



AGENDA

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, July 19, 2017 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Any person who requires a disability-related modification or accommodation, including auxiliary aids or services, in order to participate in the public meeting may request such modification, accommodation, aid or service by contacting the City Clerk's Office either in person at 6550 Miles Avenue, Huntington Park, California or by telephone at (323) 584-6230. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

NOTE: Any person who has a question concerning any agenda item may contact the Community Development Department at (323) 584-6210. Materials related to an item on this agenda are available for inspection in the office of the Community Development Department at 6550 Miles Avenue, Huntington Park, California during the hours of 7:00 a.m. to 5:30 p.m., Monday through Thursday.

Assembly Bill No. 2674 amended several provisions of the Ralph M. Brown Act (Section 54950 et seq. of the Government Code) effective January 1, 1987. This bill prohibits the legislative body from taking any action on any item, which did not appear on the agenda, which was posted 24 hours prior to the Planning Commission meeting. If action is necessary on subject matter, which the public presents, the matter should be presented in writing to the Planning Division for placement on the agenda by Thursday noon prior to the next Planning Commission meeting.

CALL TO ORDER

ROLL CALL

Chair Efren Martinez
Commissioner Eduardo Carvajal
Commissioner Angelica Montes
Commissioner Luz Gomez
Commissioner Irving Pacheco

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

For both open and closed session each speaker will be limited to three minutes per Huntington Park Municipal Code Section 2-1.207. Time limits may not be shared with other speakers and may not accumulate from one period of public comment to another or from

one meeting to another. This is the only opportunity for public input except for scheduled public hearing items.

PUBLIC HEARING

1. A request to consider the modification of Conditional Use Permit Case No.1459 allowing the operation of a cocktail lounge to continue; or revoke Conditional Use Permit No. 1459 in connection with property located at 3256 Gage Avenue, within the Commercial General (CG) Zone.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing; and
2. Take public testimony; and
3. Consider the following options:
 - 3-1 Approve modifications to CUP Case No.1459;
 - 3-2 Approve the revocation of CUP Case No.1459;
 - 3-3 Continue the item and request additional information.
2. A request for a Conditional Use Permit to allow an ice manufacturing facility and a Development Permit for a proposed tenant improvement consisting of a change in use from an existing warehouse to an ice manufacturing facility; and an existing residential use to commercial offices for property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing; and
2. Take public testimony; and
3. Adopt PC Resolution No. 2017-03, approving a Conditional Use Permit and Development Permit in connection with property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

STAFF COMMENTS

PLANNING COMMISSION COMMENTS

ADJOURNMENT

The City of Huntington Park Planning Commission will adjourn to a Regular Meeting on Wednesday, August 16, 2017 at 6:30 p.m.

I, Juan Arauz, hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted at City of Huntington Park City Hall and made available at www.hpca.gov on the 13th of July 2017.



Juan Arauz, Associate Planner



CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: JULY 19, 2017

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: SERGIO INFANZON, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: RODRIGO PELAYO, ASSISTANT PLANNER

SUBJECT: **PLANNING COMMISSION CASE NO. 1459 CUP
(CONDITIONAL USE PERMIT)**

REQUEST: A request to consider the modification of Conditional Use Permit Case No.1459 allowing the operation of a cocktail lounge to continue; or revoke Conditional Use Permit No. 1459 in connection with property located at 3256 Gage Avenue, within the Commercial General (CG) Zone.

APPLICANT: City of Huntington Park

BACKGROUND:

- ***Current Business Operator (Javier Gonzalez)***

On December 20, 2016, the Planning Division received a business license application from Javier Gonzalez requesting approval for a change in ownership of an existing cocktail lounge located at 3256 Gage Avenue. As part of the application review process, Planning Staff verified if there was an existing Conditional Use Permit (CUP) in connection with the subject property and use. City records identified CUP No. 1459 to be in connection with the subject property and use. Therefore, the application process also required the transfer of the existing CUP to the new business operator. As a result, the Planning Division scheduled a site inspection in order to verify compliance with the conditions of approval within Planning Commission Resolution No. 1459.

On January 4, 2017, the City conducted an inspection of the subject property and determined that it was in violation of Condition Nos. 2, 4, 16, and 17 of PC Resolution 1459 (see Exhibit A). The business license application and

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PC CASE NO. 1459 CUP: 3256 Gage Avenue

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transfer of Conditional Use Permit was processed by the Planning Division and the applicant was given 30 days from the date of the approval to correct all violations. On January 17, 2017, the Building & Safety Division conducted an inspection and approved a certificate of occupancy the same day, allowing the business to begin operating. The applicant continued to work with Staff and acquired City approval to make site improvements and correct violations.

- ***New Business License Applicant (Melissa Martinez)***

On April 26, 2017, a business license application was submitted to the Planning Division by Melissa Martinez requesting approval for a change in ownership of the business. At the time of the application submittal, Planning Staff explained to Ms. Martinez that the application process also required the transfer of the conditional use permit in connection with the property, therefore a site inspection would need to be conducted. However, Staff had been previously informed by the Huntington Park Police Department that the business was causing disturbance in the surrounding neighborhood. Before scheduling a site inspection, Planning Staff met with the Police Department to discuss the issues caused by the current operator.

- ***Police Department Findings***

On May 2, 2017, the Police Department and Business License Enforcement Division met with Planning Staff and informed that the current operator has been conducting events with live music and entertainment and as result, causing nuisances in the surrounding properties. The Police Department also noted that 154 calls for service have been reported between January, 2015 and June, 2017 (see Exhibit B). In addition, the establishment has been in violation with requirements of the California Department of Alcoholic Beverage Control (see Exhibit C).

Following the meeting with Police Department, the Planning Division determined that the business license application (Exhibit D) and Conditional Use Permit 1459 (Exhibit E) should be further reviewed by the Planning Commission.

- ***Planning Commission meeting of June 21, 2017***

- *Conditional Use Permit*

On June 21, 2017, a Planning Commission meeting was held and the business license application submitted by Ms. Martinez was presented as an item of consideration. During the meeting, the Planning Commission identified that the current operator is out of compliance with the conditions of approval No. 2, No. 10, and No. 11 of CUP No. 1459.

- Condition No.2 states, "That the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park."
- Condition No.10 states, "That inventory or merchandise shall only be permitted to be stored or displayed within the enclosed building."
- Condition No.11 states, "That the permit may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the Planning Commission as deemed appropriate to address problems of land use compatibility, security, and crime control."

- *Police Department Comments*

Police Department staff explained that the business was established over 30 years ago and historically has caused problems associated with weapons, drugs, public intoxication, sexual offenses, human trafficking, noise, traffic, and peace disturbance. Police staff also stated the following:

- The business is in violation of the conditions of approval imposed by the California Department of Alcoholic Beverage Control (ABC).
- The business has produced a total of 74 calls for service between January 2015 and June 2017.

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- The business operates beyond 12:00am and allows the consumption of alcohol after midnight on operating days.
- The business hosts dancing and live entertainment events, causing traffic and noise problems.
- The calls for service tie up police resources that can be utilized in other areas.
- On July 1, 2015, a person was sexually assaulted at the establishment.
- On January 22, 2017, Police responded to a call from a resident complaint of traffic in the street block generated by the business. Police arrived to the scene and a gentleman by the name of Mr. Francisco Rivas identified himself as the owner of the business. However, the registered business owner is Mr. Javier Gonzalez whom was not present.
- On January 26, 2017, Police issued a warning to the operator for posting advertisements outside of the establishment, which is a violation of ABC conditions of approval.
- On February 9, 2017, the business operator was caught buying alcohol from a supermarket (non-distributor), which is a violation of ABC requirements. Police also found hard liquor stored inside the business, which is another violation of ABC regulations.

Police staff concluded by expressing their concern for the public welfare and stating that residents continue to be intimidated by individuals associated to the business.

- Department of Alcoholic Beverage Control Violations

The Planning Commission identified that the current operator is out of compliance with ABC regulations and conditions of approval No. 1, No. 5, No.6, No.10, and No.12.

- Condition No.1 states, "Sales, service and consumption of alcoholic beverages shall be permitted

only between the hours of 10am to 12midnight, each day of the week.”

- Condition No.5 states, “No ‘happy hour’ type or reduced price alcoholic beverage promotion shall be allowed.”
- Condition No.6 states, “There shall be no dancing allowed on the premises.”
- Condition No.10 states, “There shall be no live entertainment of any type, including but not limited to live music, disc jockey, topless entertainment, male or female performers or fashion shows. Karaoke is not deemed a violation of this condition.”
- Condition No.12 states, “There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.”

At the conclusion of the meeting, it was direction of the Planning Commission to prepare this item for consideration of modification or the revocation of Conditional Use Permit No. 1459.

DISCUSSION:

- ***Business License***

Business license applications are reviewed and processed administratively in most cases. When an application is submitted, staff searches records for any entitlements in connection with the subject property/use. When there are no responsive records, the application clears Planning review and continues to get processed by the remaining departments.

When records yield active entitlements, staff then proceeds to review the conditions of approval. After reviewing the conditions of approval, a site inspection is conducted in order to verify compliance with the conditions of approval.

When a property/use is determined to be in compliance

with conditions of approval, the application clears Planning review, continues to get processed by the remaining departments, and the entitlement in connection with the property is transferred to the new applicant.

When a property/use is determined to be out of compliance with conditions of approval due to lack of maintenance of the site, the application still clears Planning review, continues to get processed by the remaining departments, and the entitlement in connection with the property is transferred to the new applicant. However, the applicant is given a time period (usually 30 days) to correct all violations and be in compliance with all conditions of approval.

- ***Conditional Use Permit (CUP)***

Pursuant to HPMC Section 9-2.11, review of a Conditional Use Permit shall determine whether the proposed use should be permitted by weighing the public need for and the benefit(s) to be derived from the proposed use, against the negative impacts it may cause. Upon receipt of a Conditional Use Permit Application and compliance with the City's CEQA Guidelines, a public hearing is set and notice of the hearing is given. Following a hearing, the Planning Commission records its decision in writing and recites the findings upon which the decision is based.

Pursuant to HPMC Section 9-2.1105, the Commission may approve and/or modify a CUP application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;

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4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;
5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

Additionally, the Commission may hold a hearing to revoke or modify a Conditional Use Permit granted in compliance with the provisions of HPMC Section 9-2.11. A Conditional Use Permit may be revoked or modified by the Commission if any one of the following findings can be made:

1. That circumstances been changed by the applicant to a degree that one or more of the findings contained in the original permit can no longer be made in a positive manner and the public health, safety and welfare require the revocation;
2. That the Conditional Use Permit was issued, in whole or in part, on the basis of a misrepresentation or omission of a material statement in the application, or in the applicant's testimony presented during the public hearing, for the entitlement or permit;
3. That the use for which the Conditional Use Permit was granted had ceased or was suspended for six (6) or more months;
4. That one or more of the conditions of the Conditional Use Permit have not been met;
5. That the use is in violation of any statute, ordinance, law or regulation; or

6. That the use permitted by the Conditional Use Permit is detrimental to the public health, safety or welfare or constitutes a nuisance.

ANALYSIS:

- ***Business License***

On April 26, 2017, a business license application was submitted to the Planning Division by Melissa Martinez requesting approval for a change in ownership of the business. During the application review, records yielded a CUP in connection with the property. Therefore, the CUP needs to be transferred to Ms. Martinez in order to continue processing the business license application for the change in ownership.

After review of the CUP, it was determined that the property/use is out compliance with the conditions of approval. The property/use must be in compliance with all conditions of approval in order to complete the transfer of the CUP to the new operator and the business license application process.

- ***Conditional Use Permit (CUP)***

The Planning Commission identified that the current operator is out of compliance with the conditions of approval No. 2, No. 10, and No. 11 of CUP No. 1459.

- Condition No.2 states, "That the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park."

The current operator is hosting dance and live entertainment events without a City permit. In addition, dancing and live entertainment is prohibited within the conditions of approval of ABC.

In addition, the current operator cooks and serves prepared food without a City permit and Los Angeles County Department of Public Health approval.

The current operator purchased alcohol from a supermarket (non-distributor). ABC regulations require

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the establishment purchase alcohol only from distributors.

The Huntington Park Police Department found hard liquor inside of the establishment. ABC regulations prohibit keeping hard liquor or spirits within the establishment.

- Condition No.10 states, "That inventory or merchandise shall only be permitted to be stored or displayed within the enclosed building."

The current operator advertises and displays "happy hour" and beverage discounts outside of the establishment. Such advertisements are also prohibited within the conditions of approval of ABC.

- Condition No.11 states, "That the permit may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the Planning Commission as deemed appropriate to address problems of land use compatibility, security, and crime control."

Land use compatibility, security, and crime control problems have been identified with subject property and use. Therefore, the CUP may be subject to additional conditions and/or modification of existing conditions as deemed appropriate by the Planning Commission.

Pursuant to HPMC Section 9-2.1106, in order to address problems of land use compatibility, security, and crime control, the Planning Commission may add conditions, including but not limited to:

- That cooking of food shall be prohibited within the premises.
- That no prepackaged or prepared food be served in the premises.
- That the CUP be reviewed on a quarterly basis for compliance. (HPMC Section 9-2.1107.)

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- That the establishment shall comply with all California Department of Alcoholic Beverage Control (ABC) regulations and conditions of approval.
- That the establishment shall not conduct any type of dance and entertainment, including but not limited to, disc jockeys and karaoke.
- That security staff patrol inside and outside the establishment during the business hours of operation.
- That patrons shall be restricted access to and from the alley located at the rear of the establishment.
- That the facades of the building be modified to incorporate openings to allow visibility to the inside.

• ***Police Department Comments***

Police Department expressed concerns for the surrounding neighborhood as the establishment continues to cause problems associated with weapons, drugs, public intoxication, sexual offenses, human trafficking, noise, traffic, and peace disturbance. Police Staff have identified the following:

- The business has produced a total of 74 calls for service between January 2015 and June 2017.

The calls for service report indicates that the establishment is the generator of problems associated with weapons, drugs, public intoxication, sexual offenses, human trafficking, noise, traffic, and peace disturbance.

- The business operates beyond 12:00am and allows the consumption of alcohol after midnight on operating days.

The management of the business has not improved and continues to violate ABC and City regulations.

- The business hosts dancing and live entertainment events, causing traffic and noise problems.

The dancing and live entertainment events cause traffic and noise problem and are a nuisance to the neighborhood.

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- The calls for service tie up police resources that can be utilized in other areas.
- On January 22, 2017, Police responded to a call from a resident complaint. Police arrived to the scene and a gentleman by the name of Mr. Francisco Rivas identified himself as the owner of the business. However, the registered business owner is Mr. Javier Gonzalez.

Police have interviewed staff from the establishment on different occasions and yielded Mr. Rivas as the owner of the business. However, Mr. Javier Gonzalez is documented as the business owner because Mr. Rivas is permanently banned by ABC from owning or operating any alcohol establishments due to previous offenses.

- On January 26, 2017, Police issued a warning to the operator for posting advertisements outside of the establishment, which is a violation of ABC conditions of approval.
- On February 9, 2017, the business operator was caught buying alcohol from a supermarket (non-distributor), which is a violation of ABC requirements. Police also found hard liquor stored inside the business, which is another violation of ABC regulations.

Concerns from residents and police have become a detriment. The neighborhood does not feel safe when walking near the establishment. Residents have expressed their consideration of moving out because due to the problems caused by the establishment.

Based on the input provided by the Police Department, it is reasonable to assume that without conditions of approval and monitoring, the establishment will continue to operate in the same fashion.

- ***Department of Alcoholic Beverage Control***

The Planning Commission identified that the current operator is out of compliance with ABC regulations and

conditions of approval No. 1, No. 5, No.6, No.10, and No.12.

- Condition No.1 states, "Sales, service and consumption of alcoholic beverages shall be permitted only between the hours of 10am to 12midnight, each day of the week."

Police have responded to calls for service and found the establishment to be serving alcohol beyond 12 midnight.

- Condition No.5 states, "No 'happy hour' type or reduced price alcoholic beverage promotion shall be allowed."

The business advertises "happy hour" and beverage discounts through social media sites. The Police Department has issued a warning to the operator for posting advertisements outside of the establishment.

- Condition No.6 states, "There shall be no dancing allowed on the premises."

During a site inspection, a dance floor was noted inside the business. The establishment is continuously hosting dancing events. Due to ABC requirements, the City cannot allow dancing at the establishment.

- Condition No.10 states, "There shall be no live entertainment of any type, including but not limited to live music, disc jockey, topless entertainment, male or female performers or fashion shows. Karaoke is not deemed a violation of this condition."

The business continues to promote live bands through social media websites. Police has responded to a call for service due to traffic because the establishment was hosting an event with live music. Due to ABC requirements, the City cannot allow dancing or entertainment at the establishment.

- Condition No.12 states, "There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or

signs which are clearly visible to the exterior shall constitute a violation of this condition.”

ABC regulations require the business to purchase alcohol from distributors only. An employee of the establishment was caught purchasing alcohol from a non-distributor. The employee stated that the owner gave them direction to buy alcohol knowing that it is unlawful. The department of ABC has an active case against the operator due to this matter. Based on the evidence presented, it is reasonable to assume that the business will continue operating in the same manner.

- ***CUP Modification/Revocation Findings***

The Commission may hold a hearing to modify or revoke the Conditional Use Permit granted in compliance with the provisions of HPMC Section 9-2.1112.

Proper noticing requirements of a hearing to modify or revoke a Conditional Use Permit must be followed. Fifteen (15) days prior to the hearing, notice shall be delivered in writing to the applicant and/or owner of the property for which the Conditional Use Permit was granted.

