report shall be provided by the applicant.

52. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.

53. The repair, alteration, change of occupancy of all existing buildings shall comply with one of the methods listed in Section 301.1.1 through 301.1.3 of the California Existing Building Code as selected by the applicant.

54. The seismic evaluation and design shall be based on the procedures of the California Building Code or ASCE 41 per Section 301.1.4 of the California Existing Building Code.

55. When prescriptive compliance method is selected, except as provided by Section 403.2 or Section 403.1 of the California Existing Building Code, alterations to any building or structure shall comply with the requirements of the California Building Code.

56. No change shall be made in the use or occupancy of any building that would place the building in a different division of the same group of occupancies or in a different group of occupancies, unless such building is made to comply with the requirements of the California Building Code for such division or group of occupancies per Section 407 of the California Existing Building Code.

57. The building height and area shall not exceed the limits specified in Table 504.3, 504.4 and 506.2 based on the type of construction as determined by Section 602 and the occupancies as determined by Section 302 except as modified hereafter.

58. Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 5 to 10 feet shall comply with Table 705.8 of the Building Code.

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59. All State of California disability access regulations for accessibility shall comply with Chapter 11B of the California Building Code.
60. Electrical plan check is required.
61. Mechanical plan check is required.
62. Plumbing plan check is required.
63. Energy calculations are required for new lighting or mechanical equipment.
64. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
65. Project shall comply with the CalGreen Non-Residential mandatory requirements.
66. Demolition permit is required for any existing buildings which are to be demolished.
67. All fire sprinkler hangers must be designed and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250 pound point load. A plan indicating this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
68. Separate permit is required for Fire Sprinklers.
69. The building permit will not be issued until the property has been surveyed and the boundaries marked by a land surveyor licensed by the State of California.
70. City records indicate the proposed site is a combination of lots under common ownership. A parcel merger by document shall be obtained or a parcel/tract map shall be processed prior to issuance of the building permit.
71. City of Huntington Park, Preliminary MS4 Project Application completed by Engineer of Record and approved by Environmental Division shall be copied on the first sheet of Building Plans and on the first sheet of Grading Plans.

CODE ENFORCEMENT

72. Trash enclosure shall be secured at all times.

73. That "NO TRESPASSING" signs be installed on the exterior of the property as approved by the City.

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COUNTY OF LOS ANGELES FIRE DEPARTMENT

74. Review and approval by the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit shall be required for this project prior to building permit issuance.

EXHIBITS:

- A: PC Resolution No. 2017-03
- B: Business Description
- C: Vicinity Map
- D: Assessor's Parcel Map
- E: Site Plan
- F: Floor Plan (Warehouse Building)
- G: Elevations (Warehouse Building)
- H: Floor Plan (Office Building)
- I: Elevations (Office Building)
- J: Applications and Environmental Assessment Checklist

PC RESOLUTION NO. 2017-03

EXHIBIT A

CASE NO. 2017-03 CUP/DP

RESOLUTION NO. 2017-03

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON PARK, STATE OF CALIFORNIA, APPROVING CONDITIONAL USE PERMIT AND A DEVELOPMENT PERMIT IN CONNECTION WITH REAL PROPERTY LOCATED AT 2309-2315 RANDOLPH STREET, HUNTINGTON PARK, CALIFORNIA.

WHEREAS, a public hearing was held in the City Hall, 6550 Miles Avenue, Huntington Park, California on Wednesday, July 19, 2017 at 6:30 p.m. pursuant to the notice published and posted as required by law in accordance with the provisions of the Huntington Park Municipal Code (HPMC), upon an application from Corona Construction, requesting Planning Commission approval of a Conditional Use Permit to allow an ice manufacturing facility and a Development Permit for a proposed tenant improvement consisting of a change in use from an existing warehouse to an ice manufacturing facility; and an existing residential use to commercial offices for property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone on the following described property:

Assessor's Parcel Nos. 6321-004-016 & 6321-004-017 City of Huntington Park,
County of Los Angeles; and

WHEREAS, the Planning Division has reviewed the request and has found that all of the required findings for approval of a Conditional Use Permit and a Development Permit can be made as required by the Municipal Code; and

WHEREAS, the Planning Commission has considered the environmental impact information relative to the proposed request; and

WHEREAS, all persons appearing for or against the approval of the Conditional Use Permit and Development Permit were given the opportunity to be heard in connection with said matter; and

WHEREAS, all written comments received prior to the hearing, and responses to such comments, were reviewed by the Planning Commission; and

WHEREAS, the Planning Commission is required to announce its findings and recommendations.

1 NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF
2 HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS
3 FOLLOWS:

4 SECTION 1: Based on the evidence in the Environmental Assessment
5 Questionnaire, the Planning Commission adopts the findings in said Questionnaire and
6 determines that the project, as proposed, will have no significant adverse effect on the
7 environment and adopts an Environmental Categorical Exemption (CEQA Guidelines,
8 Article 19, Section 15301), Existing Facilities.

9 SECTION 2: The Planning Commission hereby makes the following findings in
10 connection with the proposed Conditional Use Permit:

- 11 1. The proposed use is conditionally permitted within, and would not impair the
12 integrity and character of, the subject zoning district and complies with all of the
13 applicable provisions of this Code ***in that the proposed ice manufacturing and***
storage facility use is conditionally permitted within the subject zoning
district. The subject zoning district is Manufacturing Planned Development
(MPD) and the proposed project will not impair the integrity and character of
the zoning district as it complies with all of the applicable provisions of the
Huntington Park Municipal Code.
- 19 2. The proposed use is consistent with the General Plan ***in that the proposed***
20 ***project is consistent with the General Plan, specifically, the proposed use is***
21 ***consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General***
22 ***Plan by improving existing industry and providing for an expanded***
23 ***industrial base by creating new areas for compatible industrial uses through***
24 ***both redevelopment and private enterprise. The proposed project will***
25 ***expand the City's industrial base by providing ice manufacturing and***
26 ***distribution services to that will meet the City's needs.***
- 27 3. The approval of the Conditional Use Permit for the proposed use is in compliance
28 with the requirements of the California Environmental Quality Act (CEQA) and the

1 City's Guidelines ***in that proposed use of ice manufacturing and storage is***
2 ***Categorically Exempt pursuant to Article 19, Section 15301 (Existing***
3 ***Facilities) of the California Environmental Quality Act (CEQA) Guidelines.***

4 4. The design, location, size and operating characteristics of the proposed use are
5 compatible with the existing and planned future land uses within the general area
6 in which the proposed use is to be located and will not create significant noise,
7 traffic or other conditions or situations that may be objectionable or detrimental to
8 other permitted uses operating nearby or adverse to the public interest, health,
9 safety, convenience or welfare of the City ***in that the proposed project is***
10 ***located on a lot that measures approximately 14,340 square feet. The***
11 ***design, location, size, and operating characteristics of the proposed ice***
12 ***manufacturing and storage facility is not expected to be detrimental to the***
13 ***public health, safety and welfare of the City. The proposed project will be***
14 ***harmonious and compatible with the existing industrial uses presently***
15 ***located within the vicinity and zoning district. Additionally, the site has***
16 ***adequate vehicle circulation and access, as conditioned.***

17 5. The subject site is physically suitable for the type and density/intensity of use
18 being proposed ***in that the proposed project is located on a lot that measures***
19 ***approximately 14,340 square feet. In addition, the subject site is currently***
20 ***developed with an existing 2,400 square foot warehouse building and an***
21 ***existing 1,214 square foot single-family dwelling to be converted into***
22 ***offices. The proposed tenant improvements to the buildings will comply***
23 ***with all development standards and adequate ingress and egress will exist***
24 ***on the site.***

25 6. There are adequate provisions for public access, water, sanitation and public
26 utilities and services to ensure that the proposed use would not be detrimental to
27 public health, safety and general welfare ***in that vehicular and pedestrian***
28 ***access to the site would be provided from Randolph Street. The proposed***

1 *request for an ice manufacturing and storage facility will not significantly*
2 *intensify public access, water, sanitation, and public utilities and services.*
3 *The project will not require changes to existing public utilities. Given that*
4 *the surrounding area is already completely developed with public access,*
5 *water, sanitation, and other public utilities, the proposed project would not*
6 *affect these infrastructures or require any types of modifications. In*
7 *addition, the proposed project would not impede the accessibility to public*
8 *access, water, sanitation, or other public utilities and services.*

9 **SECTION 3:** The Planning Commission hereby makes the following findings in
10 connection with the proposed Development Permit:

- 11 1. The proposed development is one permitted within the subject zoning district and
12 complies with all of the applicable provisions of this Code, including prescribed
13 development/site standards *in that the proposed ice manufacturing and*
14 *storage facility is conditionally permitted within the subject zoning district.*
15 *The subject zoning district is Manufacturing Planned Development (MPD)*
16 *and the proposed project will not impair the integrity and character of the*
17 *zoning district as it complies with all of the applicable provisions of the*
18 *Huntington Park Municipal Code.*
- 19 2. The proposed development is consistent with the General Plan *in that the*
20 *proposed project is consistent with the General Plan, specifically, the*
21 *proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use*
22 *Element of the General Plan by improving existing industry and providing*
23 *for an expanded industrial base by creating new areas for compatible*
24 *industrial uses through both redevelopment and private enterprise. The*
25 *proposed project will expand the City's industrial base by providing ice*
26 *manufacturing and distribution services to meet the City's needs.*
- 27 3. The proposed development would be harmonious and compatible with existing
28 and planned future developments within the zoning district and general area, as

1 well as with the land uses presently on the subject property ***in that subject site***
2 ***has historically been utilized for industrial purposes and has created no***
3 ***documented nuisances to the City or surrounding properties. The design,***
4 ***location, size, and operating characteristics of the proposed ice***
5 ***manufacturing and storage facility is not expected to be detrimental to the***
6 ***public health, safety and welfare of the City. The proposed request for an ice***
7 ***manufacturing and storage facility is harmonious and compatible with the***
8 ***existing industrial uses presently located within the vicinity and zoning***
9 ***district.***

- 10 4. The approval of the Development Permit for the proposed project is in compliance
11 with the requirements of the California Environmental Quality Act (CEQA) and the
12 City's Guidelines ***in that the proposed use of ice manufacturing and storage***
13 ***facility is Categorically Exempt pursuant to Article 19, Section 15301***
14 ***(Existing Facilities) of the California Environmental Quality Act (CEQA)***
15 ***Guidelines.***
- 16 5. The subject site is physically suitable for the type and density/intensity of use
17 being proposed ***in that the proposed project is located on a lot that measures***
18 ***approximately 14,430 square feet. In addition, the subject site is currently***
19 ***developed with an existing 2,400 square foot warehouse building and an***
20 ***existing 1,214 square foot single-family dwelling to be converted into***
21 ***offices. The proposed tenant improvements to the buildings will comply***
22 ***with all development standards and adequate ingress and egress will exist***
23 ***on the site, as conditioned.***
- 24 6. There are adequate provisions for public access, water, sanitation and public
25 utilities and services to ensure that the proposed development would not be
26 detrimental to public health, safety and general welfare ***in that vehicular and***
27 ***pedestrian access to the site would be provided from Randolph Street. The***
28 ***proposed request for an ice manufacturing and storage facility will not***

1 ***significantly intensify public access, water, sanitation, and public utilities***
2 ***and services. The project will not require changes to existing public utilities.***
3 ***Given that the surrounding area is already completely developed with public***
4 ***access, water, sanitation, and other public utilities, the proposed project***
5 ***would not affect these infrastructures or require any types of modifications.***
6 ***In addition, the proposed project would not impede the accessibility to***
7 ***public access.***

8 7. The design, location, size and operating characteristics of the proposed
9 development would not be detrimental to the public health, safety, or welfare of
10 the City ***in that the proposed project has been reviewed accordingly.***
11 ***Conditions of approval have been included to ensure that project does not***
12 ***create any issues of concern that would be detrimental to the public health,***
13 ***safety, or welfare of the City.***

14 **SECTION 4:** The Planning Commission hereby approves Resolution No. 2017-03

15 CUP/DP, subject to the execution and fulfillment of the following conditions:

16 **Planning Division**

17 1. That the property owner and applicant shall indemnify, protect, hold harmless and
18 defend the City and any agency or instrumentality thereof, its officers, employees
19 and agents from all claims, actions, or proceedings against the City to attack, set
20 aside, void, annul, or seek damages arising out of an approval of the City, or any
21 agency or commission thereof, concerning this project. City shall promptly notify
22 both the property owner and applicant of any claim, action, or proceeding to which
23 this condition is applicable. The City shall cooperate in the defense of the action,
24 while reserving its right to act as it deems to be in the best interest of the City and
the public. The property owner and applicant shall defend, indemnify and hold
harmless the City for all costs and fees incurred in additional investigation or
study, or for supplementing or revising any document, including, without limitation,
environmental documents. If the City's legal counsel is required to enforce any
condition of approval, the applicant shall pay for all costs of enforcement,
including legal fees.

25 2. Except as set forth in subsequent conditions, all-inclusive, and subject to
26 department corrections and conditions, the property shall be developed
27 substantially in accordance with the applications, environmental assessment, and
28 plans submitted.

3. That all architectural detailing, including building materials, lighting, colors, façade improvements, finishes and other details be consistent with the submitted plans as approved by the Planning Division.
4. That the proposed project shall comply with all applicable codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Sign, Zoning, and Business License Regulations of the City of Huntington Park.
5. That the use be conducted, and the property be maintained, in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Title 8, Chapter 9, and Section 9-3.103.18 of the Huntington Park Municipal Code.
6. That the Conditional Use Permit shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
7. That any violation of the conditions of this entitlement may result in the revocation of the entitlement.
8. That the applicant be required to apply for a new entitlement if any alteration, modification, or expansion of the use is proposed.
9. That this entitlement expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
10. That if the use ceases to operate for a period of six (6) months the entitlement shall be null and void.
11. All proposed signage shall be reviewed and approved by the Planning Division under a separate permit. All proposed signage shall comply with the requirements of the Huntington Park Municipal Code and/or Master Sign Program of the subject site.
12. That all existing and/or proposed mechanical equipment and appurtenances, including satellite dishes, gutters etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to issuance of the Certificate of Occupancy.
13. That any proposed on-site utilities, including electrical and telephone, be installed underground and be completely concealed from public view as required by the Planning Division.

1 14. That an anti-graffiti finish, as approved by the Planning Division, shall be applied
2 to all exterior surfaces that are visible to the public and likely to attract graffiti prior
3 to the issuance of the Certificate of Occupancy.

4 15. That any existing and/or future graffiti as defined by Huntington Park Municipal
5 Code Section 5-27.02(d) shall be diligently removed within a reasonable time
6 period.

7 16. That prior to the issuance of the Certificate of Occupancy, the property owner
8 shall grant either by the covenants, conditions and restrictions for the subject
9 property, or by a separate covenant recorded against the subject property, the
10 right of entry for authorized City employees or agents for the purpose of removing
11 or painting over graffiti from structures on the subject property.

12 17. That the property comply with the City's Standards for Exterior Colors, Section 9-
13 3.103(3)(A) of the Huntington Park Municipal Code and obtain the Planning
14 Division's approval prior, to the issuance of the Certificate of Occupancy.

15 18. That the parking area be constructed and striped as approved by the Planning
16 Division.

17 19. That the proposed façade improvements to the office building shall incorporate at
18 least two types of exterior architectural materials including, but not limited to,
19 stucco, wood trims as accents, reveals, brick stone veneer, cornices, etc.

20 20. That the existing warehouse building be re-painted with a color approved by the
21 City.

22 21. No outside storage shall be permitted.

23 22. The exterior equipment area shall be screened and shall not be visible from public
24 view, pursuant to the Huntington Park Municipal Code (HPMC) Section 9-
25 3.103(20).

26 23. That the office uses shall be ancillary to the primary ice manufacturing and
27 storage facility use, pursuant to HPMC Section 9-4.302.

28 24. That the business shall be operated consistent with the Business Description
29 dated May 25, 2017.

30 25. The business operator shall provide a flagman for the back-up maneuver of
31 commercial trucks.

32 26. That the business be operated in compliance with the City of Huntington Park
33 Noise Ordinance.

34 27. That all required on-site parking and loading spaces comply with the minimum
35 dimensions as set forth within the Huntington Park Municipal Code prior to
36 issuance of the Certificate of Occupancy.

1 28. That a landscape plan design stamped by a licensed landscape architect be
2 provided for the entire property, showing planter design, schedule of plant
3 material, planter location and method of automatic permanent irrigation. The plan
4 shall be submitted to and approved by the Planning Division, and such
5 landscaping shall be installed and planted according to such approved plan, prior
6 to being issued the certificate of occupancy, and shall thereafter be continuously
7 and permanently maintained.

8 29. That landscape planters with 6" curbing and permanent irrigation be provided
9 within the parking area, and that landscaping be provided in areas not used for
10 vehicle parking, vehicle circulation or pedestrian access.

11 30. That a lighting plan be provided for all outdoor areas of the property. Such lighting
12 shall be decorative and installed per approved plans to the satisfaction of the
13 building official and Planning Division prior to issuing a Certificate of Occupancy.

14 31. That the applicant provide publicly visible art or pay art fees in accordance with
15 the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of
16 Occupancy.

17 32. That the applicant comply with all of the provisions of Title 7, Chapter 9 of the
18 Huntington Park Municipal Code relating to Storm Water Management. The
19 applicant shall also comply with all requirements of the National Pollutant
20 Discharge Elimination System (NPDES), Model Programs, developed by the
21 County of Los Angeles Regional Water Quality Board. This includes compliance
22 with the City's Low Impact Development (LID) and the SUSUMP requirements
23 when applicable.

24 33. That the Conditional Use permit may be subject to additional conditions after its
25 original issuance. Such conditions shall be imposed by the City Planning
26 Commission as deemed appropriate to address problems of land use
27 compatibility, operations, aesthetics, security, noise, safety, crime control, or to
28 promote the general welfare of the City.

29 34. That should the operation of this establishment be granted, deemed, conveyed,
30 transferred, or should a change in management or proprietorship occur at any
31 time, this Conditional Use Permit shall be reviewed.

32 35. That the Director of Community Development is authorized to make minor
33 modifications to the approved preliminary plans or any of the conditions if such
34 modifications shall achieve substantially the same results, as would strict
35 compliance with said plans and conditions.

36 36. That the operator shall obtain its City of Huntington Park Business License prior to
37 commencing business operations.

38 37. All requirements, as deemed necessary by the Department of Public Works during
39 the Plan Check process, shall be complied with.

1 38. That a Lot Line Adjustment/Lot Merger shall be required in order to consolidate
2 the two lots into one comprehensive lot. Lot Line Adjustment/Lot Merger shall be
3 submitted to the Planning Division along with a completed application, submittal
4 requirements, and all applicable fees shall be paid at the time of submittal.

5 39. That the applicant and property owner agree in writing to the above conditions.

6 **Building and Safety**

7 40. The initial plan check fee will cover the initial plan check and one recheck only.
8 Additional review required beyond the first recheck shall be paid for on an hourly
9 basis in accordance with the current fee schedule.

10 41. The second sheet of building plans is to list all conditions of approval and to
11 include a copy of the Planning Commission Decision letter. This information shall
12 be incorporated into the plans prior to the first submittal for plan check.

13 42. Fees shall be paid to the County of Los Angeles Sanitation District prior to
14 issuance of the building permit.

15 43. Art fee shall be paid to the City prior to issuance of the building Permit.

16 44. Recycling deposit shall be filed prior to issuance of the building permit to the
17 satisfaction of the recycling coordinator.

18 45. The office building shall be addressed as 2309 Randolph Street (front building);
19 whereas the warehouse shall be addressed as 2315 Randolph Street (rear
20 building). An application to assign unit numbers shall be filed with Building
21 Division prior to plan check submittal.

22 46. In accordance with paragraph 5538(b) of the California Business and Professions
23 Code, plans are to be prepared and stamped by a licensed architect.

24 47. Structural calculations prepared under the direction of an architect, civil engineer
25 or structural engineer shall be provided.

26 48. Redevelopment project with land disturbing activity that would result in the
27 replacement of 5,000 square feet or more of impervious surface area on an
28 already developed site on Planning Priority Project categories shall comply with
LID requirements per City Ordinance.

49. A geotechnical and soils investigation report is required, the duties of the soils
engineer of record, as indicated on the first sheet of the approved plans, shall
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- a) Observation of cleared areas and benches prepared to receive fill;
- b) Observation of the removal of all unsuitable soils and other materials;
- c) The approval of soils to be used as fill material;
- d) Inspection of compaction and placement of fill;

- e) The testing of compacted fills; and
- f) The inspection or review of drainage devices.

50. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by the Public Works Department, a new Preliminary Soils and/or Geotechnical Investigation.

51. Prior to permit issuance the pdf copy of the soils report shall be provided by the applicant.

52. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.

53. The repair, alteration, change of occupancy of all existing buildings shall comply with one of the methods listed in Section 301.1.1 through 301.1.3 of the California Existing Building Code as selected by the applicant.

54. The seismic evaluation and design shall be based on the procedures of the California Building Code or ASCE 41 per Section 301.1.4 of the California Existing Building Code.

55. When prescriptive compliance method is selected, except as provided by Section 403.2 or Section 403.1 of the California Existing Building Code, alterations to any building or structure shall comply with the requirements of the California Building Code.

56. No change shall be made in the use or occupancy of any building that would place the building in a different division of the same group of occupancies or in a different group of occupancies, unless such building is made to comply with the requirements of the California Building Code for such division or group of occupancies per Section 407 of the California Existing Building Code.

57. The building height and area shall not exceed the limits specified in Table 504.3, 504.4 and 506.2 based on the type of construction as determined by Section 602 and the occupancies as determined by Section 302 except as modified hereafter.

58. Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 5 to 10 feet shall comply with Table 705.8 of the Building Code.

59. All State of California disability access regulations for accessibility shall comply with Chapter 11B of the California Building Code.

60. Electrical plan check is required.

1 61. Mechanical plan check is required.
2 62. Plumbing plan check is required.
3 63. Energy calculations are required for new lighting or mechanical equipment.
4 64. Plumbing fixtures shall be provided as required by the Chapter 4 of the California
5 Plumbing Code. Additional fixtures may be required if not in compliance.
6 65. Project shall comply with the CalGreen Non-Residential mandatory requirements.
7 66. Demolition permit is required for any existing buildings which are to be
8 demolished.
9 67. All fire sprinkler hangers must be designed and their location approved by an
10 engineer or an architect. Calculations must be provided indicating that the
11 hangers are designed to carry the tributary weight of the water filled pipe plus a
12 250 pound point load. A plan indicating this information must be stamped by the
13 engineer or the architect and submitted for approval prior to issuance of the
14 building permit.
15 68. Separate permit is required for Fire Sprinklers.
16 69. The building permit will not be issued until the property has been surveyed and
17 the boundaries marked by a land surveyor licensed by the State of California.
18 70. City records indicate the proposed site is a combination of lots under common
19 ownership. A parcel merger by document shall be obtained or a parcel/tract map
20 shall be processed prior to issuance of the building permit.
21 71. City of Huntington Park, Preliminary MS4 Project Application completed by
22 Engineer of Record and approved by Environmental Division shall be copied on
23 the first sheet of Building Plans and on the first sheet of Grading Plans.