A Conditional Use Permit may be revoked or modified by the Commission if any one of the following findings can be made:

1. That circumstances have been changed by the applicant to a degree that one or more of the findings contained in the original permit can no longer be made in a positive manner and the public health, safety and welfare require the revocation;
2. That the Conditional Use Permit was issued, in whole or in part, on the basis of a misrepresentation or omission of a material statement in the application, or in the applicant's testimony presented during the public hearing, for the entitlement or permit;
3. That the use for which the Conditional Use Permit was granted had ceased or was suspended for six (6) or more months;
4. That one or more of the conditions of the Conditional Use Permit have not been met;

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5. That the use is in violation of any statute, ordinance, law or regulation; or
6. That the use permitted by the Conditional Use Permit is detrimental to the public health, safety or welfare or constitutes a nuisance.

Based on the evidence presented, Planning Staff has determined that the required findings can be made in support of a modification or revocation of the Conditional Use Permit.

The Planning Commission may make the findings to modify the CUP. If the Planning Commission decides to make modifications to the CUP, the findings will need to be brought back at the next available meeting. Proper noticing requirements for the hearing must be followed. If the Planning Commission decides to modify the CUP, Staff proposes adding the following conditions of approval:

- That cooking of food shall be prohibited within the premises.
- That no prepackaged or prepared food be served in the premises.
- That the CUP be reviewed on a quarterly basis for compliance. (HPMC Section 9-2.1107.)
- That the establishment shall comply with all California Department of Alcoholic Beverage Control (ABC) regulations and conditions of approval.
- That the establishment shall not conduct any type of dance and entertainment, including but not limited to, disc jockeys and karaoke.
- That security staff patrol inside and outside the establishment during the business hours of operation.
- That patrons shall be restricted access to and from the alley located at the rear of the establishment.

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- That the facades of the building be modified to incorporate openings to allow visibility to the inside.

Findings in support of the CUP modification will need to be brought back to the Planning Commission at the next available meeting.

Alternatively, the Planning Commission may make the findings to revoke the CUP. If the Planning Commission decides to revoke the CUP, the findings in support of the CUP revocation will need to be brought back to the Planning Commission at the next available meeting. Proper noticing requirements for the hearing must be followed.

ENVIRONMENTAL REVIEW:

The modification of conditions of approval or revocation of an entitlement, such as a Conditional Use Permit, is exempt from the provisions of the California Environmental Quality Act (CEQA).

CONCLUSION:

After conducting a public hearing and receiving public testimony, the Planning Commission has the following options:

1. Approve modifications to CUP Case No.1459;
2. Approve the revocation of CUP Case No.1459;
3. Continue the item and request additional information.

EXHIBITS:

Exhibit A: Planning Commission Meeting Staff Report (June 21, 2017)
Exhibit B: Police Department Calls for Service (January 2015 to Present)
Exhibit C: ABC Conditions of Approval
Exhibit D: Business Promotions and Advertisements
Exhibit E: Business License Application
Exhibit F: PC Resolution No.1459
Exhibit G: CUP Transfer Letter
Exhibit H: Written Notice to Modify/Revoke CUP No. 1459

**PLANNING COMMISSION MEETING
STAFF REPORT (JUNE 21, 2017)**

EXHIBIT A



CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: JUNE 21, 2017

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: CARLOS LUIS, SENIOR PLANNER

FROM: RODRIGO PELAYO, ASSISTANT PLANNER

SUBJECT: ITEM OF CONSIDERATION

REQUEST: A request to transfer Conditional Use Permit (CUP) No.1459 and the approval of a business license application for a change in ownership of a cocktail lounge located at 3256 Gage Avenue.

APPLICANT: Melissa Martinez
596 E. Devon Drive
Gilbert, AZ 85296

BACKGROUND:

- ***Current Business Operator (Javier Gonzalez)***

On December 20, 2016, the Planning Division received a business license application from Javier Gonzalez requesting approval for a change in ownership of an existing cocktail lounge located at 3256 Gage Avenue. As part of the application review process, Planning Staff verified if there was an existing Conditional Use Permit (CUP) in connection with the subject property and use. City records identified CUP No. 1459 to be in connection with the subject property and use. Therefore, the application process also required the transfer of the existing CUP to the new business operator. As a result, the Planning Division scheduled a site inspection in order to verify compliance with the conditions of approval within Planning Commission Resolution No. 1459.

On January 4, 2017, the City conducted an inspection of the subject property and determined that it was in violation of Condition Nos. 2, 4, 16, and 17 of PC Resolution 1459 (see Exhibit A). The business license application and

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Item of Consideration

June 21, 2017

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transfer of Conditional Use Permit was processed by the Planning Division and the applicant was given 30 days from the date of the approval to correct all violations. On January 17, 2017, the Building & Safety Division conducted an inspection and approved a certificate of occupancy the same day, allowing the business to begin operating. The applicant continued to work with Staff and acquired City approval to make site improvements and correct violations.

- ***New Business License Applicant (Melissa Martinez)***

On April 26, 2017, a business license application was submitted to the Planning Division by Melissa Martinez requesting approval for a change in ownership of the business. At the time of the application submittal, Planning Staff explained to Ms. Martinez that the application process also required the transfer of the conditional use permit in connection with the property, therefore a site inspection would need to be conducted. However, Staff had been previously informed by the Huntington Park Police Department that the business was causing disturbance in the surrounding neighborhood. Before scheduling a site inspection, Planning Staff met with the Police Department to discuss the issues caused by the current operator.

- ***Police Department Findings***

On May 2, 2017, the Police Department and Business License Enforcement Division met with Planning Staff and informed that the current operator has been conducting events with live music and entertainment and as result, causing nuisances in the surrounding properties. The Police Department also noted that 154 calls for service have been reported between January, 2015 and June, 2017 (see Exhibit B). In addition, the establishment has been in violation with requirements of the California Department of Alcoholic Beverage Control (see Exhibit C).

Following the meeting with Police Department, the Planning Division determined that the business license application (Exhibit D) and Conditional Use Permit 1459 (Exhibit E) should be further reviewed by the Planning Commission.

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Item of Consideration

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DISCUSSION:

- ***Conditional Use Permit***

A Conditional Use Permit granted in compliance HPMC Section 9-2.11 shall continue to be valid upon a change of ownership of the site, business, service, use or structure which was the subject of the permit. In order to transfer a Conditional Use Permit, the City requires a site inspection in order to verify compliance with the conditions of approval. In addition, the new owner/operator is required to agree to all applicable conditions and operating standards prior to reuse/reopening under the new ownership.

Planning Commission Resolution No. 1459 was approved subject to compliance with 19 conditions of approval. In accordance with Condition No. 2 of PC Resolution 1459, the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park.

The current business operator has failed to comply with Condition No. 2 by hosting dance and live entertainment events without a permit, as required by the Huntington Park Municipal Code Sections 3-1.12 and 3-1.13. In addition, the establishment has active violations with the California Department of Alcoholic Beverage Control (ABC).

ANALYSIS:

Based on the evidence presented and the noncompliance with Conditions of Approval Nos. 2, the Planning Commission may review the CUP to modify and/or add conditions of approval. The Planning Commission may also review the CUP to consider revocation. Pursuant to HPMC Section 9-2.11, should the Planning Commission consider the modification or revocation of this CUP, a public hearing shall be held at a later date in compliance with all noticing requirements. Lastly, the Planning Commission may request additional information for further discussion at another scheduled meeting.

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Item of Consideration

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RECOMMENDATION:

1. Direct staff to prepare a notice of public hearing to consider modifications to CUP Case No.1459;
2. Direct staff to prepare a notice of public hearing to consider the devolution of CUP Case No.1459;
3. Continue the item and request additional information.

EXHIBITS:

Exhibit A: CUP Transfer Letter dated January 5, 2017
Exhibit B: Calls for Service (January 2015 to Present)
Exhibit C: ABC Conditions of Approval
Exhibit D: Business License Application
Exhibit E: PC Resolution No.1459

**CALLS FOR SERVICE
JANUARY 2015 TO PRESENT**

EXHIBIT B

Huntington Park Police Department

Number Of Calls Report by Complaint

Jurisdiction: HPPD

First Date: 01/03/2015

Last Date: 06/11/2017

<i>Complaint</i>		<i>Number</i>
166	COURT ORDER VIOLATION	2
211R	ROBBERY REPORT	2
242R	BATTERY REPORT	2
261R	RAPE REPORT	1
415C	CUSTOMER	2
415	DISTURBANCE	3
415F	FIGHT	1
415M	MUSIC	3
415S	SUBJECT	10
417GUN	PERSON WITH A GUN	2
417KNIFE	PERSON WITH A KNIFE	1
422R	TERRORIST THREATS REPORT	1
459VR	BURGLARY VEHICLE REPORT	1
647F	DRUNK	1
ADVISAL	ADVISAL	2
BAR CK	BAR CHECK	1
CE	CODE ENFORCEMENT	1
CODE5	STAKEOUT	2
CSU	CSU	2
FU	FOLLOW UP	13
HS	NARCO	2
OO	EXTRA PATROL	2
PED	PED STOP	4
PKG	PARKING	2
REPO	REPOSSESSION	1
SUBP	SUBPOENA	1
TC 20002R	MISD HIT&RUN REPORT	2
TC FATAL	FATAL TRAFFIC COLLISION	1
TC NON-INJ	NON INJURY	1
TRANSIENT	TRANSIENT LOITERING/SLEEPING	1
VEH CK	VEHICLE CHECK	3
WALKTHRU	WALK THRU	1

Report Total: 74

Huntington Park Police Department

Number Of Calls Report by Complaint

Jurisdiction: HPPD

First Date: 01/10/2015

Last Date: 05/16/2017

<i>Complaint</i>		<i>Number</i>
170	ANIMAL CALLS	2
211	ROBBERY	1
211R	ROBBERY REPORT	1
242	BATTERY IN-PROGRESS	1
242R	BATTERY REPORT	2
243.4R	SEXUAL BATTERY REPORT	1
245	ASSAULT WITH DEADLY WEAPON	1
245R	ASSAULT WITH DEADLY WEAPON	1
415D	DOMESTIC	2
415M	MUSIC	1
415S	SUBJECT	4
415T	TRANSIENT	1
417KNIFE	PERSON WITH A KNIFE	1
459VR	BURGLARY VEHICLE REPORT	1
459V	VEHICLE	1
594	VANDALISM	1
ADVISAL	ADVISAL	1
ASST PUB	ASSIST PUBLIC	1
CW	CHECK WELFARE	1
DWN	PERSON DOWN	1
GTAR	VEH THEFT REPORT	2
LOST PROP	LOST PROPERTY	1
MEDICAL AID	MEDICAL ASSISTANCE	1
PED	PED STOP	7
PKG	PARKING	3
PRCS	PAROLE CHECKS	1
TC 20002R	MISD HIT&RUN REPORT	1
TC INJURY	INJURY TRAFFIC COLLISION	1
TC NON-INJ	NON INJURY	1
Traffic Stop	TRAFFIC STOP	6

Report Total: 50

Huntington Park Police Department

Number Of Calls Report by Complaint

Jurisdiction: HPPD

First Date: 01/21/2015

Last Date: 05/09/2017

<i>Complaint</i>		<i>Number</i>
242R	BATTERY REPORT	1
415F	FIGHT	1
415S	SUBJECT	3
415T	TRANSIENT	1
459VR	BURGLARY VEHICLE REPORT	1
CW	CHECK WELFARE	1
FLAG	FLAG DWN	1
HS	NARCO	1
PED	PED STOP	7
REC	RECOVERY	1
SEC CK	SECURITY CHECK	1
SUSP SUBJ	SUSPICIOUS SUBJ	1
TC 20002	MISD HIT&RUN JUST OCCURRED	1
TC 20002R	MISD HIT&RUN REPORT	1
TC NON-INJ	NON INJURY	5
Traffic Stop	TRAFFIC STOP	3
<i>Report Total:</i>		30

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller									
			Code	Complaint	Address	Unit Time							
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
150103-0029													
	ADV	.	01/03/2015	10:11:06	TORRES FREDDY								
			TRANSIENT		3256 E GAGE AV, HTG PK								
				HP	LOPEZ,D	*24		10:12:33					10:27:38
				HP	LARIOS,M	21		10:13:09	10:15:37				10:27:37
				HP	NIJLAND,P	23		10:12:35	10:15:41				10:27:37
150107-0074													
	ADV	.	01/07/2015	18:52:06	FREDDIE - SECURITY								
			HS		3256 E GAGE AV, HTG PK								
				HP	RODRIGUEZ,CAR	*32	19:09:15	19:09:17	19:11:15				19:22:20
				HP	LOZANO,HUMBEF	34		19:09:35					19:22:20
150110-0007													
	ADV	.	01/10/2015	02:16:13	TORRES FREDDY								
			415		3256 E GAGE AV, HTG PK								
				HP	MARES,J	*12		02:34:10	02:35:41				02:39:51
				HP	GUIZAR,A	13		02:34:12	02:35:42				02:39:51
150123-0117													
	NRD	13	.	01/23/2015	23:44:32	OFELIA SOTELO							
			242R		3256 E GAGE AV, HTG PK								
				HP	GUIZAR,A	*13		23:48:45	23:51:41				00:30:07
				HP	LOPEZ,D	11		23:48:50	23:57:35				00:30:07
				HP	MARES,J	12		23:48:57	23:52:55			00:04:23	
				HP	WASIK,C	15		23:48:15	23:51:25			00:25:25	
150207-0008													
	SOW	14	.	02/07/2015	00:58:12								
			PED		3256 E GAGE AV, HTG PK								
				HP	MENDOZA,M	*14			00:58:12				01:00:20
				HP	LOPEZ,D	11		00:58:38					01:00:20
150207-0009													

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number Disp			Ten	Received	Caller			Unit Time						
			Code	Complaint	Address									
					Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
150207-0009														
	OK	14	.	02/07/2015	01:03:02	WALKTHRU			3256 E GAGE AV, HTG PK					
					HP	MENDOZA,M	*14			01:03:02				01:07:20
					HP	LOPEZ,D	11			01:03:13				01:07:20
150219-0135														
	CITE	14	.	02/19/2015	22:48:14	FREDDIE - SECURITY GUARD								
	RPT	14		TC 20002R		3256 E GAGE AV, HTG PK								
									Department	OCA Number		RMS Juris		
									HP	15-00981		CA0193100		
					HP	GONZALEZ,A	*1T	22:54:36		22:57:30				00:24:21
					HP	LOPEZ,D	11	22:54:23		23:02:17			22:54:31	00:24:20
					HP	MARES,J	12	23:09:06		23:12:51				00:24:20
					HP	MENDOZA,M	14			22:57:25			23:32:07	00:24:20
					HP	WASIK,C	15	23:06:53		23:29:02			23:21:34	00:24:21
					HP	NAVARRETTE,JO	1S	22:59:19		23:04:20				00:24:21
					HP	PALACIOS,E	31	22:54:23		23:02:15			23:28:28	
					HP	RODRIGUEZ,CAR	32	22:59:02		23:02:53			23:31:48	
					HP	WELP,D	33			22:54:59			23:24:57	
					HP	HERNANDEZ,ROE	X1	22:52:20		22:55:06			00:24:03	
150221-0063														
	ADV	24	.	02/21/2015	16:23:20	RANJID								
				415S		3256 E GAGE AV, HTG PK								
					HP	LEE,H	*33	16:26:22	16:26:43	16:31:24				16:56:37
					HP	MARQUEZ,A	24	16:26:24	16:26:43	16:29:47				16:56:38
150301-0021														
	ADV	14	.	03/01/2015	02:49:26	FREDDY								
	NRD	14		TC NON-INJ		3256 E GAGE AV, HTG PK								
					HP	FUENTES,M	*14	02:49:54		02:53:29				03:23:41
					HP	FARMER,G	11		02:51:48					03:23:40
					HP	DURAN,S	12		02:51:46	02:55:01			03:14:17	
					HP	LEE,H	33			02:59:00				03:23:41
150319-0107														

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number		Disp	Ten	Received	Caller			Unit Time						
			Code	Complaint	Address			Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
				Dep	Officer	Unit								
150319-0107														
	FI	.	03/19/2015	21:19:16										
	SOW		PED	3256 E GAGE AV, HTG PK										
				HP	GUERRERO,E	*3G			21:19:16					21:32:34
				HP	STAAL,G	4G			21:19:19					21:32:34
150325-0072														
	ADV	.	03/25/2015	17:56:16										
			PED	3256 E GAGE AV, HTG PK										
				HP	GUTIERREZ,J	*2G			17:56:18					18:00:47
150326-0094														
	ADV	32	.	03/26/2015	19:25:25	VICTOR SUAREZ								
				TC 20002R	3256 E GAGE AV, HTG PK									
				HP	RODRIGUEZ,CAR	*32		19:31:06	19:33:17					19:43:36
150506-0089														
	RPT	.	05/06/2015	20:41:14	CHRISTIAN - EMPLOYEE									
			417KNIFE	3256 E GAGE AV, HTG PK			Department HP	OCA Number 15-02464	RMS Juris CA0193100					
				HP	CARLOS,E	*14	20:44:33	20:43:59			21:41:30			
				HP	GUIZAR,A	13		20:49:19			21:40:17			
				HP	PRADO,G	1G		20:46:18			21:32:49			
				HP	GONZALEZ,A	1T	20:43:51	20:44:53			21:32:53			
				HP	PALACIOS,E	31	20:42:25	20:45:57			21:03:56			
				HP	RODRIGUEZ,CAR	32	20:42:23	20:45:44					22:00:46	
				HP	GUERRERO,E	3G	20:44:36	20:46:11			21:32:45			
				HP	CHACON,C	3S		20:49:08			21:32:43			
				HP	STAAL,G	4G		20:46:16			21:32:47			
150511-0087														
	ARR	.	05/11/2015	20:34:14	FREDDIE TORRES									
			415S	3256 E GAGE AV, HTG PK			Department HP	OCA Number 15-02559	RMS Juris CA0193100					
				HP	FARMER,G	*11	20:37:10	20:38:39			21:01:02			
				HP	FUENTES,M	14	20:37:13	20:37:51	20:47:09	21:56:32	22:04:09			

Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Code	Complaint	Caller	Address	Unit Time							
						Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
150528-0073															
	ARR	33	.	05/28/2015	16:18:33										
	RPT	33		415S			3256 E GAGE AV, HTG PK								
						HP	LOZANO,J	*W8			16:18:34			16:33:54	
						HP	GONZALEZ,A	1T	16:18:57		16:21:36			16:32:46	
						HP	MARQUEZ,A	31	16:18:41		16:21:33			16:33:57	
						HP	RODRIGUEZ,CAR	32			16:24:32			16:34:00	
						HP	WELP,D	33	16:18:41		16:20:45				16:55:21
150611-0088															
	ADV		.	06/11/2015	22:25:57		SUZENNA								
				415			3256 E GAGE AV, HTG PK								
						HP	LOZANO,HUMBEF	*34	22:28:56		22:31:20				22:33:54
						HP	MARQUEZ,A	31	22:28:57		22:32:25				22:33:53
150701-0101															
	RPT			07/01/2015	23:08:47		JESSICA RENGIFO								
				261R			3256 E GAGE AV, HTG PK								
						HP	CARLOS,E	*14	23:24:38		23:30:16				02:07:50
						HP	CHACON,C	1S			23:11:55			00:03:15	
150710-0001															
	CITE		.	07/10/2015	00:01:58										
				PED			3256 E GAGE AV, HTG PK								
						HP	CARLOS,E	*14			00:01:58				00:25:41
						HP	GUIZAR,A	13	00:02:04						00:25:41
150711-0002															
	ADV		.	07/11/2015	00:06:45		TORRES FREDDY								
				415S			3256 E GAGE AV, HTG PK								
						HP	GUIZAR,A	*13	00:10:17		00:10:39				00:15:28
						HP	CARLOS,E	14	00:10:18		00:11:05				00:15:28
						HP	GUTIERREZ,J	2G	00:10:32						00:15:29
						HP	STAAL,G	4G	00:10:34						00:15:29

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller								
		Code	Complaint	Address	Unit Time							
			Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
150722-0105												
	COMP 13	.	07/22/2015	22:01:44								
			FU		3256 E GAGE AV, HTG PK							
				HP	VALLE,F	*13		22:01:44				22:04:50
150724-0055												
	ARR	.	07/24/2015	17:08:26	FREDDIE							
	RPT		FU		3256 E GAGE AV, HTG PK							
				HP	NAVIA,M	*3S	17:10:12	17:11:20			17:34:39	
				HP	PRADO,G	1G		17:23:05			17:34:35	
				HP	FUENTES,M	31	17:10:36	17:11:46			19:15:26	
				HP	RODRIGUEZ,SAU	33	17:10:17	17:13:40			17:34:42	
				HP	LOZANO,HUMBEF	34	17:10:34	17:15:22				19:59:39
				HP	GUERRERO,E	3G		17:23:08			17:34:37	
150724-0066												
	LOG	.	07/24/2015	18:48:05								
			FU		3256 E GAGE AV, HTG PK							
				HP	PRADO,G	*1G		18:48:05				19:01:02
150805-0001												
	COMP 12	.	08/05/2015	00:19:09								
			SUBP		3256 E GAGE AV, HTG PK							
				HP	MARQUEZ,A	*12	00:20:36	00:38:51	00:40:29			00:50:26
150821-0005												
	ARR	.	08/21/2015	01:38:54								
	RPT		FU		3256 E GAGE AV, HTG PK							
				HP	MARQUEZ,A	*12		01:38:54				03:32:02
				HP	BARILLAS,R	11	01:55:07	01:56:33	03:11:53		02:32:07	03:32:02
				HP	CURIEL,RICK	13			01:39:20		03:24:10	
				HP	LOPEZ,D	14		01:56:35			02:34:51	
				HP	CHACON,C	1S			01:39:11		03:24:07	
150821-0010												

Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Code	Complaint	Caller	Address	Unit Time							
						Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
150821-0010															
	RPT	.	08/21/2015	02:32:00											
			459VR				3256 E GAGE AV, HTG PK								
					HP	BARILLAS,R		*11			02:32:07				03:11:50
					HP	CURIEL,RICK		13		03:06:47				03:06:52	
150823-0086															
	ARR	33	.	08/23/2015	18:05:43		JOSEFINA MARTINEZ								
	RPT			FU			3256 E GAGE AV, HTG PK								
					HP	MENDOZA,M		*24		18:07:52	18:13:04			19:00:42	
					HP	RODRIGUEZ,CAR		22		18:07:53	18:13:06			19:15:24	
					HP	GUIZAR,A		33		18:14:16	18:34:07				20:26:36
150909-0126															
	ADV	12	.	09/09/2015	21:52:25		SOTELO CELIA								
				415S			3256 E GAGE AV, HTG PK								
					HP	MARQUEZ,A		*12	21:56:04		22:02:06				22:19:56
					HP	RENDON,A		11		21:56:31	21:59:33				22:19:55
150927-0058															
	RPT	32	.	09/27/2015	15:12:12		TORRES FREDDY								
				211R			3256 E GAGE AV, HTG PK								
					HP	RODRIGUEZ,SAU		*32		15:14:08	15:20:07				15:37:51
					HP	RODRIGUEZ,CAR		22		15:15:14	15:20:01			15:33:28	
					HP	GARCIA,C		23		15:14:54	15:20:09			15:34:15	
150927-0071															
	ADV	.	09/27/2015	19:06:33			TORRED FREDDY								
			FU				3256 E GAGE AV, HTG PK								
					HP	RODRIGUEZ,SAU		*32		19:20:36	20:22:57				20:23:13
150927-0081															
	ADV	.	09/27/2015	21:02:05			ALFREDO GARCIA								
			415S				3256 E GAGE AV, HTG PK								
					HP	DIAZ,MARIO		*14		21:05:52	21:12:54				21:21:09

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
			Code	Complaint	Address							
150927-0081												
ADV	.		09/27/2015	21:02:05	ALFREDO GARCIA							
			415S		3256 E GAGE AV, HTG PK							
				HP	MAGALLANES,M	31	21:07:08	21:10:23				21:21:09
				HP	GUIZAR,A	33	21:05:56				21:10:33	
151003-0005												
RPT	14	.	10/03/2015	01:27:09	TORRES FREDDY							
			422R		3256 E GAGE AV, HTG PK							
				HP	LOPEZ,D	*14	01:29:15					01:52:05
								01:34:35				
151003-0033												
ASST	21	.	10/03/2015	10:00:54	FREDDIE TORRES							
			ADVISAL		3256 E GAGE AV, HTG PK							
				HP	BOJORQUEZ,M	*24	11:16:07					11:31:16
				HP	PALACIOS,E	21	11:18:08	11:20:48				11:31:16
151005-0101												
UTL	14	.	10/05/2015	22:08:51	TORRES FREDDIE							
ADV			FU		3256 E GAGE AV, HTG PK							
				HP	DIAZ,MARIO	*14	22:12:02	22:16:07				22:22:23
				HP	SPINDOLA,C	11	22:12:35	22:16:51				22:22:23
				HP	RODRIGUEZ,SAU	32	22:12:44	22:14:05				22:22:23
151009-0057												
ADV	.		10/09/2015	19:29:36	MARIA SALAZAR							
SOW			415S		3256 E GAGE AV, HTG PK							
				HP	FUENTES,M	*31	19:35:10	19:40:52				19:50:56
				HP	PARRA,C	22	19:35:22	19:37:29				19:50:56
				HP	LOZANO,HUMBEF	34	19:35:12	19:38:37				19:50:56
151010-0074												
ADV	32	.	10/10/2015	16:54:47	FREDDY TORRES							
GOA	32		415S		3256 E GAGE AV, HTG PK							
				HP	GARCIA,C	*23	16:58:09					17:04:41

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller		Unit Time							
			Code	Complaint	Address								
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
151010-0074													
	ADV	32	.	10/10/2015	16:54:47	FREDDY TORRES							
	GOA	32		415S		3256 E GAGE AV, HTG PK							
				HP	RODRIGUEZ,SAU	32		16:58:09	17:02:25				17:04:42
151012-0095													
	ADV		.	10/12/2015	21:43:17	TORRES FREDDY							
				FU		3256 E GAGE AV, HTG PK							
				HP	DIAZ,MARIO	*14		21:47:11	21:49:34				21:53:01
				HP	DURAN,S	31		21:47:13	21:50:43				21:53:01
151015-0103													
	ADV	12	.	10/15/2015	22:36:36	ALFREDO GARCIA							
	ADV			415C		3256 E GAGE AV, HTG PK							
	SOW												
				HP	LOPEZ,D	*14	22:38:39	22:39:14					23:22:27
				HP	RENDON,A	11		22:39:30					22:45:57
				HP	MARQUEZ,A	12		22:53:55	22:40:25				23:22:26
151016-0091													
	ADV		.	10/16/2015	22:38:27	FREDDY TORRES							
	SOW			415C		3256 E GAGE AV, HTG PK							
				HP	LOPEZ,D	*14	22:42:53		22:47:21				23:07:52
				HP	RENDON,A	11		22:43:19			22:44:45		
				HP	MARQUEZ,A	12			22:49:16				23:07:52
				HP	PARSA,M	13A		22:47:35	22:50:55				23:07:52
				HP	FUENTES,M	31		22:47:44	22:47:53				23:07:53
				HP	LOZANO,HUMBEF	34		22:47:51	22:50:53				23:07:53
151020-0098													
	COMP		.	10/20/2015	22:21:47								
				FU		3256 E GAGE AV, HTG PK							
				HP	LISNER	*GS			22:21:50				22:30:22
				HP	GUERRERO,E	3G			22:22:12				22:30:21
				HP	ARREDONDO	5G			22:22:14				22:30:22

***Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's***

First Date: 01/03/2015

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller									
			Code	Complaint	Address	Unit Time							
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
151021-0059													
	ARR	.	10/21/2015	14:04:08									
	RPT		CSU		3256 E GAGE AV, HTG PK								
				HP	BOJORQUEZ,M	*24			14:05:19				14:30:42
				HP	CURIEL,RICK	E1			14:51:51				21:25:58
				HP	MARETTI,R	ES			14:13:09				14:30:43
151224-0002													
	UTL	15	.	12/24/2015	00:28:37	MARTHA MESA							
			166		3256 E GAGE AV, HTG PK								
				HP	VALLE,F	*15		00:32:09	00:34:40				00:44:58
				HP	MARQUEZ,A	12		00:32:57	00:36:07				00:44:57
				HP	PARSA,M	13		00:32:09	00:34:18				00:44:57
151227-0003													
	RPT	14	.	12/27/2015	00:20:51	MEZA MARTHA							
			166		3256 E GAGE AV, HTG PK								
				HP	LEE,H	*13		00:26:03	00:31:19				01:06:12
				HP	DIAZ,MARIO	14		00:26:28	00:33:15				01:06:13
				HP	MARES,J	15		00:35:22	00:36:15				01:06:13
160103-0046													
	ADV	22	.	01/03/2016	15:24:53	FREDDY							
	SOW	22		415S	3256 E GAGE AV, HTG PK								
				HP	MENDOZA,M	*24	15:29:37	15:29:57				15:31:23	
				HP	RODRIGUEZ,CAR	22		15:30:37	15:31:54				15:40:11
				HP	WASIK,C	25	15:29:38	15:29:57				15:31:23	
				HP	GUIZAR,A	33		15:30:37	15:32:59				15:40:12
160117-0076													
	GOA	.	01/17/2016	17:40:35	SECURITY - MALE								
			HS		3256 E GAGE AV, HTG PK								

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number		Disp	Ten	Received	Caller		Unit Time						
			Code	Complaint	Address								
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
160122-0097													
	LOG	.	01/22/2016	22:34:17	TONY - THUMBLE RECOVERY								
			REPO		3256 E GAGE AV, HTG PK								
160206-0002													
	SOW	.	02/06/2016	00:18:42	FREDDY								
			647F		3256 E GAGE AV, HTG PK								
				HP	SPINDOLA,C	*14		00:24:26	00:26:32				00:37:48
				HP	PARSA,M	13		00:24:06	00:26:32				00:37:47
160218-0086													
	DET	.	02/18/2016	18:32:11									
			CODE5		3256 E GAGE AV, HTG PK								
				HP	PORRAS,J	*E2	18:49:40		18:49:47				21:52:35
160220-0035													
	ADV	.	02/20/2016	10:17:28	GONZALEZ JAVIER								
			ADVISAL		3256 E GAGE AV, HTG PK								
				HP	NAVIA,M	*25		10:22:46	10:30:55				10:31:03
160305-0101													
	OK	13	03/05/2016	22:37:27	JOSE								
			415F		3256 E GAGE AV, HTG PK								
				HP	LEE,H	*13		22:39:02	22:42:16				22:46:04
				HP	MACIAS,J	31		22:39:43					22:46:04
				HP	INOUE,D	32		22:39:03					22:46:05
160311-0063													
	CITE	.	03/11/2016	18:03:59									
	IMP		CODE5		3256 E GAGE AV, HTG PK								
				HP	STAAL,G	*4G			18:43:52			18:44:46	
				HP	GUIZAR,A	13			21:16:11			21:53:20	
				HP	CERVANTES,O	D2			21:16:07				22:07:20

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Unit	Unit Time						
		Code	Complaint	Address		Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
160311-0086												
	RPT	.	03/11/2016 BAR CK	22:29:37	3256 E GAGE AV, HTG PK							
								Department HP	OCA Number 16-01355	RMS Juris CA0193100		
160327-0053												
	UTL	.	03/27/2016 415S	15:57:50	GUILLERMO 3256 E GAGE AV, HTG PK S/A HONE							
				HP	WASIK,C	*24	16:11:20	16:11:43				17:06:40
				HP	GARCIA,C	23	16:11:23					17:06:40
160327-0089												
	ADV	.	03/27/2016 415M	23:40:31	ERIBERTO LOPEZ 3256 E GAGE AV, HTG PK							
				HP	PARSA,M	*11		00:38:44				00:40:39
				HP	DURAN,S	12		00:38:45				00:40:39
160417-0101												
	RPT	.	04/17/2016 TC FATAL	20:40:12	MALE CALLER 3256 E GAGE AV, HTG PK							
				HP	DURAN,S	*12	20:41:22	20:43:15			21:30:06	04:48:11
				HP	LEE,H	13		20:44:49			22:00:18	
				HP	SOBERANIS,E	14A		20:54:53			21:59:17	
				HP	ABRAHAM,S	15		21:34:50	21:34:57		00:35:41	
				HP	THORESON,S	1S	20:44:55	20:46:41			01:20:02	
				HP	RODRIGUEZ,SAU	32	20:49:28	20:53:21			22:05:49	
				HP	CASTELLI,NEIL	3S	20:44:55	20:46:39			01:20:05	
				HP	MENDOZA,M	3T		22:28:42				04:48:11
160423-0103												
	ADV	12	04/23/2016	23:26:24								
	OK	12	415		3256 E GAGE AV, HTG PK							
				HP	DURAN,S	*12	23:27:58	23:28:53				23:39:58
				HP	LEE,H	13	23:28:01	23:29:50				23:39:58
				HP	SOBERANIS,E	14A	23:28:20	23:32:01				23:39:58

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

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Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller													
		Code	Complaint	Address	Unit Time												
					Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp			
160423-0103																	
	ADV	12	.	04/23/2016	23:26:24												
	OK	12		415		3256 E GAGE AV, HTG PK											
					HP	ABRAHAM,S		15			23:29:56					23:39:59	
					HP	RODRIGUEZ,SAU		32	23:31:09		23:31:21					23:39:59	
					HP	MENDOZA,M		X2			23:33:02					23:39:59	
160603-0080																	
	ADV	14	.	06/03/2016	20:42:50												
				CE		3256 E GAGE AV, HTG PK											
					HP	SPINDOLA,C		*14			20:42:50					20:46:22	
160709-0092																	
	ARR		.	07/09/2016	22:27:24	ANDREW											
	RPT			417GUN		3256 E GAGE AV, HTG PK				Department HP		OCA Number 16-03426		RMS Juris CA0193100			
					HP	FUENTES,M		*14	22:28:31	22:30:36	23:06:37	23:10:34				23:47:19	
					HP	NIJLAND,P		12A		22:38:37			22:45:33				
					HP	ANDRADE,H		13A	22:30:31	22:31:55						23:47:19	
					HP	CHACON,C		1S	22:29:40	22:34:24						23:47:19	
					HP	MACIAS,J		31	22:29:05	22:29:54						23:47:20	
160710-0087																	
	LOG	13A	.	07/10/2016	22:48:25												
				FU		3256 E GAGE AV, HTG PK											
					HP	ANDRADE,H		*13A			22:48:25					22:52:43	
160711-0095																	
	LOG		.	07/11/2016	21:17:02												
				FU		3256 E GAGE AV, HTG PK											
					HP	ANDRADE,H		*13A			21:17:04					21:33:56	
160730-0103																	
	ADV	14A	.	07/30/2016	23:40:34	RICHARD											
				415M		3256 E GAGE AV, HTG PK											
					HP	DURAN,S		*14A	00:01:33	00:01:38	00:02:12					00:06:17	

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

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Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller									
			Code	Complaint	Address	Unit Time							
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
161016-0011													
	RPT	13	.	10/16/2016	02:14:44	JUAN CARLOS RAMIREZ							
				211R		3256 E GAGE AV, HTG PK							
					HP	ANDRADE,H	*14			02:30:45			03:01:30
					HP	CARLOS,E	12			02:31:52		02:53:26	
					HP	DURAN,S	13	02:28:43	02:29:41				03:01:29
161016-0067													
	LOG	14	.	10/16/2016	18:30:04								
				FU		3256 E GAGE AV, HTG PK							
					HP	ANDRADE,H	*14			18:30:04			18:37:19
161016-0085													
	OK		.	10/16/2016	21:33:23								
				FU		3256 E GAGE AV, HTG PK							
					HP	ANDRADE,H	*14			21:33:23			21:55:37
161126-0087													
	ADV	13	.	11/26/2016	23:44:22	JORGE							
				415M		3256 E GAGE AV, HTG PK							
					HP	CORONEL,M	*11	23:45:39	23:45:50				23:50:46
					HP	CARLOS,E	13	23:45:39	23:45:51	23:49:02			23:50:46
170121-0114													
	ADV	1S	.	01/21/2017	23:41:56								
				OO		3256 E GAGE AV, HTG PK							
					HP	CURIEL,RICK	*1S			23:41:56			00:12:55
					HP	DURAN,S	12	23:48:45	23:59:05				00:12:55
170129-0001													
	OK		.	01/29/2017	00:04:19								
				OO		3256 E GAGE AV, HTG PK							
					HP	SOBERANIS,E	*14			00:04:19			00:05:09
170209-0077													