24 **Code Enforcement**

25 72. Trash enclosure shall be secured at all times.
26 73. That "NO TRESPASSING" signs be installed on the exterior of the property as
27 approved by the City.

28 **County of Los Angeles Fire Department**

29 74. Review and approval by the County of Los Angeles Fire Department Fire
30 Prevention Engineering Section Building Plan Check Unit shall be required for this
31 project prior to building permit issuance.

1 **SECTION 6:** This resolution shall not become effective until 15 days after the date of
2 decision rendered by the Planning Commission, unless within that period of time it is
3 appealed to the City Council. The decision of the Planning Commission shall be stayed until
4 final determination of the appeal has been effected by the City Council.

5 **SECTION 7:** The Secretary of the Planning Commission shall certify to the adoption
6 of this resolution and a copy thereof shall be filed with the City Clerk.

7
8 **PASSED, APPROVED, AND ADOPTED** this 19th day of July, 2017 by the
9 following vote:

10 AYES:

11 NOES:

12 ABSENT:

13
14 HUNTINGTON PARK PLANNING COMMISSION

15
16 _____
17 Efren Martinez, Chairperson

18 ATTEST:

19
20 _____
21 Sergio Infanzon, Secretary

22
23
24
25
26
27
28

BUSINESS DESCRIPTION

EXHIBIT B

CASE NO. 2017-03 CUP/DP

CENTRAL LOS ANGELES TRADING, INC.



May 25, 2017

Business Schedule for Central Los Angeles Trading, Inc.

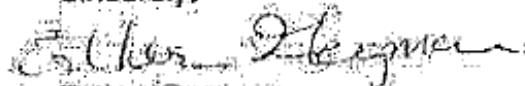
Hours of Operation: Central Los Angeles Trading, Inc. will operate Monday through Friday, From 8:00a.m. To 4:00p.m.

Hours for Delivery and Pick Up: Central Los Angeles Trading, Inc. will have one truck deliver and for pick up, Monday through Friday from 7:00a.m. To 8:00a.m.

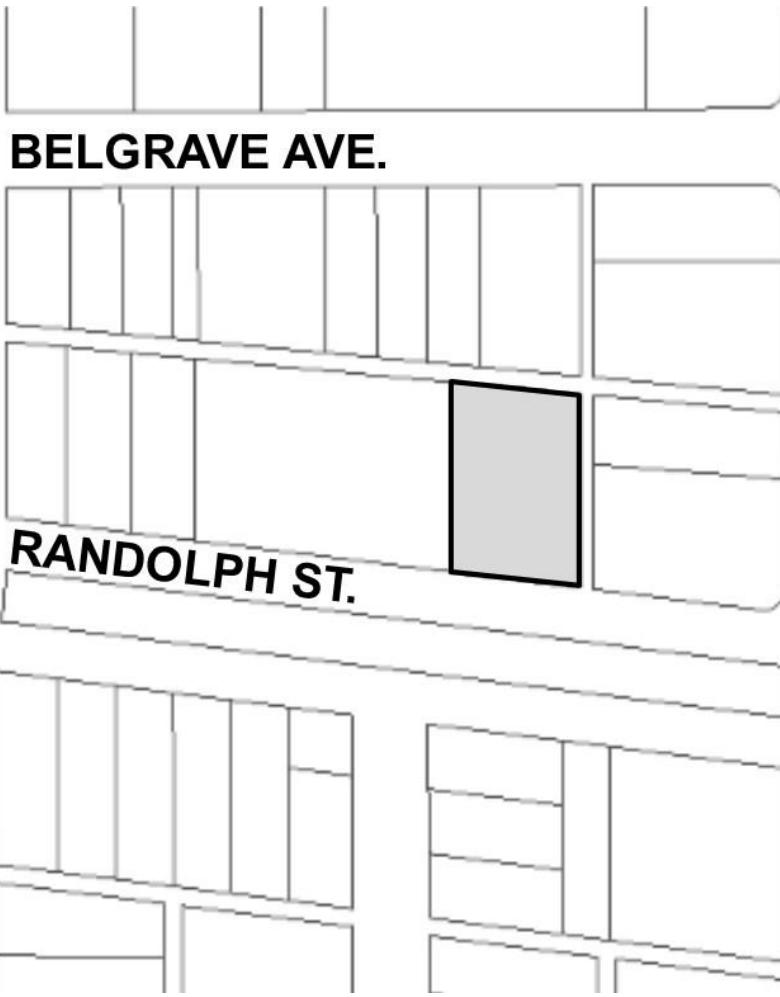
Employees: Central Los Angeles Trading, Inc. will have 4 employees on premise.

Alarm System: Central Los Angeles Trading, Inc. will have a 24-hour alarm system from Monday through Friday. Alarm Monitor Service will be connected to the Police Department and to the Fire Department.

Sincerely,


Esther Guzman
Secretary / Treasury

MARBRISA AVE.



BELGRAVE AVE.

RANDOLPH ST.

SANTA FE AVE.

VICINITY MAP

EXHIBIT C

CASE NO. 2017-03 CUP/DP

ASSESSOR'S PARCEL MAP

EXHIBIT D

CASE NO. 2017-03 CUP/DP

6321

CALE 1" = 80'

4

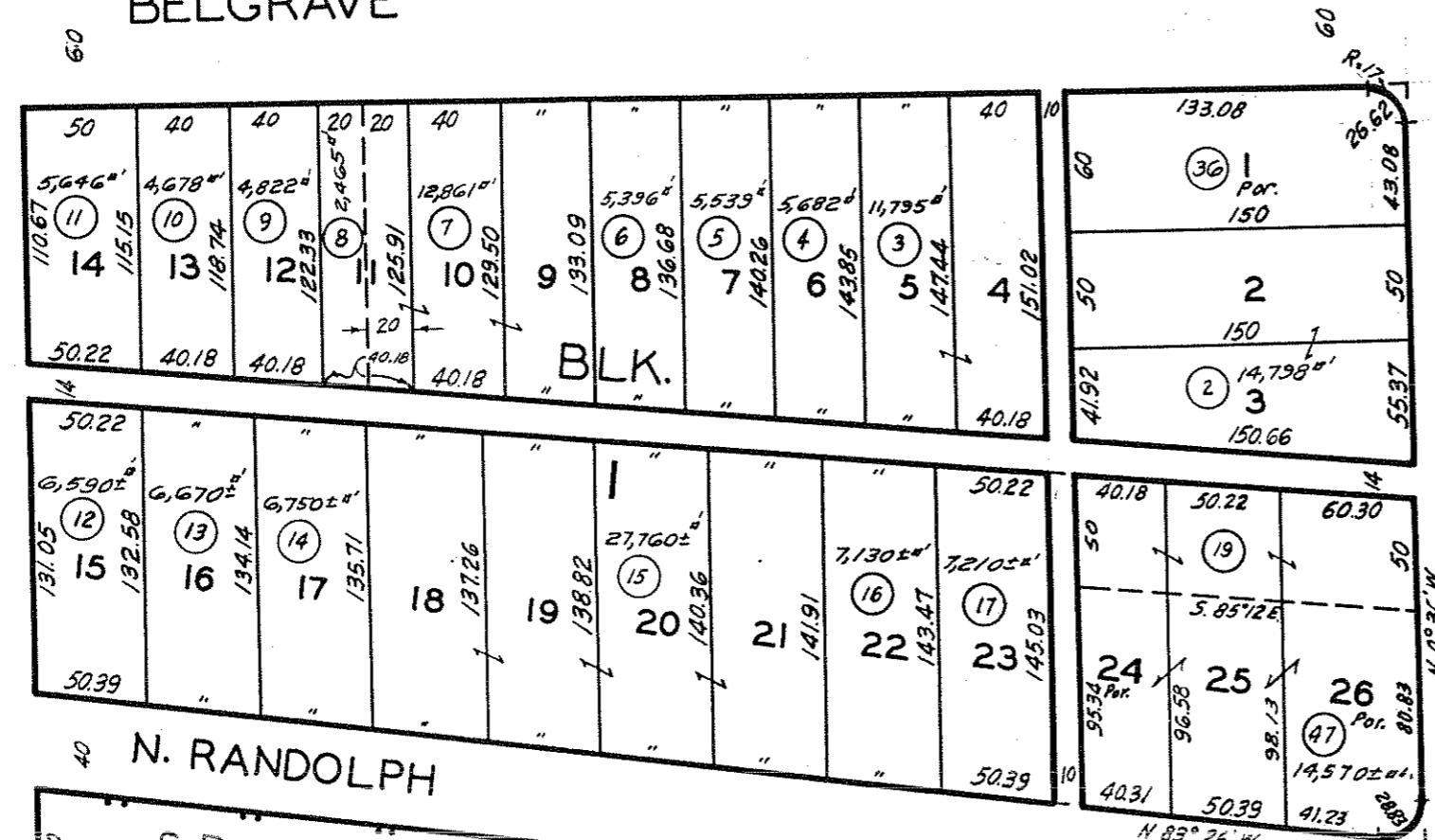
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80102
85102
86010680
8602276
86032000
8606026
86082500
861105852
861202817
87021960

ST. 60

ALBANY

BELGRAVE



N. RANDOLPH

S.P.

POR. N. 1/2 SEC. 22 (800) 0.61± Ac.

S. RANDOLPH

TRACT NO. 45727

M.B. 1111-35-36

TRACT NO. 2510

M.B. 27-26

TRACT NO. 45887

M.B. 1125-21-22

CODE
594
590

FOR PREV. ASSM'T. SEE: 395-23, 32 & 34

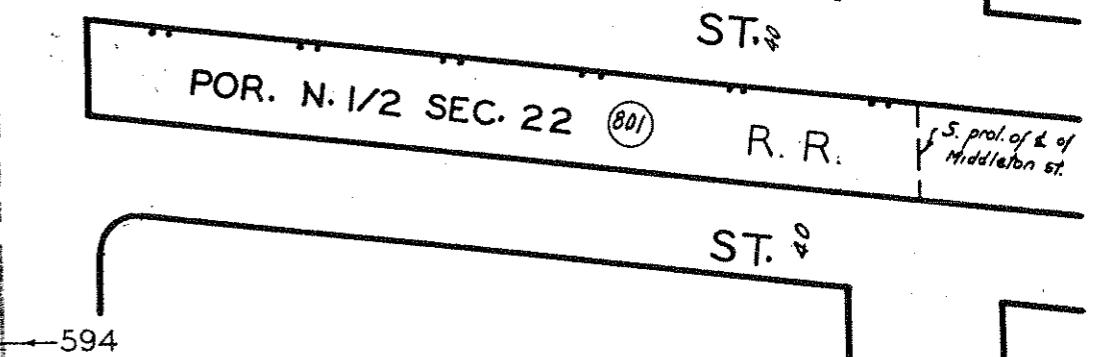
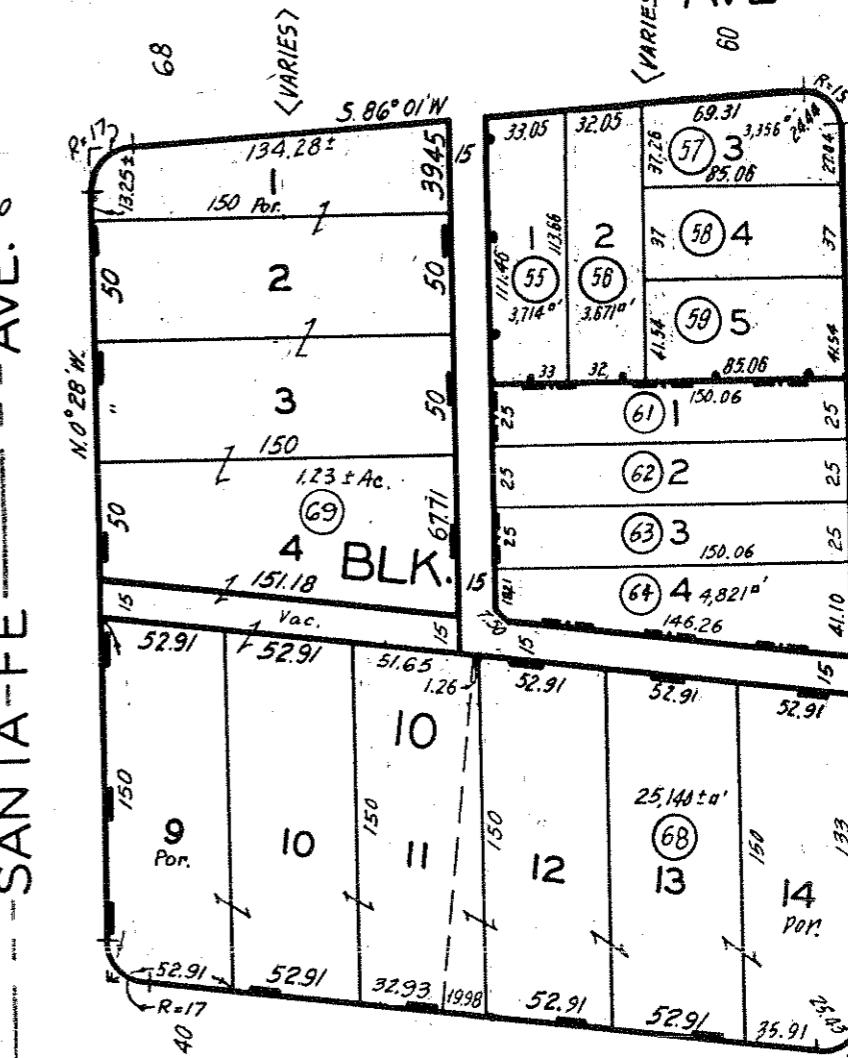
MARBRISSA
AVE.

C.F. 1298

T. 2S., R. 13 W.

REPLAT OF PART OF BLOCKS 10 & 27
OF HUNTINGTON PARK INCLUDING LOT 153
OF NADEAU VINEYARD TRACT NO. 2

M.B. 4-47

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.

MIDDLETON

SITE PLAN

EXHIBIT E

CASE NO. 2017-03 CUP/DP

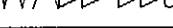
**FLOOR PLAN
(WAREHOUSE BUILDING)**

EXHIBIT F

CASE NO. 2017-03 CUP/DP

BATH NOTE

PLUMBING FIXTURES SHALL COMPLY WITH WATER CONSERVATION REQUIREMENTS.
LAVATORY FAUCET: 0.4 gpm
WATER CLOSET: 1.28 gallons per flush

| WALL LEGEND | |
|-------------------------------------------------------------------------------------|-----------------------------------------|
|  | EXISTING CONCRETE BLOCK WALLS |
|  | NEW CONCRETE BLOCK IN EXISTING OPENINGS |

Architectural site plan showing the layout of a refrigeration unit installation. The plan includes the following key components and dimensions:

- NEW 8' HIGH PERFORATED METAL FENCE COLOR GRAY:** A 46'-5" long fence line on the left.
- N. 3068 PERFORATED METAL DOOR:** Located at the top of the fence line.
- EC-1:** EC-1 FRICK EVAP CONDENSER 8' HEIGHT.
- IM-1:** IM-1 AC CONDENSER 5' HEIGHT.
- IM-2:** IM-2 AC CONDENSER 5' HEIGHT.
- NEW REFRIGERATION UNIT:** A vertical structure connected to the condensers.
- ADT-1:** ADT-1 AMMONIA DIFFUSION TANK 7' HEIGHT.
- SA-1:** SA-1 SUCTION ACCUMULATOR 5' HEIGHT.
- C-1:** C-1 FRICK RWBII 177 8' HEIGHT.
- C-2:** C-2 FRICK RWBII 60E 5' HEIGHT.
- C-3:** VILTER 446 7' HEIGHT.
- PROPOSED LOCATION 8' x 10' PAD FOR TRANSFORMER WITH BOLLARD PROTECTION PER S.C.E. STANDARDS SEE ELECTRICAL PLANS:** A proposed location for a transformer pad with a 5' height requirement.
- NEW EXTERIOR LIGHT:** Located on the fence line.
- EXISTING 48X96 SLIDE DOOR:** Located on the fence line.
- NEW 48X96 SLIDE DOOR:** Located on the fence line.
- EXISTING 2,400 SF. WAREHOUSE BUILDING (COLD ROOM) TO BE USE FOR ICE FACTORY & STORAGE (NO EQUIPMENT INSIDE):** An existing building to the right.
- NEW 96 S.F. TRASH ENCLOSURE:** A 10'-10" high structure on the right.
- N. 6068 DOOR PER CITY STANDARDS PERFORATED METAL MATERIAL:** A door on the trash enclosure.
- FENCE GATES, 8' HIGH NEW CHAIN LINK W/ VINYL SLATS COLOR GRAY:** Located at the bottom of the fence line.
- FILLING WALL:** A wall section at the bottom right.
- EXISTING ELECTRICAL METER:** Located near the bottom right corner.

Dimensions shown along the bottom fence line include: 8'-0", 6'-0", 12'-0", 4'-10", 4'-0", 8'-0", 12'-8", 8'-0", 4'-0", and 4'-9".

E. STORAGE FLOOR PLAN

SCALE : 1/4" = 1'-0"

C 8x11.5 CHANNEL
w 1/2"Øx6" T.R. @ 12" oc Staggered
w/ SET-XP LARR#25744
SPECIAL INSPECTION REQ'D

This technical diagram illustrates a cross-section of a concrete block wall foundation. The wall is labeled '(E) CONCRETE BLOCK WALL' and is supported by a foundation labeled '(E) FOUNDATION'. The wall height is indicated as 5'2". A new opening of 86" x 40" is shown on the left side. The foundation has a height of 7'2". On the right side, there are two new openings, each 86" high, with a total height of 4'0". Vertical dimensions are marked on the right side of the wall, including 3'10", 7'2", 4'0", and 4'0". The diagram uses arrows to point from the labels to the corresponding parts of the wall and foundation.

DETAIL I

SCALE: 3/8" = 1'-0"

DETAIL 1

SCALE : 3/8" = 1'-0"

PFR SITE PLAN

The diagram is a site plan titled 'PFR SITE PLAN'. It features a central rectangular area filled with a dense cross-hatch pattern. This central area is bounded by vertical lines on the left and right. To the left of these vertical lines, there are two horizontal dimension lines. The top dimension line is labeled '4'-0"'. The bottom dimension line is labeled '3'-9", with a small '8' written above the '3'. To the right of the central area, there are two vertical dimension lines. The top dimension line is labeled '6"'. The bottom dimension line is also labeled '6"'. The entire diagram is enclosed in a rectangular border.

PERFORATED METAL DETAIL

SCALE : NTS

CONSTRUCTION

5003 Telegraph Rd. Los Angeles CA.
90022

| |
|-----------------------|
| 5/31/2017 11:04:53 PM |
| DATE |
| 1 REVISIONS: |
| 1 |
| 2 |
| 3 |
| 4 |
| 5 |
| 6 |
| |

OWNER: FRED RADER
ADDRESS: 550 S. ORANGE GROVE CR. PASADENA CA, 91105
PH: (213) 999-0079

ASSESSOR #: 6321 - 004 - 017

EXISTING BLDG. T.I. & CHANGE OF USE

AD

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
HUNTINGTON PARK, CA 90255

PROPOSED FLOOR PLAN

ICR NO. 16-242

DRAWN BY: I.R.