Huntington Park Police Department

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First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Unit Time								
			Code	Complaint	Address								
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
170209-0077													
	RPT	.	02/09/2017	16:32:45									
			CSU		3256 E GAGE AV, HTG PK								
				HP	MARETTI,R	*ES							
									16:32:47				17:03:04
170304-0117													
	CITE	12	.	03/04/2017	23:07:10								
			VEH CK		3256 E GAGE AV, HTG PK								
				HP	DURAN,S	*12			23:07:10				23:13:08
170304-0118													
	CITE	12	.	03/04/2017	23:13:34								
			PKG		3256 E GAGE AV, HTG PK								
				HP	DURAN,S	*12			23:13:34				23:19:17
170305-0084													
	CITE	11	.	03/05/2017	22:20:33								
			VEH CK		3256 E GAGE AV, HTG PK								
				HP	CORONEL,M	*11			22:20:33				22:27:13
170415-0092													
	UTL	.	04/15/2017	23:01:45	REFUSED								
			417GUN		3256 E GAGE AV, HTG PK								
				HP	SCHWARTZMAN,I	*13		23:07:48	23:11:34				23:18:14
				HP	PEREZ,T	14		23:07:49	23:11:43				23:18:15
				HP	NIJLAND,P	15		23:08:09	23:11:05				23:18:15
				HP	CURIEL,RICK	1S			23:11:31				23:18:15
170522-0001													
	CITE	.	05/22/2017	00:03:08									
			PKG		3256 E GAGE AV, HTG PK								
				HP	CORONEL,M	*11			00:03:08				00:08:17
170610-0011													

Huntington Park Police Department

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First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller		Unit Time							
				Code	Complaint	Address							
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
170610-0011													
	NRD	.	06/10/2017	00:28:03	VERNON PD								
			242R		3256 E GAGE AV, HTG PK								
				HP	ANDRADE,H	*11		00:32:57	00:35:40				01:00:40
				HP	NICHOLS,N	13		00:32:59	00:38:03				01:00:41
170611-0083													
	CITE	.	06/11/2017	23:51:18									
			VEH CK		3256 E GAGE AV, HTG PK								
				HP	CORONEL,M	*11			23:51:18				23:58:02
				HP	DURAN,S	12			23:51:30				23:58:02

* Denotes Primary Unit

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number		Disp	Ten	Received	Caller		Address		Unit Time										
					Code	Complaint			Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp	
150110-0009																			
	RPT		.	01/10/2015	02:49:02		VILLALOBOS MARICELA												
				211R			E GAGE AV // NEWELL ST, HTG PK												
						HP	MARES,J				*12		03:25:36		03:32:09				
																		04:05:46	
150129-0037																			
	ADV	24	.	01/29/2015	10:20:45		LOPEZ CESAR												
				GTAR			E GAGE AV // NEWELL ST, HTG PK												
						HP	BOJORQUEZ,M				*24	10:25:13			10:26:58			11:04:48	
150130-0012																			
	RPT	24	.	01/30/2015	07:49:05		E GAGE AV // NEWELL ST, HTG PK												
				GTAR			E GAGE AV // NEWELL ST, HTG PK												
						HP	BOJORQUEZ,M				*24				07:51:00			08:34:26	
150206-0097																			
	OK	6G	.	02/06/2015	23:09:05		E GAGE AV // NEWELL ST, HTG PK												
	SOW	6G		PED			E GAGE AV // NEWELL ST, HTG PK												
						HP	LEE,H				*6G				23:09:05			23:20:26	
						HP	PRADO,G				1G				23:09:43			23:20:25	
						HP	GUTIERREZ,J				2G				23:09:44			23:20:25	
						HP	GUERRERO,E				3G	23:09:48						23:20:26	
						HP	STAAL,G				4G	23:09:48						23:20:26	
150207-0029																			
	ADV		.	02/07/2015	06:47:03		E GAGE AV // NEWELL ST, HTG PK												
				ADVISAL			E GAGE AV // NEWELL ST, HTG PK												
						HP	GUIZAR,A				*13				06:47:03			06:50:12	
						HP	NIJLAND,P				22				06:47:06			06:50:12	
						HP	MARQUEZ,A				24	06:47:39						06:50:12	
150214-0094																			
	ASST	14	.	02/14/2015	22:30:48		MCDONALD'S RESTAURANTS												
				242			E GAGE AV // NEWELL ST, HTG PK												
						HP	FUENTES,M				*14	22:32:53			22:42:46			23:14:39	

***Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's***

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Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Complaint	Caller		Address	Unit Time					
								Dep	Officer	Unit	Dispatch	Enroute	OnScene
150214-0094													
	ASST	14	.	02/14/2015	22:30:48		MCDONALD'S RESTAURANTS						
				242			E GAGE AV // NEWELL ST, HTG PK						
					HP	LEE,H		33		22:32:54			22:58:47
150220-0072													
	RPT	33	.	02/20/2015	15:25:26		E GAGE AV // NEWELL ST, HTG PK						
				242R									
					HP	WELP,D		*33					
										15:25:28			15:39:08
150223-0045													
	ARR		.	02/23/2015	13:47:54		E GAGE AV // NEWELL ST, HTG PK						
	RPT			PED									
					HP	MARQUEZ,A		*24			13:47:54		14:17:43
					HP	GARCIA,C		23		13:48:04			14:17:42
150326-0066													
	ADV	32	.	03/26/2015	14:54:48		E GAGE AV // NEWELL ST, HTG PK						
				Traffic Stop									
					HP	RODRIGUEZ,CAR		*32			14:54:48		14:59:55
					HP	GONZALEZ,A		1T			14:55:06		14:55:47
150503-0011													
	ADV		.	05/03/2015	01:43:19		E GAGE AV // NEWELL ST, HTG PK						
				Traffic Stop									
					HP	DURAN,S		*12			01:43:19		01:46:30
					HP	SPINDOLA,C		13		01:43:22			01:46:31
150512-0069													
	ADV		.	05/12/2015	17:34:53		JOSE RUIZ						
				211			E GAGE AV // NEWELL ST, HTG PK						
					HP	RODRIGUEZ,CAR		*32		17:38:03	17:43:16		17:54:39
					HP	WELP,D		33		17:38:06	17:40:49		17:54:40

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Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

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Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Caller									
			Code	Complaint	Address	Unit Time							
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
150527-0038													
	RPT	CC	.	05/27/2015	10:34:36	KAREN TIRADO							
				LOST PROP		E GAGE AV // NEWELL ST, HTG PK							
				HP	DISPATCH3	*CC			10:40:38				10:40:51
150601-0094													
	GOA		.	06/01/2015	21:40:47	ANON							
				CW		E GAGE AV // NEWELL ST, HTG PK							
				HP	DURAN,S	*12		21:44:36				21:45:09	
				HP	FUENTES,M	14		21:45:15				21:50:36	
				HP	VALLE,F	15		21:45:07	21:50:33				21:50:50
150623-0034													
	Comp		.	06/23/2015	09:54:54								
				170		E GAGE AV // NEWELL ST, HTG PK							
				HP	LOZANO,J	*W8			09:54:55				11:31:34
150721-0102													
	RPT	11	.	07/21/2015	23:20:39	TORRES FREDDY							
				245		E GAGE AV // NEWELL ST, HTG PK							
				HP	RENDON,A	*11	23:21:33	23:22:24	23:24:08				23:47:11
				HP	MARQUEZ,A	12		23:22:02	23:24:15				23:47:11
				HP	LOPEZ,D	14		23:34:51					23:47:11
				HP	CHACON,C	1S			23:26:09				23:47:11
				HP	NAVIA,M	3S		23:23:06	23:23:52			23:37:19	
150724-0029													
	RPT		.	07/24/2015	10:57:11	ERNESTO							
				242R		E GAGE AV // NEWELL ST, HTG PK							
				HP	MARES,J	*24		11:10:10	11:15:51				11:48:16
				HP	PARRA,C	22		11:10:13	11:14:56				11:48:17
150903-0060													
	ADV		.	09/03/2015	13:53:12								
				Traffic Stop		E GAGE AV // NEWELL ST, HTG PK							

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Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Caller	Code	Complaint	Address	Unit Time					
								Dep	Officer	Unit	Dispatch	Enroute	OnScene
150903-0060													
	ADV	.	09/03/2015	13:53:12			E GAGE AV // NEWELL ST, HTG PK						
			Traffic Stop		HP	PRADO,G		*1G			13:53:15		14:28:03
150918-0094													
	ADV	.	09/18/2015	23:26:26			E GAGE AV // NEWELL ST, HTG PK						
	SOW		PED		HP	GUTIERREZ,J		*2G			23:26:26		23:34:15
					HP	GUERRERO,E		3G			23:26:40		23:34:15
151009-0010													
	RPT	21	.	10/09/2015	08:25:49		ADRIANA VIDAL						
			459VR				E GAGE AV // NEWELL ST, HTG PK						
					HP	CARLOS,E		*21	08:27:54		08:33:45		08:41:48
													09:10:37
151009-0013													
	ASST	21	.	10/09/2015	08:41:46		E GAGE AV // NEWELL ST, HTG PK						
			MEDICAL AID		HP	CARLOS,E		*21			08:41:50		08:51:03
					HP	CASTRO,S		25	08:45:58				08:51:03
151017-0045													
	ADV	.	10/17/2015	14:09:14			BRENDA PEREZ						
			415S				E GAGE AV // NEWELL ST, HTG PK						
					HP	RODRIGUEZ,CAR		*22	14:11:34		14:13:22		15:08:08
					HP	GARCIA,C		23	14:11:36				15:08:08
151023-0064													
	FI	.	10/23/2015	20:14:23			E GAGE AV // NEWELL ST, HTG PK						
			PRCS		HP	PRADO,G		*1G			20:14:25		20:27:06
					HP	LISNER		GS			20:16:28		20:27:07

151113-0059

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Caller									
			Code	Complaint	Address	Unit Time							
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
151113-0059													
	UTL	22	.	11/13/2015	14:37:57								
				415D		E GAGE AV // NEWELL ST, HTG PK							
					HP	PARRA,C	*22	14:39:40	14:39:42				14:47:52
					HP	CARLOS,E	21	14:41:04					14:47:51
151219-0071													
	ASST	4P	.	12/19/2015	16:17:45	MR GARCIA							
	COMP	4P		ASST PUB		E GAGE AV // NEWELL ST, HTG PK							
					HP	GONZALEZ,R	*4P	16:20:18	16:26:30	16:33:04			16:44:46
160116-0084													
	ADV	4G	.	01/16/2016	17:49:37								
				Traffic Stop		E GAGE AV // NEWELL ST, HTG PK							
					HP	STAAL,G	*4G			17:49:37			17:50:48
160120-0056													
	ADV		.	01/20/2016	17:20:15								
	SOW			415S		E GAGE AV // NEWELL ST, HTG PK							
					HP	PRADO,G	*1G			17:20:15			17:39:29
					HP	LOZANO,HUMBEF	34	17:20:24					17:39:29
					HP	GUERRERO,E	3G	17:20:18					17:39:29
160206-0003													
	ADV	13	.	02/06/2016	00:37:18								
	OK	13		459V		E GAGE AV // NEWELL ST, HTG PK							
	UNF	13											
					HP	PARSA,M	*13			00:37:20			00:41:51
					HP	SPINDOLA,C	14			00:38:08			00:41:51
					HP	GUIZAR,A	15A	00:37:23	00:39:13				00:41:52
160210-0053													
	RPT		.	02/10/2016	14:39:59	NATALY							
				243.4R		E GAGE AV // NEWELL ST, HTG PK							
								Department	OCA Number	RMS Juris			
								HP	16-00830	CA0193100			

Department
HP

OCA Number
16-00830

RMS Juris
CA0193100

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Code	Complaint	Address	Unit Time							
					Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
160210-0053														
	RPT	.	02/10/2016	14:39:59		NATALY								
			243.4R			E GAGE AV // NEWELL ST, HTG PK								
				HP	GUERRERO,E		*3G	14:42:18					14:42:37	
				HP	WELP,D		23		14:45:16	14:51:12			16:03:57	
				HP	CASTRO,S		24	14:42:47		14:48:09				16:04:49
				HP	LISNER		GS		14:43:30				14:45:09	
160330-0067														
	UTL	5p	.	03/30/2016	18:26:54	MARIA								
				PKG		E GAGE AV // NEWELL ST, HTG PK								
				HP	LECATO,ELIZABE		*5p		18:52:30	18:56:47				19:05:05
160402-0037														
	RPT	.	04/02/2016	14:10:41		LASO								
	IMP		TC 20002R			E GAGE AV // NEWELL ST, HTG PK								
				HP	NAVIA,M		*25	14:39:58	14:47:33					15:18:23
				HP	PALACIOS,E		21	14:50:57	14:56:51					15:18:22
160415-0038														
	CITE	2T	.	04/15/2016	12:21:10									
				PED		E GAGE AV // NEWELL ST, HTG PK								
				HP	FARMER,G		*2T			12:21:11				12:34:33
160503-0062														
	ADV	12	.	05/03/2016	22:08:58									
	SOW	12		PED		E GAGE AV // NEWELL ST, HTG PK								
				HP	CARLOS,E		*12			22:08:58				22:18:51
				HP	GUIZAR,A		13	22:09:02						22:18:51
160506-0063														
	RPT	31	.	05/06/2016	19:29:08	WENDY REYES								
				417KNIFE		E GAGE AV // NEWELL ST, HTG PK								
				HP	BOJORQUEZ,M		*31	19:32:29		19:35:37				20:11:23

Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's

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Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Code	Complaint	Dep	Officer	Unit	Caller	Address	Unit Time					
											Dispatch	Enroute	OnScene	Depart	Arrive	Remove
160506-0063																
	RPT	31	.	05/06/2016	19:29:08				WENDY REYES							
				417KNIFE					E GAGE AV // NEWELL ST, HTG PK							
						HP	PARSA,M	33					19:36:24		19:45:21	
						HP	VERDIELL,J	3S				19:34:56				20:11:24
						HP	LISNER	GS	19:32:29				19:36:55		19:44:16	
160614-0064																
	CITE		.	06/14/2016	15:49:52											
				Traffic Stop					E GAGE AV // NEWELL ST, HTG PK							
						HP	MENDOZA,M	*3T					15:49:54			15:55:55
160730-0067																
	ADV		.	07/30/2016	17:19:12											
				415M					E GAGE AV // NEWELL ST, HTG PK							
						HP	WASIK,C	*21	17:22:57				17:32:04			17:43:34
160820-0072																
			.	08/20/2016	18:19:01											
				Traffic Stop					E GAGE AV // NEWELL ST, HTG PK							
						HP	DURAN,S	*13					18:19:02			18:22:56
160920-0050																
	ADV		.	09/20/2016	12:43:18				RAMONA CITY YARDS							
	SOW			415T					E GAGE AV // NEWELL ST, HTG PK							
						HP	CASTRO,S	*25		12:57:12		13:04:55				13:09:41
160923-0098																
	RPT		.	09/23/2016	20:14:29											
				TC NON-INJ					E GAGE AV // NEWELL ST, HTG PK							
						HP	MACIAS,J	*14				20:14:34				20:26:33
						HP	HENRIQUEZ,R	12				20:17:49				20:26:32
						HP	CHAVEZ,G	32A		20:25:38						20:26:33
161002-0006																

Huntington Park Police Department

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Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Caller									
		Code	Complaint	Address	Unit Time								
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
161002-0006													
	ADV	14	.	10/02/2016	00:55:10	JESSICA							
	SOW	14		415D		E GAGE AV // NEWELL ST, HTG PK							
	VERB	14											
					HP	ANDRADE,H		*14	00:57:28	00:59:45			01:06:53
					HP	CARLOS,E		12	00:57:29			00:58:04	
					HP	RODRIGUEZ,SAU		32	00:58:13	01:00:54			01:06:53
161105-0080													
	RPT	12	.	11/05/2016	19:39:59	FEMALE ANON							
				TC INJURY		E GAGE AV // NEWELL ST, HTG PK							
					HP	NIJLAND,P		*12	19:40:34	19:41:02			20:14:15
					HP	CARLOS,E		13	19:40:34				20:14:15
					HP	RODRIGUEZ,SAU		32	19:40:35	19:41:19			20:14:15
161122-0069													
	OK		.	11/22/2016	20:55:44								
	SOW			PED		E GAGE AV // NEWELL ST, HTG PK							
					HP	THORESON,S		*3S		20:56:06			21:09:13
					HP	SPINDOLA,C		31		20:58:07			21:09:12
					HP	SOBERANIS,E		33		20:58:29			21:09:13
161206-0004													
	ADV	11	.	12/06/2016	00:47:19								
	SOW	11		PED		E GAGE AV // NEWELL ST, HTG PK							
					HP	CORONEL,M		*11		00:47:19			00:53:36
					HP	CARLOS,E		13	00:47:37	00:52:48			00:53:36
161207-0067													
	LOG		.	12/07/2016	14:52:03	DAVE							
				170		E GAGE AV // NEWELL ST, HTG PK							
161207-0083													