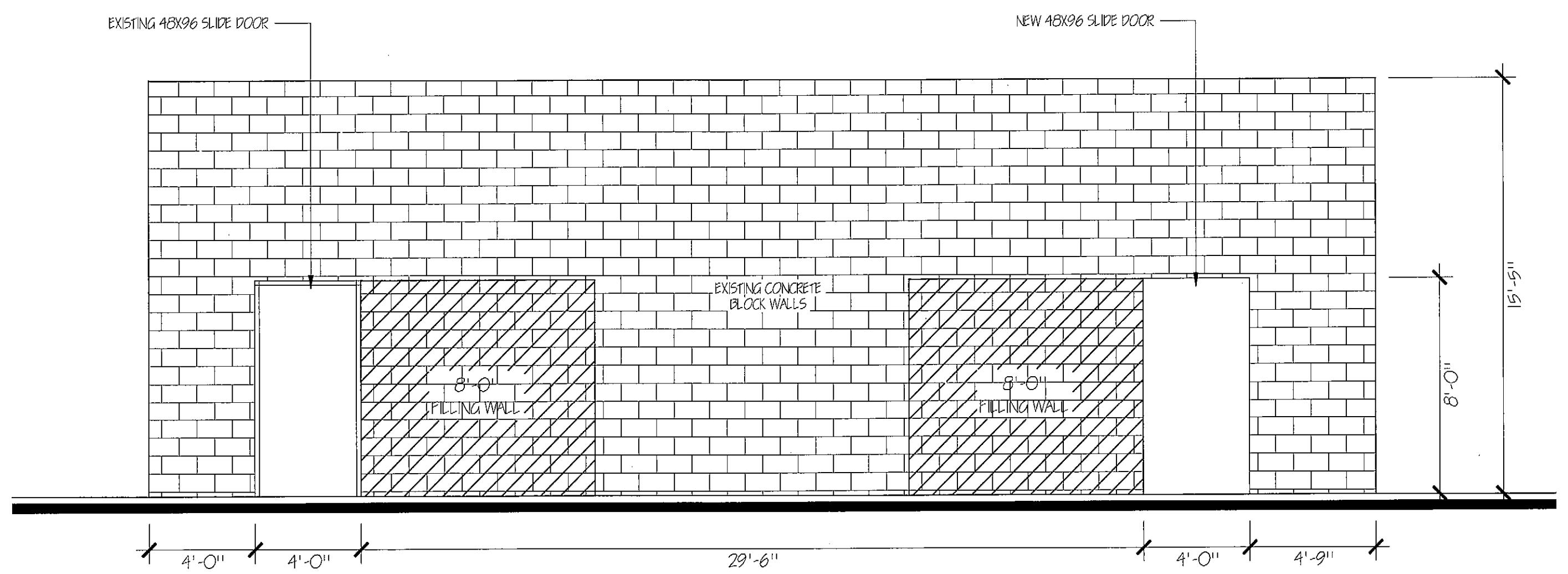
DATE: Oct. 2016

A-2.1a

**ELEVATIONS
(WAREHOUSE BUILDING)**

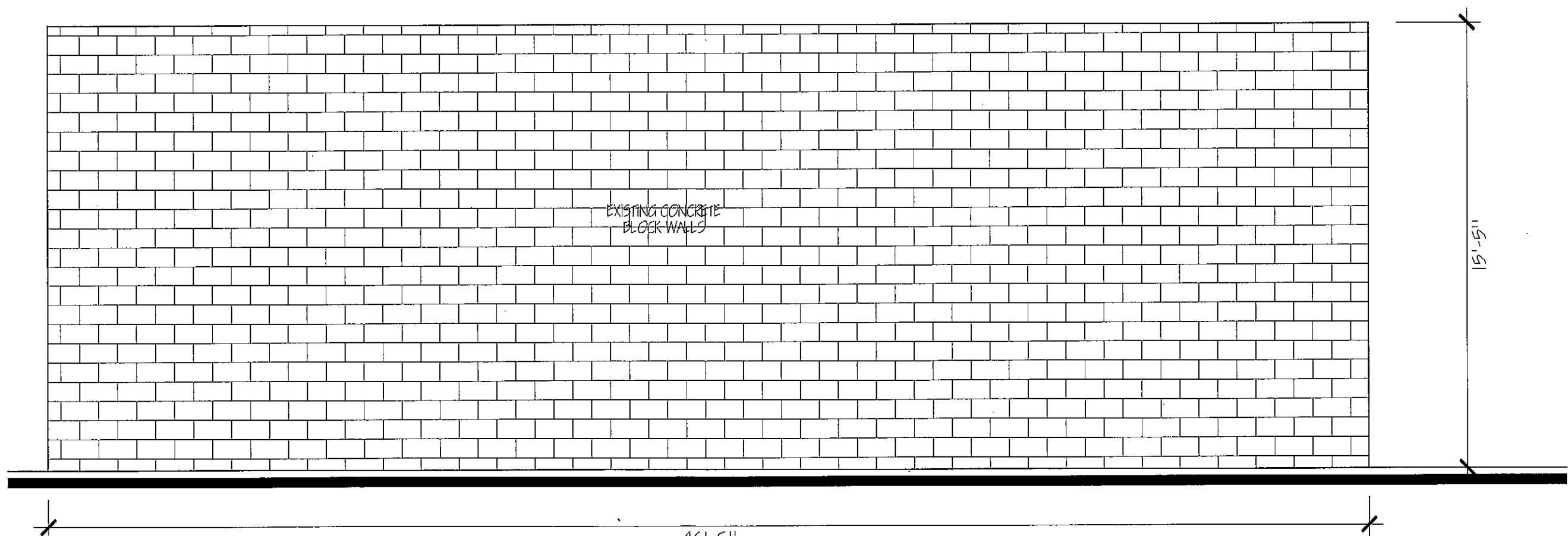
EXHIBIT G

CASE NO. 2017-03 CUP/DP



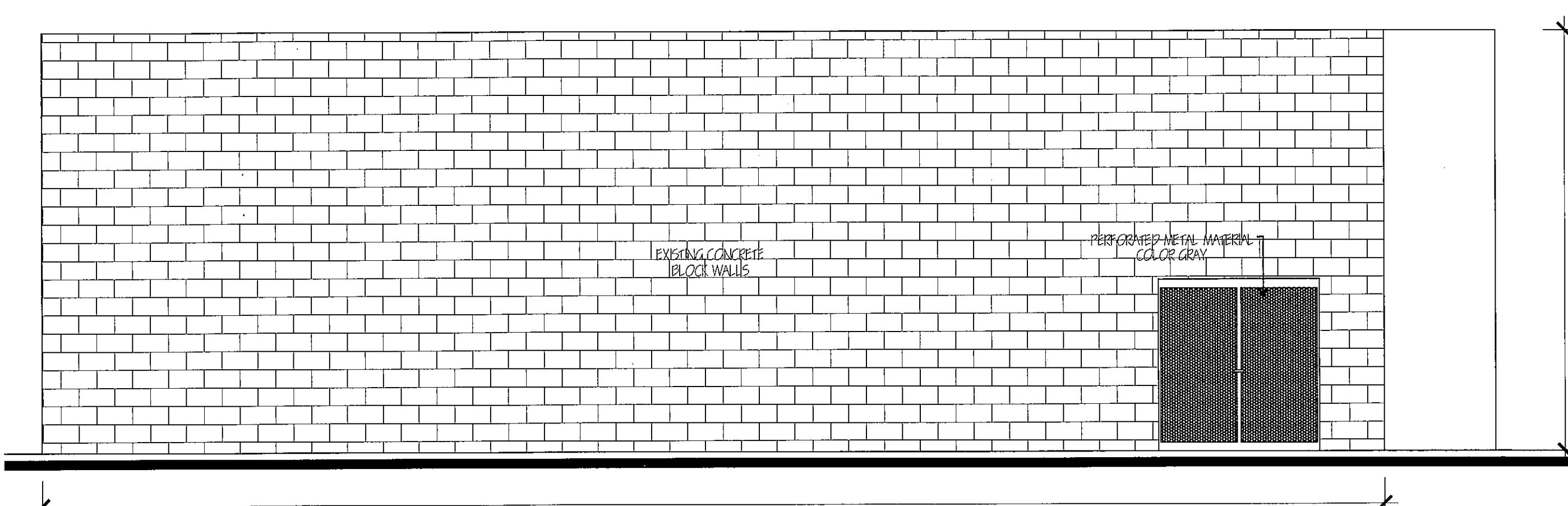
N. SOUTH ELEVATION (MFG/ WAREHOUSE BLDG)

SCALE : 1/4" = 1'-0"



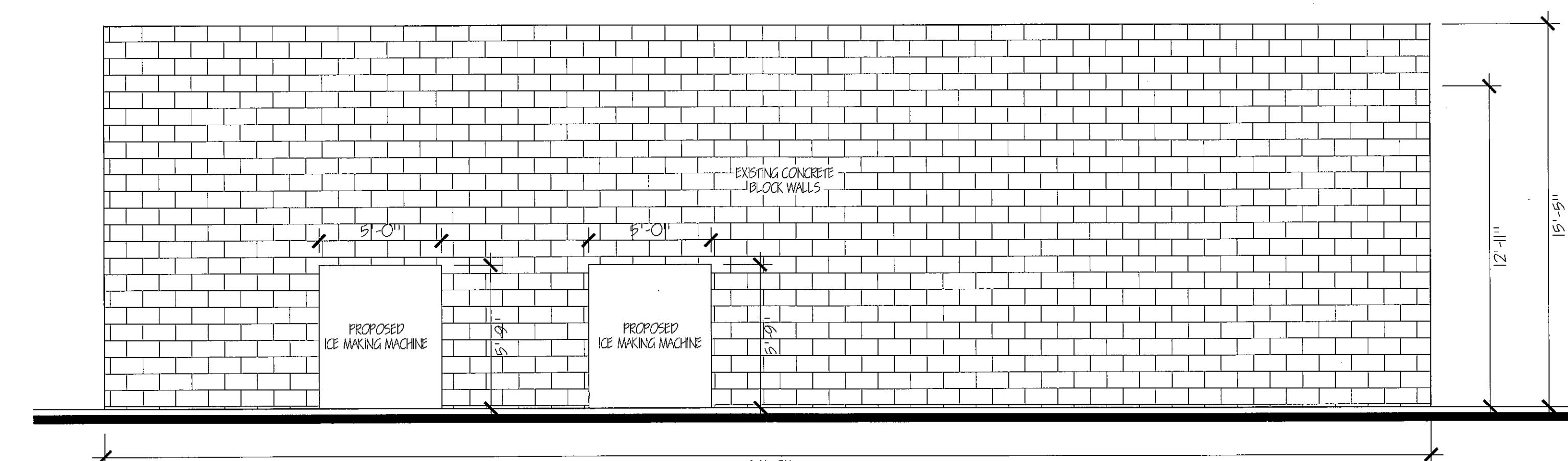
N. NORTH ELEVATION (MFG/ WAREHOUSE BLDG)

SCALE : 1/4" = 1'-0"



N. EAST ELEVATION (MFG/ WAREHOUSE BLDG)

SCALE : 1/4" = 1'-0"



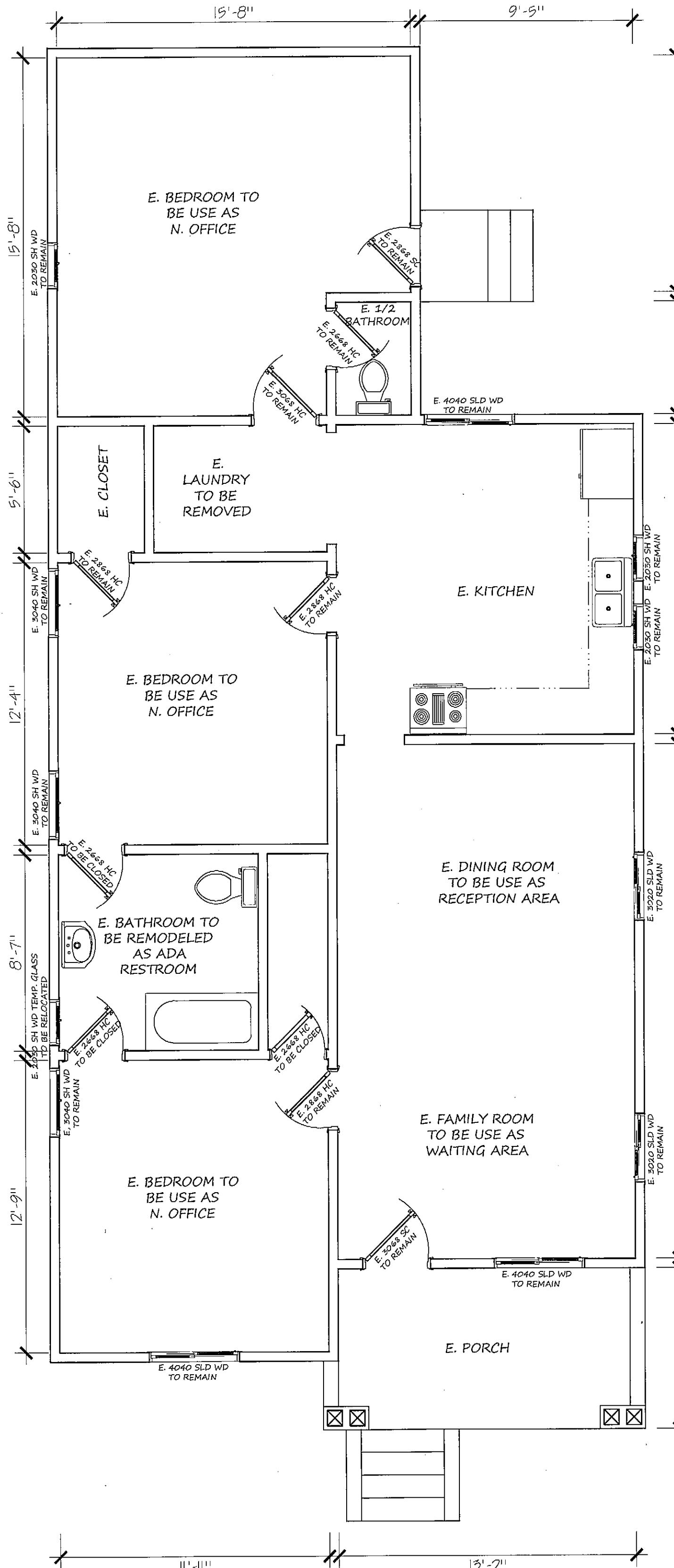
N. WEST ELEVATION (MFG/ WAREHOUSE BLDG)

SCALE : 1/4" = 1'-0"