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

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Last Date: 05/16/2017

Call Number		Disp	Ten	Received	Caller		Unit Time							
				Code	Complaint	Address								
					Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
161207-0083														
	ARR	.	12/07/2016	17:40:57	DAVE RIVERA									
	RPT		415S	E GAGE AV // NEWELL ST, HTG PK										
				HP	SOBERANIS,E		*33	17:42:00					17:47:42	
				HP	SCHWARTZMAN,I		32A			17:52:13				18:37:14
				HP	FUENTES,M		34	17:42:03		17:50:31			18:08:05	
				HP	VALLE,A		3S			17:43:19			18:25:20	
161210-0075														
	ADV	12	.	12/10/2016	20:48:55	FEMALE CALLER								
	OK	12		594	E GAGE AV // NEWELL ST, HTG PK									
				HP	ANDRADE,H		*14	20:52:25					20:52:53	
				HP	NIJLAND,P		12	20:52:25	20:53:24	20:56:21				21:07:56
				HP	RODRIGUEZ,SAU		24	20:53:07	20:53:25					21:07:57
161218-0048														
	ADV	14	.	12/18/2016	19:17:02	ANGEL								
				PKG	E GAGE AV // NEWELL ST, HTG PK									
				HP	ANDRADE,H		*14	19:19:40		19:22:34				19:25:59
170121-0009														
	RPT	12	.	01/21/2017	02:19:47	JOSH								
				245R	E GAGE AV // NEWELL ST, HTG PK									
				HP	BOJORQUEZ,M		*12	02:22:58		02:27:53				02:56:49
170121-0097														
	CITE	1P	.	01/21/2017	21:16:09	SUSANA RODRIGUEZ								
				PKG	E GAGE AV // NEWELL ST, HTG PK									
				HP	MIRANDA,H		*1P	21:17:35	21:17:58	21:22:30				21:33:10
170514-0108														
	OK	12A	.	05/14/2017	23:20:03	MANUEL								
	UTL	12A		DWN	E GAGE AV // NEWELL ST, HTG PK									
				HP	SCHWARTZMAN,I		*13	23:21:04	23:24:41			23:32:49		
				HP	GARCIA,R		12A	23:21:32	23:23:37					23:34:33

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Complaint	Dep	Officer	Address	Unit	Unit Time				
									Dispatch	Enroute	OnScene	Depart	Arrive
170514-0108													
	OK	12A	.	05/14/2017	23:20:03		MANUEL						
	UTL	12A		DWN			E GAGE AV // NEWELL ST, HTG PK						
					HP	PEREZ,T		31A			23:23:42		23:34:33
170516-0084													
	FI		.	05/16/2017	22:36:30		ANGEL ARANDIA						
				415S			E GAGE AV // NEWELL ST, HTG PK						
					HP	CARLOS,E		*12		22:39:13	22:41:48		23:00:45
					HP	NICHOLS,N		13		22:39:15	22:43:30		23:00:45

* Denotes Primary Unit

Huntington Park Police Department

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Last Date: 05/09/2017

Call Number	Disp	Ten	Received	Caller									
			Code	Complaint	Address	Unit Time							
				Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
150121-0078													
	ADV	.	01/21/2015	16:57:12	CARLOS								
	SOW		415T		NEWELL ST // GAGE AV, HTG PK								
				HP	WELP,D	*33		17:20:35	17:24:54				17:29:19
				HP	PALACIOS,E	31		17:20:36					17:29:19
150125-0049													
	RPT	.	01/25/2015	14:01:01	VARGAS ANEL								
			TC NON-INJ		NEWELL ST // GAGE AV, HTG PK								
				HP	RODRIGUEZ,SAU	*32		14:03:34	14:11:53				14:31:15
150213-0067													
	ASST	23	.	02/13/2015	16:01:19	SOCORRO HERRERA							
			TC NON-INJ		NEWELL ST // GAGE AV, HTG PK S/A TB 675 B								
				HP	DIAZ,MARIO	*23	16:07:28	16:07:58	16:16:08				16:28:47
150310-0071													
	UTL	.	03/10/2015	16:33:48	DENISE RAMIREZ								
			415F		NEWELL ST // GAGE AV, HTG PK								
				HP	RODRIGUEZ,CAR	*32		16:38:32	16:40:39				16:42:47
				HP	PALACIOS,E	31		16:40:56					16:42:46
				HP	WELP,D	33		16:39:14				16:41:01	
150329-0083													
	ASST	32	.	03/29/2015	21:55:38	MOISES							
	INFX	32		TC NON-INJ		NEWELL ST // GAGE AV, HTG PK							
				HP	SPINDOLA,C	*13		21:57:16	22:01:29				22:42:34
				HP	RODRIGUEZ,SAU	32		21:57:17	21:59:54				22:42:34
150329-0085													
	UTL	14	.	03/29/2015	22:20:10	JUAN							
	UTL			SUSP SUBJ		NEWELL ST // GAGE AV, HTG PK							
				HP	FUENTES,M	*14		22:22:32	22:30:15				22:32:34
				HP	FARMER,G	11		22:22:32	22:27:23				22:38:36

Huntington Park Police Department

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Last Date: 05/09/2017

Call Number	Disp	Ten	Received	Caller									
			Code	Complaint	Address	Unit Time							
					Dep Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
150429-0081													
	ADV	32	.	04/29/2015	17:02:56								
				PED	NEWELL ST // GAGE AV, HTG PK								
					HP	RODRIGUEZ,CAR	*32		17:02:56				17:08:02
150601-0027													
	CITE		.	06/01/2015	09:59:57								
				PED	NEWELL ST // GAGE AV, HTG PK								
					HP	NAVIA,M	*25		09:59:57				10:12:27
					HP	MENDOZA,M	22	10:00:35					10:12:27
150715-0028													
	FI	24	.	07/15/2015	08:58:45								
	SOW	24		PED	NEWELL ST // GAGE AV, HTG PK								
					HP	BOJORQUEZ,M	*24		08:58:46				09:20:00
					HP	PARRA,C	22	08:58:52					09:19:59
					HP	PORRAS,J	26		09:03:40				09:20:00
					HP	ALPIZAR,GABRIEL	D5	09:00:33					09:20:01
150718-0097													
	ADV	33	.	07/18/2015	21:40:14								
				FLAG	NEWELL ST // GAGE AV, HTG PK								
					HP	PARSA,M	*33		21:40:14				21:45:40
150719-0062													
	ADV	33	.	07/19/2015	16:02:54								
				PED	NEWELL ST // GAGE AV, HTG PK								
					HP	PARSA,M	*33		16:02:54				16:15:55
					HP	RODRIGUEZ,SAU	32	16:02:56					16:15:54
150726-0063													
	ADV		.	07/26/2015	14:02:46	PEREZ IRMA							
	SOW	24		HS	NEWELL ST // GAGE AV, HTG PK								
					HP	MENDOZA,M	*24	14:20:39				14:22:08	
					HP	WASIK,C	25	14:20:42				14:22:12	

Huntington Park Police Department
Call Log Report Type All Unit Times and Location with OCA's

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Call Number	Disp	Ten	Received	Code	Complaint	Caller	Address	Unit Time					
								Dep	Officer	Unit	Dispatch	Enroute	OnScene
150726-0063													
	ADV	.	07/26/2015	14:02:46		PEREZ IRMA							
	SOW	24	HS			NEWELL ST // GAGE AV, HTG PK							
				HP	RODRIGUEZ,SAU		32		14:22:06				14:43:32
				HP	GUIZAR,A		33		14:22:04	14:36:11			14:43:32
150729-0061													
	ADV	.	07/29/2015	18:58:23		ARRANDIA ANGEL							
	SOW		415S			NEWELL ST // GAGE AV, HTG PK							
				HP	LOZANO,HUMBEF		*34		19:01:23	19:04:10			19:05:48
				HP	DURAN,S		32		19:01:26				19:05:48
150831-0067													
	ARR	33	.	08/31/2015	14:44:42								
	RPT	33	PED			NEWELL ST // GAGE AV, HTG PK							
				HP	GUIZAR,A		*33		14:44:42	15:02:27			15:14:04
				HP	MAGALLANES,M		31		14:53:35		15:02:33		
150902-0046													
	REC	.	09/02/2015	13:37:50									
			REC			NEWELL ST // GAGE AV, HTG PK							
				HP	RODRIGUEZ,DA		*7P		13:37:50				14:09:30
150929-0036													
	RPT	.	09/29/2015	10:48:30		OSCAR EFRAIN DE LEON ARANGO							
			459VR			NEWELL ST // GAGE AV, HTG PK							
160215-0047													
	RPT	.	02/15/2016	17:52:45		SGT. THORESON							
			TC NON-INJ			NEWELL ST // GAGE AV, HTG PK							
				HP	MENDOZA,M		*3T		18:02:54	18:11:08			18:35:49
160305-0057													

Huntington Park Police Department

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Call Number		Disp	Ten	Received	Caller		Unit Time							
				Code	Complaint	Address								
					Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
160305-0057														
	ASST		.	03/05/2016	15:11:19									
	INFX			TC NON-INJ		NEWELL ST // GAGE AV, HTG PK								
					HP	WASIK,C	*24		15:12:18	15:16:44				15:40:49
160312-0012														
	ADV		.	03/12/2016	02:19:57	JUANITA								
	SOW			CW		NEWELL ST // GAGE AV, HTG PK								
	VERB													
					HP	SPINDOLA,C	*14		02:24:28	02:26:32				02:46:43
					HP	GUIZAR,A	13		02:24:29	02:25:50				02:46:43
160320-0016														
	ARR	13	.	03/20/2016	01:49:23									
	RPT			Traffic Stop		NEWELL ST // GAGE AV, HTG PK								
					HP	THORESON,S	*1S			01:49:24			02:15:23	
					HP	CARLOS,E	12			02:11:52			02:30:55	
					HP	FARMER,G	13		01:49:33	01:52:32				03:06:32
160331-0001														
	ADV	12	.	03/31/2016	00:06:55									
				PED		NEWELL ST // GAGE AV, HTG PK								
					HP	CARLOS,E	*12			00:06:59				00:12:18
160425-0026														
	UTL		.	04/25/2016	09:27:56									
				SEC CK		NEWELL ST // GAGE AV, HTG PK								
					HP	RODRIGUEZ,CAR	*22		09:38:07	09:45:03				09:49:21
					HP	NAVIA,M	25		09:38:45	09:45:05				09:49:21
160521-0007														
	REC	12	.	05/21/2016	01:05:08	MARIO CHACON								
	IMP	12		TC 20002		NEWELL ST // GAGE AV, HTG PK								
	RPT	12												

Huntington Park Police Department

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Call Number		Disp	Ten	Received	Caller		Unit Time								
		Code		Complaint	Address										
					Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp	
160521-0007															
	REC	12	.	05/21/2016	01:05:08	MARIO CHACON									
	IMP	12		TC 20002		NEWELL ST // GAGE AV, HTG PK									
	RPT	12													
					HP	MARES,J	*12		01:06:42	01:11:54				02:42:31	
					HP	PARSA,M	11		01:08:55	01:11:54				02:00:13	
					HP	LEE,H	13		01:07:13	01:11:58				02:00:14	
					HP	SPINDOLA,C	14		01:11:09	01:15:32				02:00:14	
160621-0078															
	ARR		.	06/21/2016	15:15:37										
	RPT			415S		NEWELL ST // GAGE AV, HTG PK									
					HP	Coronel,M	*33A			15:15:37				17:13:30	
					HP	PRADO,G	1G			15:17:51			15:22:54		
					HP	LISNER	3S			15:17:36			16:24:04		
					HP	STAAL,G	4G			15:17:46			16:24:02		
160717-0084															
	NRD	14	.	07/17/2016	23:20:32	RAMON R.N									
				242R		NEWELL ST // GAGE AV, HTG PK									
					HP	FUENTES,M	*14		23:25:27	23:33:09				23:40:17	
161015-0067															
	LOG		.	10/15/2016	16:44:49	MARAVILLA FRANK									
				TC 20002R		NEWELL ST // GAGE AV, HTG PK									
161103-0075															
	CITE	E2	.	11/03/2016	20:35:21										
	SOW			PED		NEWELL ST // GAGE AV, HTG PK									
					HP	PORRAS,J	*E2			20:35:21				20:41:47	
					HP	CURIEL,RICK	E1			20:35:26				20:41:47	
					HP	MARETTI,R	ES			20:35:26				20:41:48	
170225-0088															

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

Call Number	Disp	Ten	Received	Caller								
		Code	Complaint	Address	Unit Time							
			Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
170225-0088												
	ARR	.	02/25/2017	19:34:41	MAYRA							
	RPT		415S		NEWELL ST // GAGE AV, HTG PK							
				HP	SOBERANIS,E	*14	19:38:07	19:38:56	19:43:13		19:47:57	
				HP	ANDRADE,H	13	19:38:08	19:38:55	19:41:57			20:23:53
				HP	INOUYE,D	X1			19:42:36		19:47:59	
170408-0089												
	CITE	.	04/08/2017	22:14:13								
			Traffic Stop		NEWELL ST // GAGE AV, HTG PK							
				HP	DURAN,S	*12			22:14:14			22:23:29
170509-0101												
	CITE	12	.	05/09/2017	23:47:06							
	IMP		Traffic Stop		NEWELL ST // GAGE AV, HTG PK							
				HP	CARLOS,E	*12			23:47:06			00:31:36
				HP	HENRIQUEZ,R	14	23:47:57	23:51:05			00:20:15	

* Denotes Primary Unit

**ALCOHOLIC BEVERAGE CONTROL
CONDITIONS OF APPROVAL**

EXHIBIT C

RECEIVED

21

} FILE 42-571381
}
} REG.
}

Letter - 200000

Under the Alcoholic Beverage Control Act

WHEREAS, the proposed premises and/or parking lot, operated in conjunction therewith, are located within 100 feet of residences(s); and,

WHEREAS, issuance of the applied-for license without the below-described conditions would interfere with the quiet enjoyment of the property by nearby residents and constitute grounds for the denial of the application under the provisions of Rule 61.4, of Chapter 1, Title 4, of the California Code of Regulations; and,

WHEREAS, the premises to be licensed is located in an area in which there is a significant law enforcement problem: and,

WHEREAS, the issuance of an unrestricted license would be contrary to public welfare or morals;

NOW, THEREFORE, the undersigned petitioner(s) do/does hereby petition for a conditional license as follows, to-wit:

- 1 Sales, service and consumption of alcoholic beverages shall be permitted only between the hours of 10am to 12midnight, each day of the week.
- 2 No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee(s) as depicted on the ABC-257 and ABC-253 dated 6/30/2016.
- 3 The petitioner(s) shall be responsible for maintaining free of litter the area adjacent to the premises over which they have control, as depicted on the ABC-257 and ABC-253 dated 6/30/2016.
- 4 Any graffiti painted or marked upon the premises or on any adjacent area under the control of the licensee(s) shall be removed or painted over within 72 hours of being applied.
- 5 No "happy hour" type or reduced price alcoholic beverage promotion shall be allowed.

ABC-172 (5/94)

RECEIVED

21

Petitioner

TAMM

Control

- 6 There shall be no dancing allowed on the premises.
- 7 There shall be no amusement machines or video game devices in the premises at any time.
- 8 The rear/side doors of the premises shall be equipped on the inside with an automatic locking device and shall be closed at all times, and shall not be used as a means of access by patrons to and from the licensed premises. Temporary use of these doors for delivery of supplies does not constitute a violation.
- 9 Entertainment provided shall not be audible beyond the area under the control of the licensee(s) as defined on the ABC-257 and ABC-253 dated 6/30/2016.
- 10 There shall be no live entertainment of any type, including but not limited to live music, disc jockey, topless entertainment, male or female performers or fashion shows. Karaoke is not deemed a violation of this condition.
- 11 The parking lot of the premises shall be equipped with lighting of sufficient power to illuminate and make easily discernible the appearance and conduct of all persons on or about the parking lot. Additionally, the position of such lighting shall not disturb the normal privacy and use of any neighboring residences.
- 12 There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.
- 13 Loitering is prohibited on or around these premises or this area under the control of the licensee(s) as depicted on the ABC-257 and ABC-253 dated 6/30/2016.
- 14 No employee or agent shall be permitted to accept money or any other thing of value from a customer for the purpose of sitting or otherwise spending time with customers while in the premises, nor shall the licensee(s) provide or permit, or make available either gratuitous or for compensation, male or female persons who act as escorts, companions, or guests of and for the customers.
- 15 No employee or agent shall solicit or accept any alcoholic or non-alcoholic beverage from any customer while in the premises.

This petition for conditional license is made pursuant to the provisions of Sections 23800 through 23805 of the Business and Professions Code and will be carried forward in any transfer at the applicant-premises.

Petitioner(s) agree(s) to retain a copy of this petition on the premises at all times and will be prepared to produce it immediately upon the request of any peace officer.

The petitioner(s) understand(s) that any violation of the foregoing condition(s) shall be grounds for the suspension or revocation of the license(s).

DATED THIS 20 DAY OF October, 2016.

[Signature]
Applicant/Petitioner

Applicant/Petitioner

LICENSED PREMISES DIAGRAM (RETAIL)

1. APPLICANT NAME (If individual, last, first, middle)

Gonzalez Javier Sanchez

2. LICENSE TYPE

42

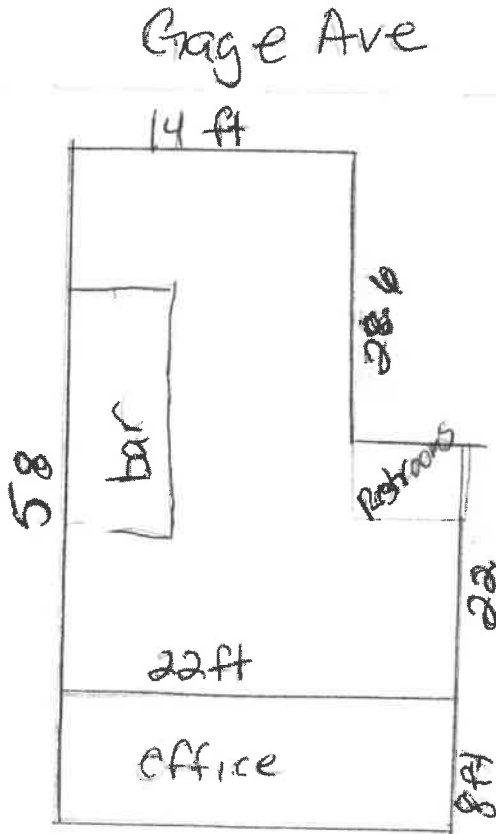
3. PREMISES ADDRESS (Street number and name, city, zip code)

3256 E Gage Ave Huntington Park CA 90255

4. NEAREST CROSS STREET

Newell St

The diagram below is a true and correct description of the entrances, exits, interior walls and exterior boundaries of the premises to be licensed, including dimensions and identification of each room (i.e., "storeroom", "office", etc.).