FLOOR PLAN (OFFICE BUILDING)

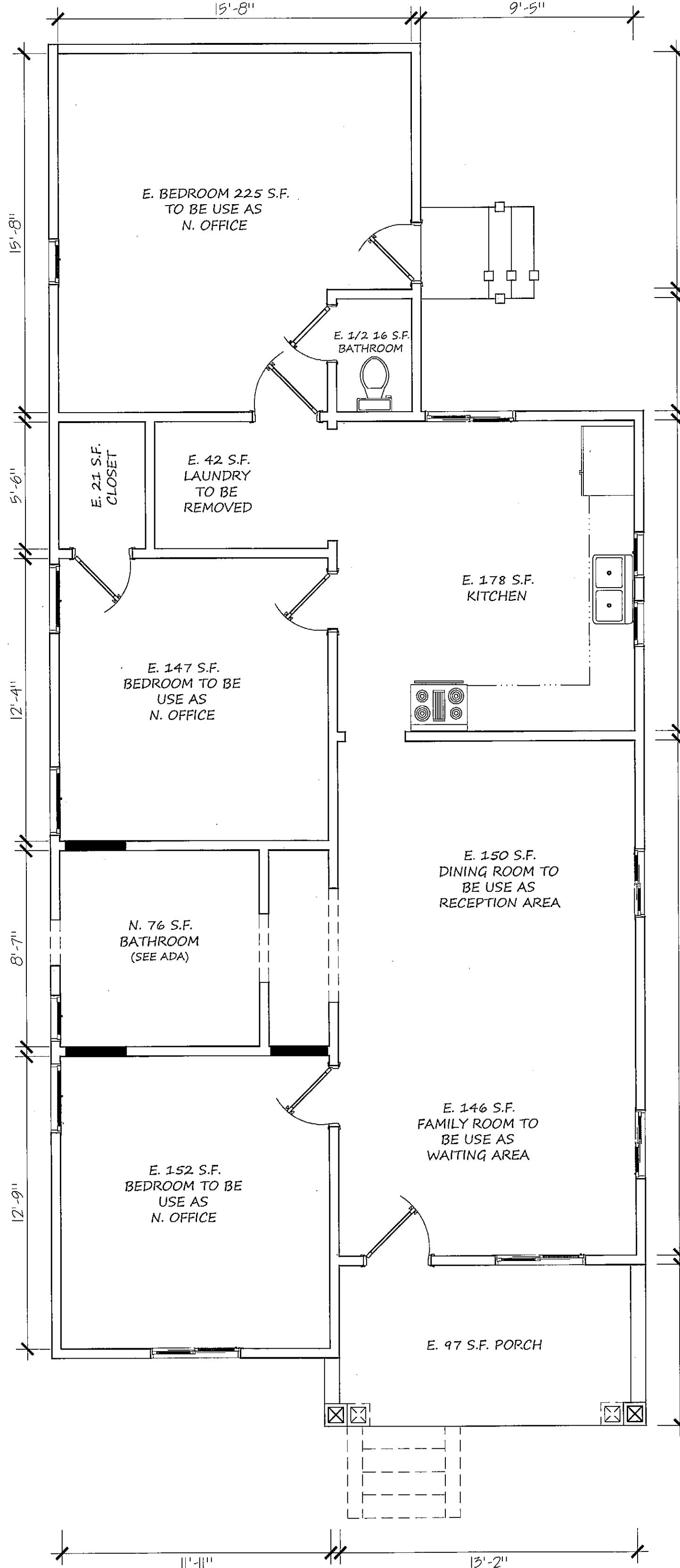
EXHIBIT H

CASE NO. 2017-03 CUP/DP



E.S.F.R. FLOOR PLAN

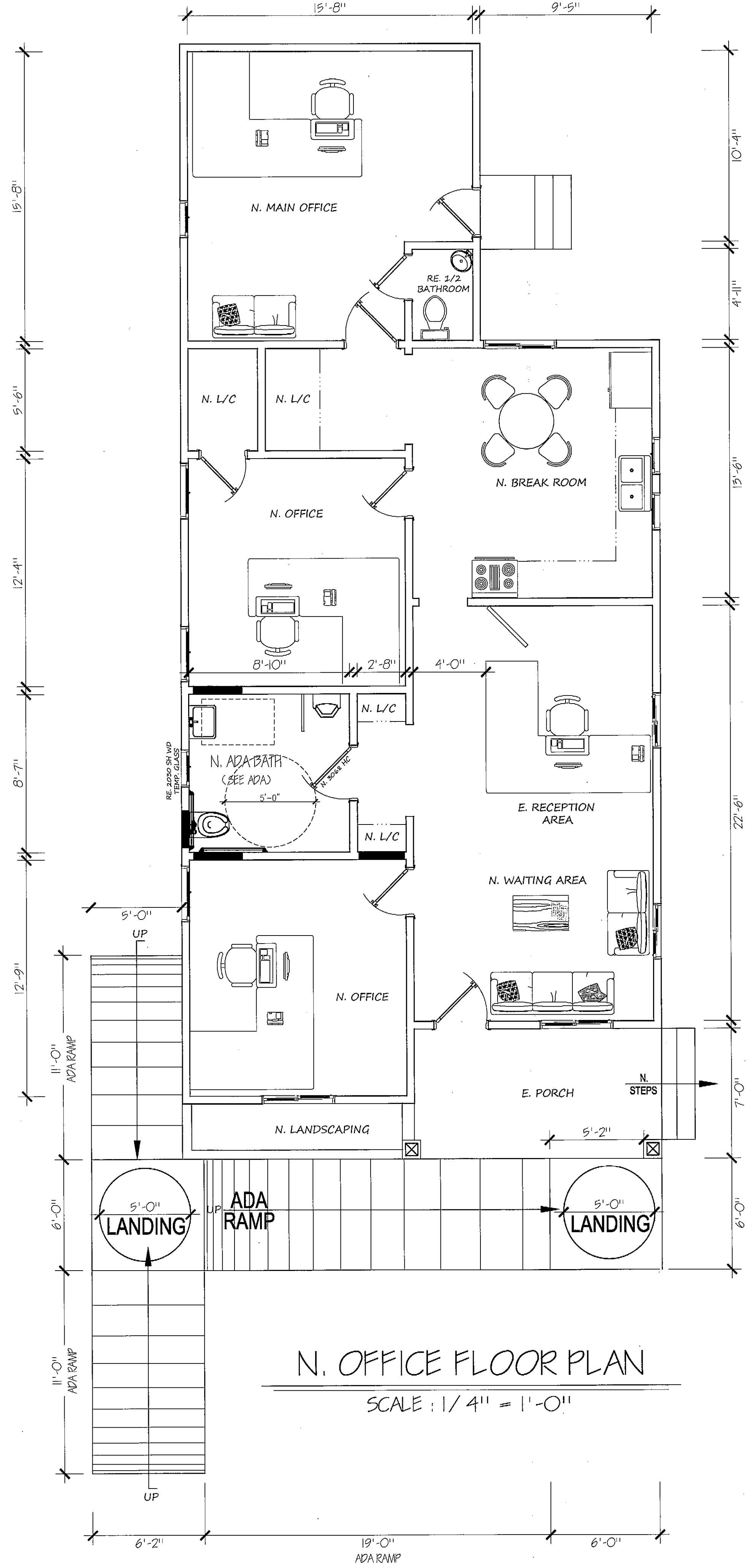
SCALE : 1/4" = 1'-0"



S.F.R. DEMO PLAN

SCALE : 1/4" = 1'-0"

N. = NEW
E. = EXISTING
RE = RELOCATED



N. OFFICE FLOOR PLAN

SCALE : 1/4" = 1'-0"

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
HUNTINGTON PARK, CA 90255
OWNER: FRED RADER
ADDRESS: 5150 S. ORANGE GROVE OR. PASADENA CA, 91105
PH: (213) 935-0079

ASSESSOR #: 6321 - 004 - 017

EXISTING BUILDING FLOOR PLAN

5003 Telegraph Rd. Los Angeles CA.
90022
tdesignsinfo@gmail.com
Tel (562) 479-5805
Fax (800) 878 8275

CORONA
CONSTRUCTIONS
Tel (323) 216-1160
Fax (323) 584-3202

3/28/2017 6:37:13 PM
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REVISIONS:

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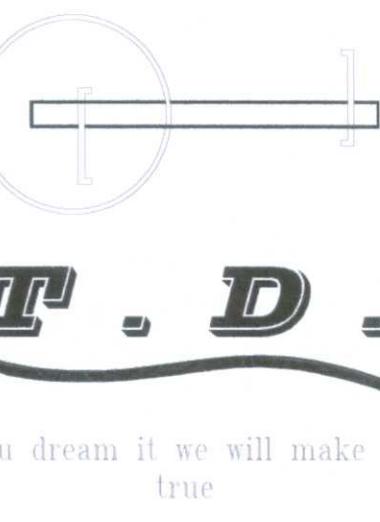
JOB NO. 16-049
DRAWN BY: I.R.
DATE: Oct. 2016

T. D.
you dream it we will make it
true

ELEVATIONS (OFFICE BUILDING)

EXHIBIT I

CASE NO. 2017-03 CUP/DP



5003 Telegraph Rd. Los Angeles CA.
90022

tdesignsinfo@gmail.com
Tel (562) 479-5805
Fax (800) 878 8275

C O R O N A
CONSTRUCTION
Tel (323) 216-1160
Fax (323) 584-3202

3/28/2017 6:37:13 PM

DATE
1 REVISIONS:
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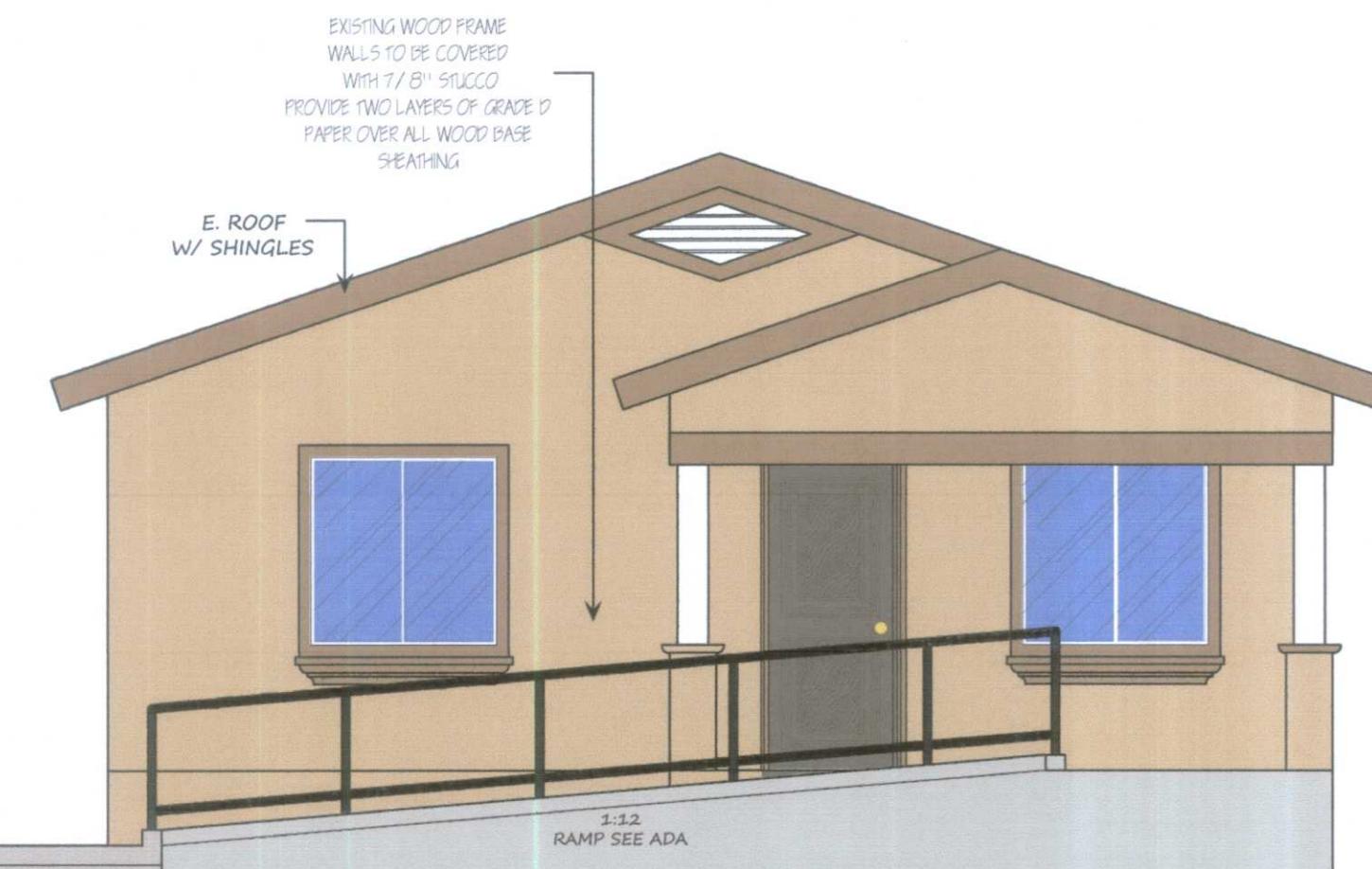
OWNER: FRED RADER
ADDRESS: 350 S. ORANGE GROVE CR. PASADENA CA. 91105
PH: (213) 999-0079