DIAGRAM

It is hereby declared that the above-described boundaries, entrances and planned operation as indicated on the reverse side, will not be changed without first notifying and securing prior written approval of the Department of Alcoholic Beverage Control. I declare under penalty of perjury that the foregoing is true and correct.

APPLICANT SIGNATURE (Only one signature required)

Javier Sanchez

DATE SIGNED

6/30/16

CERTIFIED CORRECT (Signature)

PRINTED NAME

FOR ABC USE ONLY

ANGIE RIVERA

INSPECTION DATE

Completed/Received

Department of Alcoholic Beverage Control
LICENSED PREMISES DIAGRAM (RETAIL)

State of California
Edmund G. Brown Jr., Governor

1. APPLICANT NAME (If individual, last first middle)

Gonzalez Javier Sanchez

2. LICENSE TYPE

42

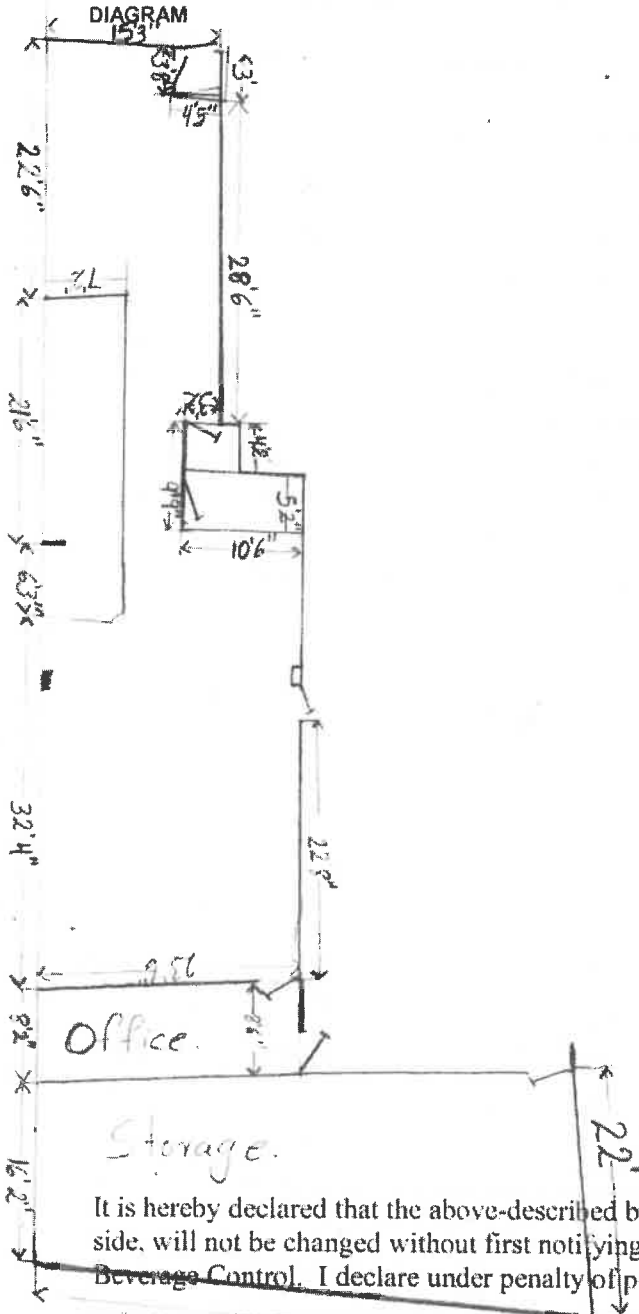
3. PREMISES ADDRESS (Street number and name, city, zip code)

3256 E Gage Ave Huntington Park CA 90255

4. NEAREST CROSS STREET

Newell St.

The diagram below is a true and correct description of the entrances, exits, interior walls and exterior boundaries of the premises to be licensed, including dimensions and identification of each room (i.e., "storeroom", "office", etc.).



It is hereby declared that the above-described boundaries, entrances and planned operation as indicated on the reverse side, will not be changed without first notifying and securing prior written approval of the Department of Alcoholic Beverage Control. I declare under penalty of perjury that the foregoing is true and correct.

APPLICANT SIGNATURE (Only one signature required)

GONZALEZ JAVIER SANCHEZ

CERTIFIED CORRECT (Signature)

PRINTED NAME

FOR ABC USE ONLY

DATE SIGNED

6-30-10

INSPECTION DATE

Department of Alcoholic Beverage Control
SUPPLEMENTAL DIAGRAM

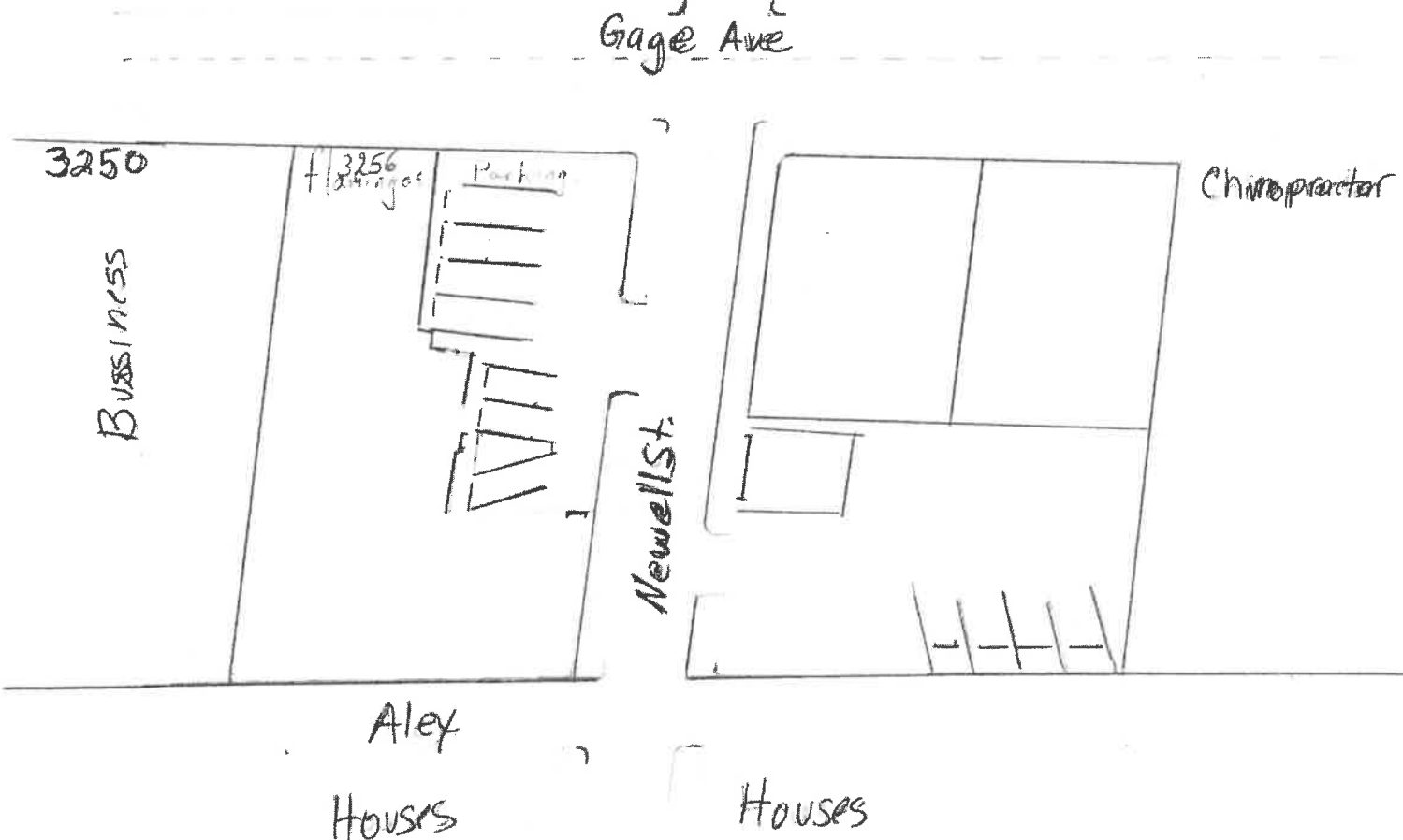
State of California
 Edmund G. Brown Jr., Governor

Instructions to Applicant:

Draw a sketch of the area on which the licensed premises is or will be located. Show adjacent structures and nearest cross streets. If this is an event for a daily license, catering authorization or miscellaneous use, show the area where sales and consumption of alcoholic beverages will occur. Post a copy of this diagram with Daily License, Catering Authorization or Event Authorization where the event is held. Sales and consumption of alcoholic beverages must be confined to the area designated in the diagram and supervised to prevent violations of the Alcoholic Beverage Control Act.

1. APPLICANT NAME (Last, first, middle) Gonzalez Javier Sanchez	2. LICENSE TYPE 42
3. PREMISES ADDRESS (Street number and name, city, zip code) 3256 E Gage Ave Huntington Park CA 90055	4. NEAREST CROSS STREET Newell St.

DIAGRAM



I have read the above instructions and I declare under penalty of perjury that the above diagram is true and correct.

APPLICANT SIGNATURE GONZALEZ, JAVIER SANCHEZ	DATE SIGNED 6-30-16
CERTIFIED CORRECT (Signature) [Signature]	INSPECTION DATE Completed/verified

ABC-253 (rev 01-11)

FOR ABC USE ONLY
ANGIE RIVERA

OUT

BUSINESS PROMOTIONS AND ADVERTISEMENTS

EXHIBIT D



Club 21 Bar

June 17 at 7:19pm · 🌐

BANDA REBELDE DE 9PM A 2AM FIERRO

Rebel band from 9 PM TO 2 AM FIERRO

Translated

Venga a celebrar el día del padre con una rica
CARNE ASADA!!! gratis de 5pm a 9pm y
después le tenemos una gran sorpresa a esos
papa's. 🍷🍷🍷🍷🍷🍷🍷🍷🍷🍷🍷🍷
3256 E. Gage ave Huntington park, ca 90255





Club 21 Bar

June 17 at 5:51pm · 🌐

Celebrando el día del padre carne asada gratis todo los Domingos de 5pm a 9pm con La BANDA REBELDE

3256 E. Gage ave Huntington park, ca 90255



Avierto los 7 dias de 2pm a 2am

Club 21 Bar empieza con su tardiada de
CARNE ASADA GRATIS todo los DOMINGOS!!



CLUB 21 BAR

5PM A 9PM

TODO LOS DOMINGOS

**CARNE ASADA
GRATIS**

**3256 E. Gage Ave
Huntington Park CA 90255**

Club 21

3256

MGM
CANELO CHAVEZ
SATURDAY MAY 6, 2017
LIVE PAY PER VIEW / 9PM ET / 8PM MT
WATCH IT HERE

HBO PPV

OPEN
ESTE SABADO
CANELO CHAVEZ
LIVE PAY PER VIEW / 9PM ET / 8PM MT

BUD LIGHT

Hoy carne Asada GRATIS de 5pm a 9pm y el
Juego en pantalla GRANDE tenemos una
SORPRESA despues de el Jugo
3256 E. Gage ave Huntington park, ca 90255
El juego es 5:30pm



CLUB 21 BAR PRESENTA

Noche De Banda

TODOS LOS DOMINGOS



DJ AY PAPEL



3256 E Gage Ave Huntington Park CA 90255

PANCHO RIVAS DEL DURANGO'S BAR

**LOS INVITA A SU NUEVO LUGAR
A PARTIR DE ESTE ENERO 1ro. 2017**

CLUB 21

ANTES EL FLAMINGO'S BAR

3257 E GAGE AVE. ENTRE STATE ST. Y CALIFORNIA AVE, HUNTINGTON, PARK.

!!! GRAN INAUGURACION SABADO 21 ENERO !!!

CON LA PRESENTACION DE

**LOS
INCOMPARABLES
DE TIJUANA**



ADEMAS!!!

LA SONORA DINAMITA

**TODOS LOS MIERCOLES
Y DOMINGOS
BANDA
SINALOENSE**

DE MIERCOLES A DOMINGO
LA MEJOR MUSICA REGIONAL MEXICANA

BETO DJ

AY PAPEL!!!
Y SU SISTEMA DE VIDEO MUSICALES

**TENEMOS LAS MEJORES CERVEZAS
IMPORTADAS Y NACIONALES!!!**

**TE ESPERAMOS TODOS
LOS JUEVES
MUSICA
NORTENA**

VIERNES MUSICA DE

**ACORDEON
Y TUBA**





Club 21 Bar

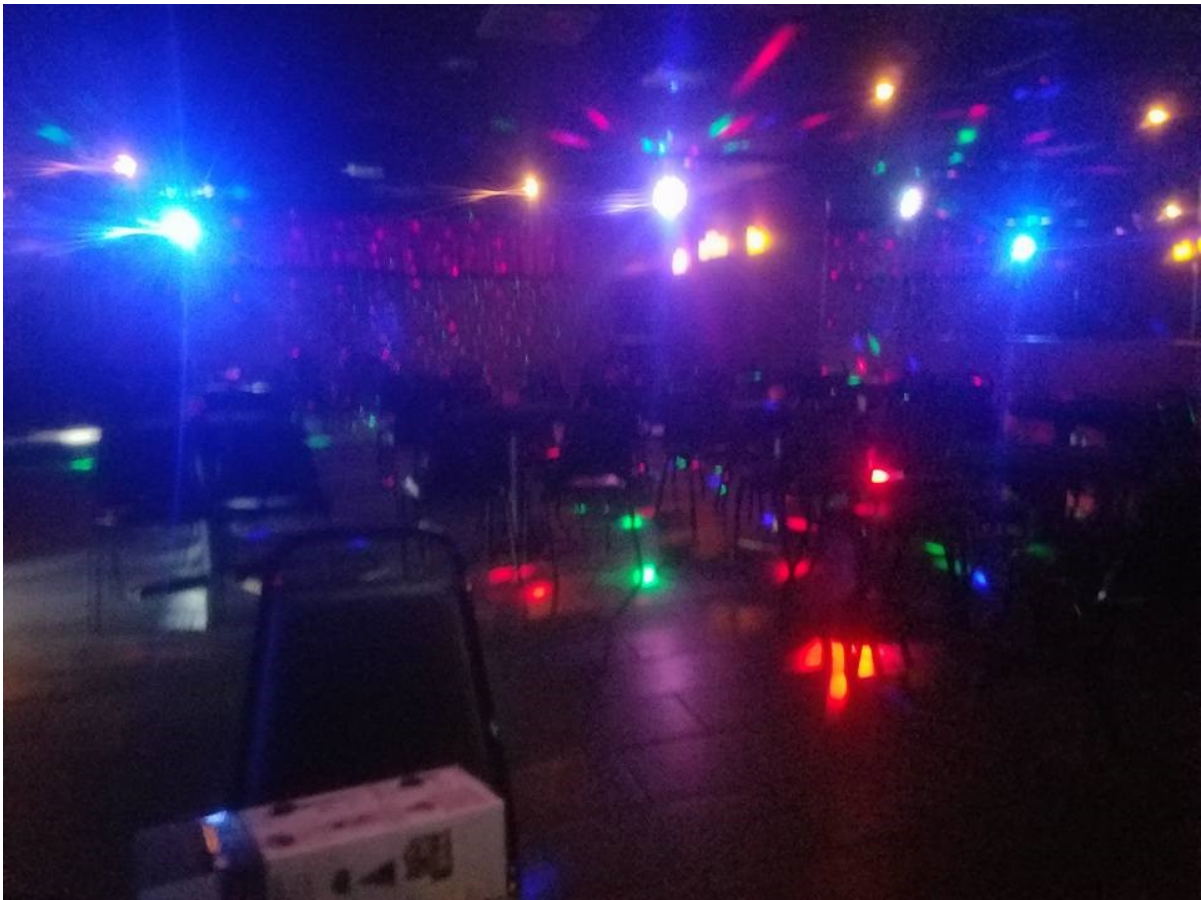
Like This Page · May 1 · Edited ·

Happy Hour !! ☺ de 6 a 8 p.m. todos los Dias
Cerveza 2x5 ... Sabrosas Micheladas Musica y
Diversión Atendidos por Barbie

154 Views

Saldana Loca, Alice Oz, El Daza Daza and 2 others like this.

4 shares





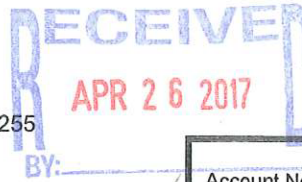
**BUSINESS LICENSE
APPLICATION**

EXHIBIT E



CITY OF HUNTINGTON PARK

Finance Department | License Division
6550 Miles Avenue, #127 Huntington Park, CA 90255
Tel: (323) 584-6232 | Fax: (323) 588-2657
license@hpcap.gov



BUSINESS LICENSE APPLICATION

Account No. _____

The Huntington Park Municipal Code requires that all businesses operating in the City obtain a license.
It is the responsibility of the applicant to maintain an active business license by renewing each year.

Type of Application:	<input type="checkbox"/> New Business	<input checked="" type="checkbox"/> Change of Ownership
<input type="checkbox"/> Change of Address	<input type="checkbox"/> Change of Business Name	<input type="checkbox"/> Change of Business Description
Type of License:	<input type="checkbox"/> Commercial/Industrial	<input type="checkbox"/> Non-Profit Organization
<input type="checkbox"/> Contractor	<input type="checkbox"/> Home Occupation	<input type="checkbox"/> Property Rental
Type of Ownership:	<input checked="" type="checkbox"/> Sole	<input type="checkbox"/> Partnership
<input type="checkbox"/> LLC	<input type="checkbox"/> Corporation	<input type="checkbox"/> Trust

Business Information	Business Name / DBA	<u>Club 21</u>	
	Business Address	<u>3256 E. Gage Ave</u>	City, State, Zip <u>Huntington Park CA 90255</u>
	Mailing Address	[REDACTED]	City, State, Zip <u>Gilbert AZ 85296</u>
	Business Phone	[REDACTED]	Email <u>cleantheplane12@yahoo.com</u>
	Federal ID No.	_____	State Tax No. _____
	State Class & License No.	_____	Board of Equalization No. _____
Estimated Gross Receipts for First Year of Business _____			

Owners Information	Owner's Name/ Corporate Officer	<u>Melissa Martinez</u>	Date of Birth	<u>10/5/90</u>
	Owner's Address	[REDACTED]	City, State, Zip	<u>Gilbert AZ 85296</u>
	Owner's Phone	[REDACTED]	Email	<u>cleantheplane12@yahoo.com</u>
	Driver's License No.	[REDACTED]	SSN	[REDACTED]
	2 nd Owner's Name	_____	Date of Birth	_____
	Owner's Address	_____	City, State, Zip	_____
	Owner's Phone	_____	Email	_____
	Driver's License No.	_____	SSN	_____


Business Description	Business operation statement. Include products/services offered or produced as well as any parts of the business that are incidental to the primary use.					
	<u>Bar, beer and wine sale</u>					
	Number of Employees	<u>3</u>	Hours of Operation	<u>1pm to 2am</u>	Gross Floor Area	_____
	Making Tenant Improvements	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Any existing business signs	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
	Sharing Tenant Space	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, business name	<u>Club 21</u>		
Status of Business	<input type="checkbox"/> Vacant <input type="checkbox"/> Occupied	<input checked="" type="checkbox"/> Current Business				



CITY OF HUNTINGTON PARK
BUSINESS LICENSE APPLICATION

Page 2

Supplemental		Will the business include any of the following? (Check all that apply)				
Supplemental	Adult-oriented items or activities	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Cyber cafe	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Pawn brokering	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	Alcohol sales	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Dance	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Precious metals purchase	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	Alcohol/drug counseling	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Entertainment	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Restaurant with seating	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	Auto title loans	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Firearm/weapons sales	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Short-term/payday loans	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	Banquet facility	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Fortune telling	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Tobacco sales	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	Check cashing	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Gaming	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Used merchandise	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	Currency exchange	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Medical marijuana	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Vending machines	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
			Money transfer	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Video machines	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Affidavit	
I hereby certify under penalty of perjury that the information provided herein is to the best of my knowledge and belief, a true and complete statement. I understand that this application is not a license and that no business activity may commence until a business license is issued.	
Signature	
Date	4/26/17
Printed Name and Title	Melissa Martinez 4/26/17 Owner

If processing by mail please include the following:

- ✓ Completed Application Form
- ✓ All applicable schedules
- ✓ Check payable to City of Huntington Park
- ✓ Mail to the attention of:

City of Huntington Park – Business License Division
6550 Miles Avenue, #127
Huntington Park, CA 90255

PLANNING (OFFICE USE ONLY)		
General Plan:	Zone:	SIC Code:
Previous Use/Business:		
Note:		
<input type="checkbox"/> Permitted <input type="checkbox"/> Permitted with Entitlement (CUP/DP# _____) <input type="checkbox"/> Pending <input type="checkbox"/> Prohibited		
Planning Approval:		Date:

BUILDING / FIRE (OFFICE USE ONLY)	
Building Approval:	Date:
Fire Approval:	Date:

FINANCE (OFFICE USE ONLY)						
Business License Fee:	Occupancy Fee:	Misc. Fee:	Application Fee:	Change of Location Fee:	Penalty Fee:	Total:
\$	\$	\$	\$	\$	\$	\$ 0

PC RESOLUTION NO.1459

EXHIBIT F

RESOLUTION NO. 1459

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON PARK, STATE OF CALIFORNIA, GRANTING A CONDITIONAL USE PERMIT IN CONNECTION WITH REAL PROPERTY LOCATED AT 3256 GAGE AVENUE, HUNTINGTON PARK, CALIFORNIA

WHEREAS, a public hearing was held in the City Hall, 6550 Miles Avenue, Huntington Park, California, on Wednesday, March 4, 1992 at 7:30 p.m., pursuant to the notice published and posted as required by law in accordance with the provisions of the Huntington Park Municipal Code, upon the application from Manuel Arellano, requesting a conditional use permit for on-sale of beer and wine in conjunction with a cocktail lounge located in the Commercial General (C-G) Zone on the following described property:

Assessor's Parcel Number 6323-001-037,
commonly known as 3256 Gage Avenue,
Huntington Park, California, and

WHEREAS, all persons appearing for or against the granting of the conditional use permit were given the opportunity to be heard in connection with said matter; and

WHEREAS, the Planning Commission has considered the environmental impact information relative to the proposed entitlement; and

WHEREAS, the Planning Commission is required to announce its findings and recommendations.

NOW, THEREFORE, THE PLANNING COMMISSION DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS FOLLOWS:

SECTION 1: The Planning Commission determines that the proposed conditional use permit would not have a significant effect on the environment and hereby adopts a Environmental Categorical Exemption.

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1 SECTION 2: The Planning Commission hereby makes the
2 following findings in connections with Conditional Use Permit
3 No. 1459:

4 (A) That the conditional use permit applied for is
5 authorized by the provisions of the Huntington Park Municipal
6 Code;

7 (B) That the granting of such conditional use permit will
8 not adversely affect the established character of the
9 surrounding neighborhood or be injurious to the property or
10 improvements in such vicinity and zone in which the property
11 is located;

12 (C) That the granting of such conditional use permit will
13 not adversely affect the Master or General Plan of this City;

14 (D) That the establishment, maintenance or conducting of
15 the use for which a conditional use permit is sought will not,
16 under the particular case, be detrimental to the health,
17 safety, morals, comfort, convenience or welfare of persons
18 residing or working in the neighborhood of such use; and will
19 not, under the circumstances of the particular case, be
20 detrimental to the public welfare or injurious to the property
21 or improvements in the neighborhood.

22 SECTION 3: The Planning Commission hereby grants
23 Conditional Use Permit No. 1459 subject to the execution
24 and fulfillment of the following conditions:

- 25 1. That subject to department corrections and conditions, the
26 property shall be developed substantially in accordance
27 with the plot plan submitted and marked Exhibit "C".
- 28 2. That the applicant shall comply with all applicable codes,
laws, rules and regulations, including Health and Safety,
Building, Fire, Sign, Zoning, and Business License Codes
of the City of Huntington Park.
3. That the pole sign at the northeast corner of the site be
removed and that the applicant comply with all regulations

1 pertaining to signage as listed in the H.P.M.C Sec. 9,
Article 26.

- 2 4. That the premises be kept in a neat and orderly manner at
3 all times and comply with the property maintenance
standards as set forth in H.P.M.C. Sec. 8-9.02.1.
- 4 5. That this permit shall expire in the event the entitlement
5 is not exercised within the (1) year from the date of
6 approval or if there is a cessation of the use or uses
authorized by this permit for a continuous period of six
(6) months or more.
- 7 6. That the violation of the conditions of this conditional
8 use may result in a citation or revocation of the
conditional use permit.
- 9 7. That should, at any time, the Alcoholic Beverage License
10 issued to the applicant by the State of California be
surrendered pursuant to Rule 65 thereof, this conditional
use permit shall automatically become null and void.
- 11 8. That should the operation of this establishment be
12 granted, deeded, conveyed, transferred, or should a change
in management or proprietorship occur at any time, this
conditional use permit shall automatically become null and
void.
- 13 9. That the applicant shall be required to apply for a new
14 conditional use permit if any alteration, modification,
15 or expansion which would increase the existing floor area
of the premises.
- 16 10. That inventory or merchandise shall only be permitted to
be stored or displayed within the enclosed building.
- 17 11. That the permit may be subject to additional conditions
18 after its original issuance. Such conditions shall be
imposed by the City Planning Commission as deemed
19 appropriate to address problems of land use
compatibility, security, and crime control.
- 20 12. The applicant construct a masonry wall around the parking
21 area of not less than five (5) feet nor more than six (6)
feet on the lot line abutting any residential zone or
residential dwelling.
- 22 13. That interior lighting shall be provided so as to produce
23 a minimum uniform intensity of three (3) footcandle power
at a height thirty-six (36") inches above the floor.
- 24 14. That all existing lighting be operable and maintained at
all times.
- 25 15. All mechanical equipment and appurtenances of any type
26 whatsoever, whether located on the roof top, ground level
or anywhere on the building structure shall be completely
27 enclosed so as not to be visible from any public street
and/or adjacent property. Such enclosed facilities

shall be of compatible design and material related to the building structure for which such facilities are intended to secure.

16. That the parking lot be resurfaced and that a parking plan be submitted to the Planning Department for review and approval.

17. That a trash enclosure be constructed and located per the City's requirements.

18. That the permit shall be subject to review for compliance with conditions of issuance at such intervals as the City Planning Commissions shall deem appropriate, but that the first such review shall be within but not more than six (6) months after the issuance of the permit.

19. That the applicant and/or owner agree in writing to the above conditions.

SECTION 4: This resolution shall not become effective until fifteen (15) days after the date of decision rendered by the Planning Commission, unless within that period of time it is appealed to the City Council. The decision of the Planning Commission shall be stayed until final determination of the appeal has been effected by the City Council.

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SECTION 5: The Secretary of the Planning Commission shall certify to the adoption of this resolution and a copy thereof shall be filed with the City Clerk.

PASSED, APPROVED, AND ADOPTED this 4th day of March, 1992,
by the following vote:

AYES: Commissioners Coover, Thompson, Wanke

NOES: Commissioners Watson, Mears

ABSENT: None

HUNTINGTON PARK PLANNING COMMISSION

Sueille Mears
Chairman

ATTEST:

Eric E. Sytson
Secretary

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qa3.res1459c

**CUP TRANSFER LETTER
DATED JANUARY 5, 2017**

EXHIBIT G



Community Development Department

January 5, 2017

Club 21
Attention: Mr. Javier Gonzalez
2130 Cameron Street
Long Beach, CA 90810

Re: Transfer of Conditional Use Permit for the on-sale of beer and wine at an existing cocktail lounge located at 3256 Gage Avenue, within the Commercial General (CG) Zone.

Dear Mr. Gonzalez:

This is to advise you that the Planning Commission of the City of Huntington Park adopted Resolution No. 1459 approving a request for a Conditional Use Permit (CUP) in connection with real property located at 3256 Gage Avenue, subject to the conditions contained therein.

The City requires that you accept the conditions of approval for the transfer of ownership of the use, and that you maintain the property in compliance with the conditions. The City conducted an inspection of the subject property on January 4, 2017 and the following violations must be corrected:

Violations of Resolution No. 1459

- **Condition No. 2** – That the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park.

Corrective Action Required: Remove dance floor and any other live entertainment equipment (d.j. equipment, lighting and speakers) inside the southerly area of the cocktail lounge. You may apply for a Dance & Entertainment Permit if you intend to have live entertainment or dancing activities inside the establishment.

- **Condition No. 4** – That the premises be kept in a neat and orderly manner at all times and comply with the property maintenance standards as set forth in H.P.M.C. Sec. 8-9.02.1.

Corrective Action Required: Remove all trash and debris around the parking area and building. Remove all chipped paint on southerly façade of the building and repaint the façade to match existing building color.

- **Condition No. 16** – That the parking lot be resurfaced and that a parking plan be submitted to the Planning Department for review and approval.

Corrective Action Required: Resurface, slurry seal, and re-stripe the parking lot area in accordance with the City's parking development standards.

- **Condition No. 17** – That a trash enclosure be constructed and located per the City's requirements.

Corrective Action Required: Repair the existing trash enclosure in accordance with the requirements of H.P.M.C. Sec. 9-3.103. The trash storage area shall be appropriately screened from view on at least three (3) sides by a solid wall six (6) feet in height and on the fourth side by a solid, reinforced gate not less than five (5) feet in height. A decorative 2-foot high wood trellis shall be installed on top of the enclosure. The design of the wall and gate shall be architecturally compatible with the surrounding structure and subject to approval of the Director.

The above items need to be completed within thirty (30) days to restore the subject property to legal compliance. If you fail to bring the property into compliance by February 4, 2017, the above violations will be referred to the City of Huntington Park Code Enforcement Division and may result in fines. Please note, the Building & Safety Division will conduct a site inspection as part of the application process. Please allow access to all portions of the building, including the areas that you did not have access to during the site inspection conducted by the Planning Division.

Should you have any questions or wish to provide evidence of violation compliance and/or to schedule a follow-up inspection, please contact me at (323) 584-6282.

In the meantime, you may continue to process your business license application. In order to complete the transfer you are required to acknowledge that you received a copy of the enclosed resolution. Please sign the RESOLUTION ACKNOWLEDGEMENT and return a copy of this letter to the Planning Division.

Sincerely,



Rodrigo Pelayo
Assistant Planner

Attachments: Resolution No. 1459

CUP Transfer: PC Case No. 1459
3256 Gage Avenue
January 5, 2017
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RESOLUTION ACKNOWLEDGEMENT

**I ACKNOWLEDGE THAT I HAVE RECEIVED A COPY OF RESOLUTION NO. 1459 AND
AGREE TO COMPLY WITH ALL CONDITIONS THEREIN.**

SIGNATURE:  DATE: 01-5-17

PRINTED NAME AND TITLE: JAVIER GONZALEZ

**WRITTEN NOTICE TO
MODIFY/REVOKE CUP NO. 1459**

EXHIBIT H



CITY OF HUNTINGTON PARK

NOTICE OF PUBLIC HEARING

The Planning Commission of the City of Huntington Park will conduct a Public Hearing, which you may attend.

PLACE: Huntington Park Civic Center
City Council Chambers on 2nd Floor
6550 Miles Avenue
Huntington Park, CA 90255

DATE & TIME: Wednesday, July 19, 2017 at 6:30 p.m.

APPLICANT: City of Huntington Park

REQUEST: **CASE NO. 1459 CUP – CONDITIONAL USE PERMIT** – A REQUEST TO CONSIDER THE MODIFICATION OF CONDITIONAL USE PERMIT CASE NO.1459 ALLOWING THE OPERATION OF A COCKTAIL LOUNGE TO CONTINUE; OR REVOKE CONDITIONAL USE PERMIT NO. 1459 IN CONNECTION WITH PROPERTY LOCATED AT 3256 GAGE AVENUE, WITHIN THE COMMERCIAL GENERAL (CG) ZONE.

PROPERTY INVOLVED: 3256 Gage Avenue, Huntington Park, CA 90255

REVIEW OF THE FILE: Anyone having any concerns, questions, or wishing to review or comment on the foregoing items is welcome to contact the City's Planning Division at (323) 584-6210 or visit the office located at 6550 Miles Avenue, during the hours of 7:00 a.m. to 1:30 p.m., Monday through Thursday.

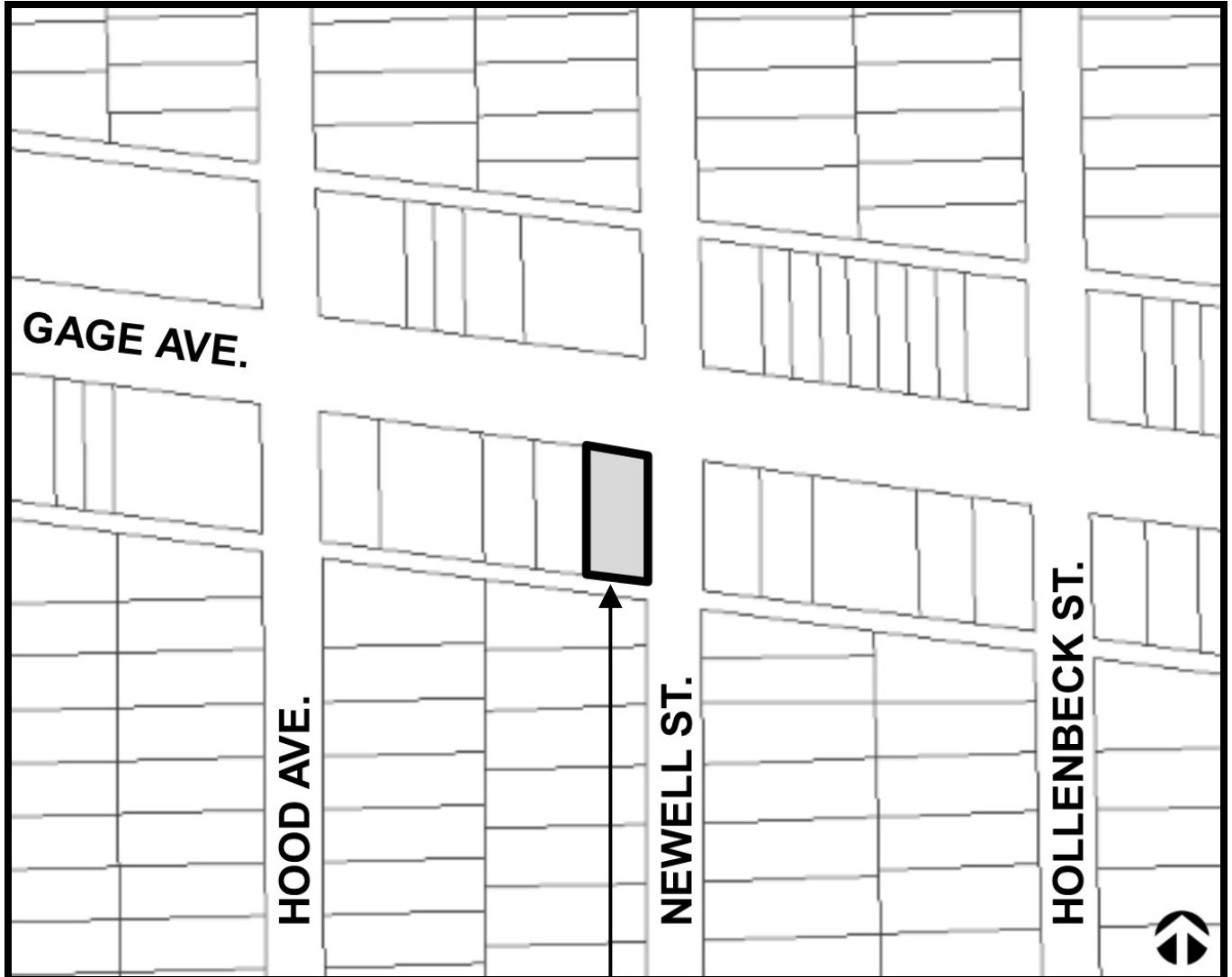
If you challenge any of the foregoing actions in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing for final action described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

The hearing may be continued or adjourned or cancelled and rescheduled to a stated time and place without further notice of a Public Hearing.