ASSESSOR #: 6321 - 004 - 017
EXISTING BLDG. T.I. & CHANGE OF USE

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
HUNTINGTON PARK, CA 90255
JOB NO. 16-049

DRAWN BY: I.R.
DATE: Oct. 2016

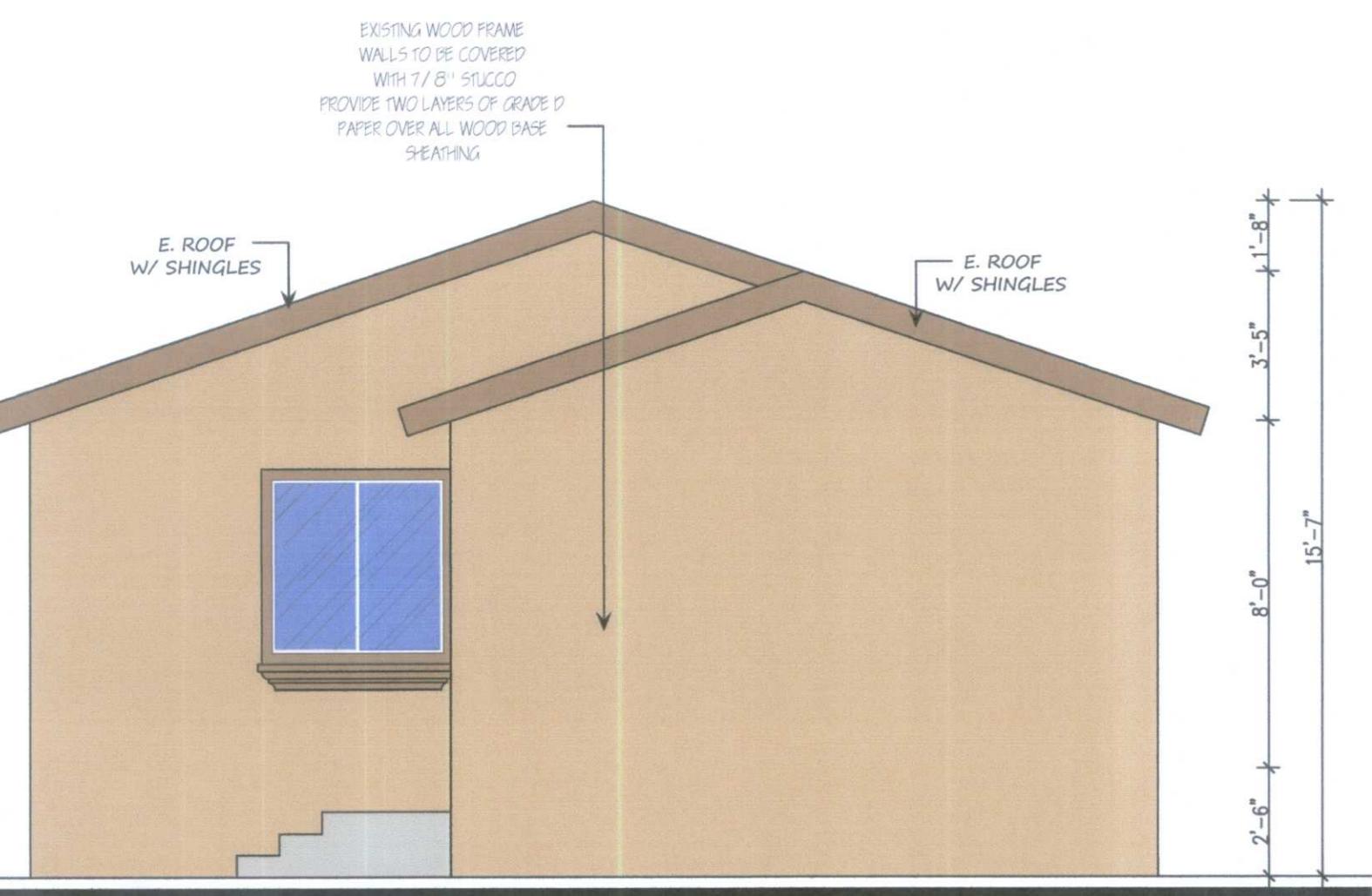
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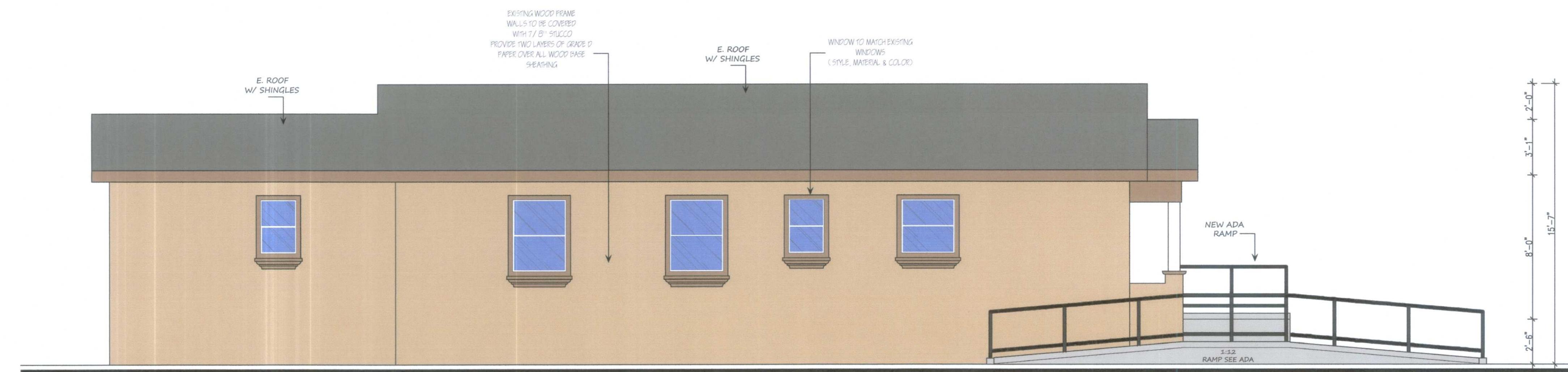
N. SOUTH ELEVATION



N. EAST ELEVATION



N. NORTH ELEVATION



N. WEST ELEVATION

APPLICATION AND ENVIRONMENTAL ASSESSMENT CHECKLIST

EXHIBIT J

CASE NO. 2017-03 CUP/DP



CITY OF HUNTINGTON PARK

Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@h pca.gov

CONDITIONAL USE PERMIT APPLICATION

FOR OFFICE USE ONLY

Date Filed: 7/12/17

File No.: 2017-03

Fee/Receipt No.: ~~\$2,225.00~~

Initials: *BP*

PROJECT INFORMATION

Project Address: 2304-2315 RANDOLPH STREET

General Location: NORTH WEST CORNER OF RANDOLPH STREET.

Assessor's Parcel Number (APN): 110 SANTA FE

6321-004-047

APPLICANT'S INFORMATION

Applicant: LEO CORONA

Mailing Address: 12345 1/2 AVE HUNTINGTON PARK 90255

Phone 1: _____ Phone 2: _____ Email: _____

PROPERTY OWNER'S INFORMATION

Property Owner: FRED RADER

Mailing Address: [REDACTED] PASADE CA 91105

Phone 1: (213) [REDACTED] Phone 2: _____ Email: _____

REQUEST

I/We hereby request a Conditional Use Permit (CUP) for the following purpose:

APPROVAL OF A CONDITIONAL USE PERMIT TO ESTABLISH
AND OPERATE AN ICE MANUFACTURING COMPANY LOCATED
AT 2309-2315 RANDOLPH STREET IN THE MPD
(MANUFACTURING PLANNED DEVELOPMENT) ZONE

In order for the Planning Commission to approve a CUP, the Huntington Park Municipal Code requires that all of the following findings be made:

- A. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of the Zoning Code;
- B. The proposed use is consistent with the General Plan;
- C. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
- D. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;
- E. The subject site is physically suitable for the type and density/intensity of use being proposed; and
- F. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

In order for the Planning Commission to determine if these findings are present in your case, the following questions must be answered by the applicant:

1. The site for this proposed use is adequate in size and shape. (Explain)

THE PROPOSED SITE FOR THE ICE MANUFACTURING AND STORAGE IS ADEQUATE FOR IN SIZE AND SHAPE. THE LOT SIZE IS 14,340 SQ FT. THE SHAPE OF THE LOT IS RECTANGULAR AND THE SITE IS CURRENTLY HAS AN APPROXIMATELY 2400 SQ FT STRUCTURE THAT WILL BE USED FOR STORAGE AND 1214 SQ FT EXISTING BUILDING TO BE USED FOR OFFICES.

2. The site has sufficient access to street and highways that are adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed use. (Explain)

THE SITE HAS SUFFICIENT ACCESS TO STREETS THAT ARE INADEQUATE TO CARRY THE TRAFFIC ASSOCIATED TO THE PROPOSED ICE MANUFACTURING AND STORAGE. THE PROPERTY IS LOCATED AT THE NW INTERSECTION OF SANTA FE AND RANDOLPH STREET. ADDITIONALLY TO THE PROPERTY IS BOUNDED TO THE WEST BY 10' FT PUBLIC ALLEY. WAY THERE IS AN ADDITIONAL 15' FT ALLEY TO THE NORTH

CUP APPLICATION - PAGE 2

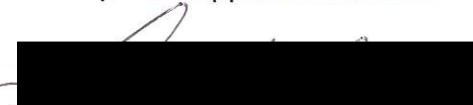
OF THE PROPERTY. SANTA FE AVENUE IS CONSIDERED A PRIMARY ARTERIAL RUNNING NORTH AND SOUTH THROUGH THE CITY. RANDOLPH IS A TWO WAY LANE.

3. The proposed use will not be materially detrimental, nor have an adverse effect upon adjacent uses, buildings, or structures. (Explain) THE PROPOSED ICE MANUFACTURING AND STORAGE STORE WILL NO BE MATERIALLY DETERIMENTAL NOR HAVE ANY ADVERSE IMPACTS ON SURROUNDING USES OR STRUCTURES. THE SITE OF THE PROPOSED USE WAS FORMERLY USED FOR INDUSTRIAL PURPOSES. THE SITE HAS BEEN ABANDONED /VACANT FOR MANY YEARS. THE PROPOSED USE WILL IMPROVE THE VISUAL APPEARANCE OF THE DILAPIDATED BUILDING. THE PROPERTY OWNER IS ALSO PROPOSING TO MAKE SEVERAL SITE IMPROVEMENTS.

4. The proposed Conditional Use Permit will not be in conflict with the General Plan. (Explain)

THE PROPOSED USE IS CONDITIONALLY PERMITTED WITH THE M P D ZONE. THE PROPOSED ICE FACTORY MANUFACTURING AND STORAGE PROJECT COMPLIES WITH THE PROVISIONS OF THE GENERAL PLAN AND H P M C.

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.


[Redacted]
Applicant Signature (Required)

Date 7/12/2017

LEONARDO CORONA
Print Name

Note: If the applicant is not the property owner, the owner of the property must sign the application or a written authorization must be submitted so that the applicant may file the application.

FRED RAIDER
Property Owner Signature (Required)

Date 7/12/2017

FRED RAIDER
Print Name



CITY OF HUNTINGTON PARK

Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@h pca.gov

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY

Date Filed: 7/12/17

File No.: 2017-03

Fee/Receipt No.: \$1,630.00

Initials: BF

PROJECT INFORMATION

Project Address: 2309 - 2315 - RANDOLPH STREET

General Location: NORTHWEST CORNER OF RANDOLPH ST AND STATE AV.

Assessor's Parcel Number (APN): 6321-004-017 6321-004-016

APPLICANT'S INFORMATION

Applicant: CORONA CONSTRUCTION

Mailing Address: [REDACTED] 108 HUNTINGTON PARK CA 90255

Phone 1: [REDACTED] Phone 2: [REDACTED] Email: [REDACTED]

PROPERTY OWNER'S INFORMATION

Property Owner: FRED RADER

Mailing Address: [REDACTED] PASADENA CA 91105

Phone 1: [REDACTED] Phone 2: [REDACTED] Email: [REDACTED]

PROJECT DESCRIPTION (Check as Appropriate):

Interior Improvement(s) Only Addition to Existing Structure New Structure

Other Improvements (Describe): (E) 2400 BUILDING TO BE USE FOR ICE FACTORY

STORAGE MANUFACTURING. A 1214 SQFT. TO BE USE AS OFFICES.

APPROVAL OF CUP. AND DP. TO ESTABLISH TO AND OPERATE 2400 SQFT.

BUILDING. TO BE USED FOR ICE STORAGE AND MANUFACTURING LOCATED AT 2309-2315 (MANUFACTURING PLANNED DEVELOPMENT) ZONE

TYPE OF USE (Check as Appropriate):

Residential Retail/Office Commercial Restaurant Industrial/ Manufacturing

Other (Describe): [REDACTED]

Square Footage of New Development/Addition: [REDACTED]

Total Square Footage: LOT 14,340 SQFT OF (E) STORAGE 2400 SQFT (E) SINGLE

Lot Coverage: 25% Off-Street Parking Spaces Provided: 7 No. of Floors: 1

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.

[REDACTED]
Signature of Applicant

7/12/2017
Date



CITY OF HUNTINGTON PARK

Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@h pca.gov

ENVIRONMENTAL INFORMATION FORM

FOR OFFICE USE ONLY

Date Filed:

7/12/17 File No.: 2017-03 CUP/DP

Fee/Receipt No.:

Initials: RR

1. Applicant: Owner Leaseee Purchaser Representative

Name: LEONARDO CORONA

Address: [REDACTED] 1000 HUNTINGTON PARK CA 90255

Telephone: [REDACTED]

Email: CORONA CONSTRUCTION @GMAIL.COM

2. Contact Person concerning this project:

Name: CORONA CONSTRUCTION

Address: [REDACTED] HUNTINGTON PARK CA

Telephone: [REDACTED]

Email: [REDACTED]

3. Address of project: 2309-2315 RUMOOLPH ST H.P. CA 90255

4. Assessor's Parcel Number (APN): 6321-004-0416- 6321-004-017

5. Indicate type of permit application(s) (i.e. Conditional Use Permit, Development Permit, Variance, etc.) for the project to which this form pertains:

CONDITIONAL USE PERMIT

DEVELOPMENT PERMIT

6. List any other permits and/or other public agency approvals required for this project, including those required by City, County, State and/or Federal agencies:

BUILDING AND SAFETY, HEALTH DEPARTMENT

7. Existing Zone: MANUFACTURING, PLANNED DEVELOPMENT

8. Proposed use of site: ICE MANUFACTURING AND ICE STORAGE OF ICE

9. Site size (lot dimensions and square footage): 14,340

10. Project size:

Square feet to be added/constructed to structure(s): PROPOSED TENANT SPACE 3614 SQ FT
EXISTING CONSTRUCTION NO NEW SQUARE FOOTAGE
Total square footage of structure(s):

3614 SQUARE FEET

11. Number of floors of construction:

Existing: 1

Proposed: 1

12. Parking:

Amount required: 7

Amount provided: 7

13. Anticipated time scheduling of project: 7 SPACES

14. Proposed phasing of development: ONE PHASE

15. If residential, include number of units, schedule of unit sizes, range of sale/rent prices, and type of household size expected:

N/A

16. If commercial, indicate the type of commercial use, estimated employment per shift, proposed hours of operations, indicate whether neighborhood, City or Regionally oriented, square footage of sales area, and loading locations:

N/A

17. If industrial, indicate type of industrial or manufacturing use, estimated employment per shift, proposed hours of operations, and loading locations:

OPERATIONS 7AM TO 5PM 7 DAYS A WEEK

STORAGE

18. If institutional, indicate type of institutional use, estimated employment per shift, proposed hours of operations, estimated occupancy, loading locations, and community benefits to be derived from the project:

N/A

Please complete numbers 19 through 33 by marking "A" through "D" and briefly discuss any items marked "A" "B" or "C" (attach additional sheets as necessary). Items marked "D" do not need discussion.

| | | | |
|-----------------------------------|------------------------------------------------------------------|---------------------------------|--------------|
| A) Potentially Significant Impact | B) Potentially Significant Impact Unless Mitigation Incorporated | C) Less than Significant Impact | D) No Impact |
|-----------------------------------|------------------------------------------------------------------|---------------------------------|--------------|

AESTHETICS

19. Would the proposed project:

- a. Affect a scenic vista? D
- b. Have a demonstrable negative aesthetic effect? D
- c. Create light or glare? D

AIR QUALITY

20. Would the proposed project:

- a. Affect air quality or contribute to an existing or projected air quality violation? D
- b. Create or cause smoke, ash, or fumes in the vicinity? D
- c. Create objectionable odors? D

BIOLOGICAL RESOURCES

21. Would the proposed project:

- a. Require removal of any existing trees or landscaping? D

CULTURAL RESOURCES

22. Would the proposed project:

- a. Affect historical resources? D
- b. Have the potential to cause a significant physical change which would affect unique ethnic cultural values? D

GEOLOGY AND SOILS

23. Would the proposed project:

- a. Result in erosion, changes in topography or unstable soil conditions from excavation, grading or fill? D
- b. Be located on expansive soils? D
- c. Result in unique geologic or physical features? D

HAZARDS

24. Would the proposed project:

- a. Create a risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)? D
- b. The use or disposal of potentially hazardous materials (i.e. toxic or flammable substances)? D
- c. The creation of any health hazard or potential health hazard? D
- d. Exposure of people to existing sources of potential health hazards? D

HYDROLOGY AND WATER QUALITY

25. Would the proposed project:

- a. Change water drainage patterns? D
- b. Change the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capabilities? D
- c. Impact groundwater quality? D
- d. Substantially reduce the amount of groundwater otherwise available for public water supplies? D

LAND USE AND PLANNING

26. Would the proposed project:

- a. Conflict with the Zoning or General Plan designation? D
- b. Be incompatible with existing land use in the vicinity? D
- c. Disrupt or divide the physical arrangement of an established community? D

MINERAL AND ENERGY RESOURCES

27. Would the proposed project:

- a. Conflict with the conservation of water? D
- b. Use non-renewable resources in a wasteful and/or inefficient manner? D
- c. Substantially increase energy consumption (i.e. electricity, oil, natural gas, etc.)? D

NOISE

28. Would the proposed project result in:

- a. Increase to existing noise levels? D
- b. Exposure of people to severe noise levels? D

POPULATION AND HOUSING

29. Would the proposed project:

- a. Induce substantial growth in an area either directly or indirectly (i.e. through population growth or infrastructure use)? D
- b. Displace existing housing, especially affordable housing? D

PUBLIC SERVICES

30. Would the proposal result in a need for new or altered government services for any of the following public services:

- a. Fire protection? D
- b. Police protection? D
- c. Schools? D
- d. Maintenance of public facilities, including roads? D
- e. Other governmental services? D

RECREATION

31. Would the proposed project:

- a. Increase the demand for neighborhood or regional parks or other recreational facilities? D
- b. Affect existing recreational opportunities? D

TRANSPORTATION AND TRAFFIC

32. Would the proposed project result in:

- a. Increase vehicle trips or traffic congestion? D
- b. Increase hazards to safety from design features (i.e. sharp curves or dangerous intersections)? D
- c. Inadequate access to nearby uses? D
- d. Insufficient on-site parking capacity? D
- e. Hazards or barriers for pedestrians or bicyclists? D

UTILITIES AND SERVICE SYSTEMS

33. Would the proposed project result in a need for new systems or supplies, or alterations to the following utilities:

- a. Power or natural gas? D
- b. Communications systems? D
- c. Local or regional water treatment or distribution facilities? D
- d. Sewer or septic tanks? D
- e. Storm water drainage? D

UTILITIES AND SERVICE SYSTEMS (CONTINUED)

- f. Solid waste disposal? D
- g. Local or regional water supplies? D

34. Describe the project site as it exists before the project, including any existing structures on the site, and the use of the structures (i.e. residential, commercial, industrial, etc.) Attach photographs of the site and of the surrounding land uses.

THE LOT SIZE OF THE PROPOSED SITE IS 14,340 SQFT THE SHAPE OF LOT IS RECTANGULAR THE SITE HAS AN APPROXIMATELY 5200 SQFT THE SITE HAS 2 EXISTING BUILDINGS THE STORAGE BUILDING HAVE 2400 SQFT WILL BE USE TO STORAGE ICE AND THE EXISTING HOUSE WILL BE CONVERTED IN TO OFFICES 1214 SQFT

35. Describe the intensity of land use (i.e. single-family, apartment dwellings, shopping center, etc.), and specifications of development (i.e. height, primary frontage, secondary frontage, setbacks, rear yard, etc.).

THE PROPOSED LAND USE MEETS THE MPD AND THE PROPOSAL IS FOR THE ICE MANUFACTURING AND ICE STORAGE

CERTIFICATION: I hereby certify that the statements furnished above and in the attached plans present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.


Applicant (Signature)


Date