ESPAÑOL: *Si desea obtener información acerca de esta junta en español, favor de llamar al (323) 584-6210.*

HUNTINGTON PARK PLANNING COMMISSION
Carlos Luis, Secretary

VICINITY MAP



3256 Gage Avenue
Huntington Park, CA 90255



CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: JULY 19, 2017

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: SERGIO INFANZON, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: RODRIGO PELAYO, ASSISTANT PLANNER

SUBJECT: PLANNING COMMISSION CASE NO. 2017-03 CUP/ DP
(CONDITIONAL USE PERMIT/ DEVELOPMENT PERMIT)

REQUEST: Request for a Conditional Use Permit to allow an ice manufacturing facility and a Development Permit for a proposed tenant improvement consisting of a change in use from an existing warehouse to an ice manufacturing facility; and an existing residential use to commercial offices for property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

APPLICANT: Mr. Leonardo Corona of Corona Construction
3340 Gage Avenue
Huntington Park, CA 90255

PROPERTY OWNER: Mr. Fred Rader
550 S Orange Grove Circle
Pasadena, CA 91105

PROJECT LOCATION: 2309-2315 Randolph Street

**ASSESSOR'S
PARCEL NUMBER:** 6321-004-016 & 6321-004-017

PRESENT USE: Vacant Warehouse Building & Single-Family Dwelling

BUILDING SIZE: Warehouse Building: 5,532 sq. ft.
Single-Family Dwelling: 1,214 sq. ft.

SITE SIZE: APN: 6321-004-016: 7,130 sq. ft.
APN: 6321-004-017: 7,210 sq. ft.
Total: ±14,340 sq. ft.

PLANNING COMMISSION AGENDA REPORT

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GENERAL PLAN: Manufacturing Planned Development

ZONE: Manufacturing Planned Development (MPD)

**SURROUNDING
LAND USES:**

North: Industrial

West: Industrial

South: Industrial/Residential/ Rail Transportation

East: Commercial

**MUNICIPAL CODE
REQUIREMENTS FOR A
CONDITIONAL USE PERMIT:**

Pursuant to the Huntington Park Municipal Code (HPMC) section 9-4.302, cold storage facilities may be permitted provided a Conditional Use (CUP) has been granted by the Planning Commission.

**REQUIRED FINDINGS
FOR A CONDITIONAL
USE PERMIT:**

Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Commission may approve and/or modify a CUP application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the

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public interest, health, safety, convenience, or welfare of the City;

5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

**MUNICIPAL CODE
REQUIREMENTS FOR A
DEVELOPMENT PERMIT:**

Pursuant to the City of Huntington Park Municipal Code (HPMC) Section 9-2.1003 approval of a Development Permit shall be required for the expansion or conversion of an existing structure or use, affecting or involving a minimum of twenty-five (25) percent of the total gross floor area of the structure.

**REQUIRED FINDINGS
FOR A DEVELOPMENT
PERMIT:**

Pursuant to HPMC Section 9-2.1007, a Development Permit may be approved only if all of the following findings are made:

1. The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards;
2. The proposed development is consistent with the General Plan;
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property;
4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;

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5. The subject site is physically suitable for the type and density/intensity of use being proposed;
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare; and
7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.

ENVIRONMENTAL REVIEW:

Categorical Exemption, CEQA Article 19, Section 15301, Existing Facilities.

BACKGROUND:

- ***Site Description***

The subject site is located along Randolph Street between Santa Fe Avenue and Albany Street. The subject property is surrounded by industrial warehouses to the north; an industrial building to the west; a railroad and residences to the south; and a vacant industrial building to the east.

The site is comprised of two lots totaling 14,340 square feet developed with a single-family dwelling and a warehouse building currently vacant.

- ***Project Proposal***

The applicant, Corona Construction, is proposing tenant improvements consisting of a change in use from an existing 2,400 square-foot warehouse to an ice manufacturing and storage facility. In addition, the project proposes a change in use from an existing 1,214 square-foot single-family dwelling to commercial offices.

Other improvements include a façade remodel to the office building; re-painting the existing warehouse building; replacement of existing impervious concrete slab and driveway to facilitate a new loading zone, exterior equipment area, and a parking lot.

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In addition, the project proposes decorative stamped concrete at the driveway entrance, landscaping throughout the setback areas, and a new trash enclosure area within the footprint of the existing warehouse building. Decorative screening is proposed along the southerly and northerly boundaries of the subject site.

- ***Business Operation***

The proposed ice manufacturing and storage facility will operate one work shift per day, Monday through Friday, from 8:00am to 4:00pm. A total of four employees will work in the warehouse facility. A “bobtail” commercial truck will be scheduled to pick up ice merchandise once per day, Monday through Friday, between the hours of 7:00am and 8:00am.

ANALYSIS:

- ***Business Operation***

The proposed ice manufacturing and storage facility will provide distribution services of ice to retail stores. The proposed days and hours of operation are consistent with other surrounding business operations. As a result, it is reasonable to assume that the surrounding neighborhood will not be impacted by noise associated with the proposed use.

- ***Proposed Improvements***

The project proposes tenant improvements for a change in use of an existing 2,400 square foot one-story warehouse building. The building is proposed to be used as an ice manufacturing and distribution facility. The proposed tenant improvements will consist of installing exterior ice manufacturing equipment that will connect to the interior of the building. Staff has conditioned the project to provide decorative screening around the exterior equipment area. Pursuant to the Huntington Park Municipal Code (HPMC) Section 9-3.103(20), the exterior equipment shall be screened from public view. The screening design/construction shall be subject to the approval of the Director and shall blend with the design of the structure. A new trash storage area will be incorporated to the existing warehouse building to conceal trash containers and to maintain them accessible during pick-up times. Staff will require as a

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condition of approval that the warehouse building be repainted on all sides with a color approved by the City.

The project also proposes tenant improvements for a change in use of an existing 1,214 square foot single-family dwelling. The non-conforming residence will be converted to new offices which will be used in conjunction with the ice manufacturing facility. The proposed change in use will bring the property use into compliance with current Code requirements. The proposed tenant improvements will consist of an interior remodel of the existing structure, façade remodel, and ADA accessibility improvements.

A new parking area with new light posts is proposed to accommodate required off-street parking, one designated loading space, and exterior lighting. Drought-tolerant landscaping is proposed along southerly boundaries of the site. Decorative stamped concrete is proposed along the southerly driveway entrance. A new decorative perforated metal fence is also proposed along the northerly and southerly boundaries of the subject site.

The allowable floor area ratio (FAR) within the MPD zone is 2:1, which allows 2 square feet of gross floor area per 1 square foot of lot area, therefore both existing one-story buildings are in compliance with FAR requirements of the Code.

ALLOWABLE FLOOR AREA RATIO (2:1)		
Lot Size	Allowable Floor Area Ratio	Proposed Floor Area Ratio
14,340 sq. ft.	2 sq. ft. of G.F.A : 1 sq. ft. of Lot Area = 28,680 sq. ft.	5,532 sq. ft./ 28,680 sq. ft. = .12 ≤ 2 = OK

- ***Architectural Design***

The proposed façade remodel of the office building will be contemporary in style. The contemporary design will consist of exterior stucco finish walls. As a condition of approval, the project will be required that the façade design incorporate at least two types of materials (i.e. stucco-finish walls with wood trims around door and window openings, reveals, or stone veneer siding, etc.).

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- ***Landscaping***

Landscaping is proposed along the front setback area of the property fronting Randolph Street. The landscaping consists of shrubs and ground cover that will complement the proposed façade improvements of the office building. In addition, the proposed landscaping material will be drought tolerant. A condition of approval has been included requiring a maintenance plan (irrigation plan) for the proposed landscaping. Decorative stamped concrete is also proposed at the entrance of the driveway to enhance the site aesthetics along the landscape area.

- ***Floor Plan***

The new floor plan will be divided into a customer waiting area with a reception desk, three office rooms, an employee break room, and one restroom.

- ***Access/ Circulation***

The subject site is accessible from an existing driveway entrance along Randolph Street. The driveway will be utilized by standard vehicles and delivery trucks. Deliveries are proposed to be conducted within the site, adjacent to the existing public right-of-way (alley).

Commercial “bobtail” trucks are proposed to access the site in a reverse fashion and exit through the same driveway in a forward motion. A condition of approval has been added, requiring the business operator to provide a flagman for the back-up maneuver of the commercial trucks.

- ***Off-Street Parking***

Pursuant to HPMC Section 9-3.804, the parking requirement for “Industrial (general)” uses is one space for each 800 square feet of gross floor area; plus 1 space for each vehicle used in connection with the use.

Additional parking spaces are required for the proposed office use. Pursuant to HPMC Section 9-3.804, the parking requirement for “Offices (general)” uses is one space for each 400 square feet of gross floor area.

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In accordance with the City's parking standards, it was determined that a total of 7 off-street parking spaces are required. The project proposes a total of 7 off-street parking spaces. As a result, there will be no surplus off-street parking spaces.

The proposed parking layout would also incorporate one new designate loading space adjacent to the exterior equipment area. The loading space is proposed to measure 10 feet in width and 25 feet in length. Pursuant to the HPMC, one loading space is required for a building measuring less than 10,000 square feet. As a result, the site will be in compliance with parking and loading space requirements.

The parking calculations are summarized in the following table:

STANDARD OFF-STREET PARKING CALCULATION		
Type	Required	Proposed
Industrial (General)	Ratio: 1/800 sf (2400 sf/800) = 3	
Offices (General)	Ratio: 1/400 sf (1,214 sf/400) = 3.04	
Total	6.04 ≈ 7 spaces	7 spaces
Surplus of 0 spaces / Deficiency of 0 spaces		

- ***Lot Line Adjustment/ Lot Merger***

According to the Los Angeles County Assessor's Parcel Map, the subject site is comprised of two parcels. A condition of approval has been included requiring a Lot Line Adjustment/Lot Merger in order to consolidate the parcels into one.

- ***Comments from other Departments and/or Agencies***

The Planning Division received comments from the Huntington Park Building and Safety Division, and Code Enforcement Division. If the project is approved, the comments would be incorporated to Resolution 2017-03 (Exhibit A) as Conditions of Approval.

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- **Conditional Use Permit Analysis**

In granting a Conditional Use Permit to allow an ice manufacturing and storage facility in conjunction with offices, the Planning Commission must make findings in connection with the Conditional Use Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Conditional Use Permit may be approved only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code ***in that the proposed ice manufacturing and storage facility use is conditionally permitted within the subject zoning district. The subject zoning district is Manufacturing Planned Development (MPD) and the proposed project will not impair the integrity and character of the zoning district as it complies with all of the applicable provisions of the Huntington Park Municipal Code.***
2. The proposed use is consistent with the General Plan ***in that the proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General Plan by improving existing industry and providing for an expanded industrial base by creating new areas for compatible industrial uses through both redevelopment and private enterprise. The proposed project will expand the City's industrial base by providing ice manufacturing and distribution services to that will meet the City's needs.***
3. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines ***in that proposed use of ice manufacturing and storage is Categorically Exempt pursuant to Article 19, Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.***

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4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City ***in that the proposed project is located on a lot that measures approximately 14,340 square feet. The design, location, size, and operating characteristics of the proposed ice manufacturing and storage facility is not expected to be detrimental to the public health, safety and welfare of the City. The proposed project will be harmonious and compatible with the existing industrial uses presently located within the vicinity and zoning district. Additionally, the site has adequate vehicle circulation and access, as conditioned.***
5. The subject site is physically suitable for the type and density/intensity of use being proposed ***in that the proposed project is located on a lot that measures approximately 14,340 square feet. In addition, the subject site is currently developed with an existing 2,400 square foot warehouse building and an existing 1,214 square foot single-family dwelling to be converted into offices. The proposed tenant improvements to the buildings will comply with all development standards and adequate ingress and egress will exist on the site.***
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed use would not be detrimental to public health, safety and general welfare ***in that vehicular and pedestrian access to the site would be provided from Randolph Street. The proposed request for an ice manufacturing and storage facility will not significantly intensify public access, water, sanitation, and public utilities and services. The project will not require changes to existing public utilities. Given that the surrounding area is already completely developed with public access, water, sanitation, and other public utilities, the proposed***

project would not affect these infrastructures or require any types of modifications. In addition, the proposed project would not impede the accessibility to public access, water, sanitation, or other public utilities and services.

- ***Development Permit Analysis***

In granting a Development Permit for the change in use and tenant improvements to existing buildings, the Planning Commission must make findings in connection with the Development Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Development Permit may be approved only if all of the following findings are made:

1. That the proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards ***in that the proposed ice manufacturing and storage facility is conditionally permitted within the subject zoning district. The subject zoning district is Manufacturing Planned Development (MPD) and the proposed project will not impair the integrity and character of the zoning district as it complies with all of the applicable provisions of the Huntington Park Municipal Code.***
2. The proposed development is consistent with the General Plan ***in that the proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General Plan by improving existing industry and providing for an expanded industrial base by creating new areas for compatible industrial uses through both redevelopment and private enterprise. The proposed project will expand the City's industrial base by providing ice manufacturing and distribution services to meet the City's needs.***
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property ***in that subject site has historically been utilized for industrial purposes and has***

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created no documented nuisances to the City or surrounding properties. The design, location, size, and operating characteristics of the proposed ice manufacturing and storage facility is not expected to be detrimental to the public health, safety and welfare of the City. The proposed request for an ice manufacturing and storage facility is harmonious and compatible with the existing industrial uses presently located within the vicinity and zoning district.

4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines ***in that the proposed use of ice manufacturing and storage facility is Categorically Exempt pursuant to Article 19, Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.***
5. The subject site is physically suitable for the type and density/intensity of use being proposed ***in that the proposed project is located on a lot that measures approximately 14,430 square feet. In addition, the subject site is currently developed with an existing 2,400 square foot warehouse building and an existing 1,214 square foot single-family dwelling to be converted into offices. The proposed tenant improvements to the buildings will comply with all development standards and adequate ingress and egress will exist on the site, as conditioned.***
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare ***in that vehicular and pedestrian access to the site would be provided from Randolph Street. The proposed request for an ice manufacturing and storage facility will not significantly intensify public access, water, sanitation, and public utilities and services. The project will not require changes to existing public utilities. Given that the surrounding area is already completely developed with public access, water, sanitation, and other public utilities, the proposed project would not affect these***

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infrastructures or require any types of modifications. In addition, the proposed project would not impede the accessibility to public access.

7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City ***in that the proposed project has been reviewed accordingly. Conditions of approval have been included to ensure that project does not create any issues of concern that would be detrimental to the public health, safety, or welfare of the City.***

- **Conclusion**

Based on the above analysis, staff has determined that with the recommended conditions of approval, the proposed project complies with the HPMC and all of the required findings in support of a Conditional Use Permit and Development Permit can be made.

RECOMMENDATION:

Based on the evidence presented, it is the recommendation of Planning Division Staff that the Planning Commission adopt the Categorical Exemption, make the required findings and requirements set forth in the Huntington Park Municipal Code, and **adopt PC Resolution No. 2017-03 CUP/DP**, subject to the following proposed conditions of approval and/or other conditions that the Planning Commission may wish to impose.

CONDITIONS OF APPROVAL:

PLANNING

1. That the property owner and applicant shall indemnify, protect, hold harmless and defend the City and any agency or instrumentality thereof, its officers, employees and agents from all claims, actions, or proceedings against the City to attack, set aside, void, annul, or seek damages arising out of an approval of the City, or any agency or commission thereof, concerning this project. City shall promptly notify both the property owner and applicant of any claim, action, or proceeding to which this condition is applicable. The City shall cooperate in the defense of the action, while reserving its right to act as it deems to be in the best interest of the City and the public. The property owner and applicant shall defend, indemnify and hold harmless the City for all costs and fees incurred in additional investigation or study, or for supplementing or revising any document, including, without limitation, environmental documents. If the City's legal counsel is required to enforce any

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condition of approval, the applicant shall pay for all costs of enforcement, including legal fees.

2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. That all architectural detailing, including building materials, lighting, colors, façade improvements, finishes and other details be consistent with the submitted plans as approved by the Planning Division.
4. That the proposed project shall comply with all applicable codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Sign, Zoning, and Business License Regulations of the City of Huntington Park.
5. That the use be conducted, and the property be maintained, in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Title 8, Chapter 9, and Section 9-3.103.18 of the Huntington Park Municipal Code.
6. That the Conditional Use Permit shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
7. That any violation of the conditions of this entitlement may result in the revocation of the entitlement.
8. That the applicant be required to apply for a new entitlement if any alteration, modification, or expansion of the use is proposed.
9. That this entitlement expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
10. That if the use ceases to operate for a period of six (6) months the entitlement shall be null and void.
11. All proposed signage shall be reviewed and approved by the Planning Division under a separate permit. All proposed signage shall comply with the requirements of the Huntington Park Municipal Code and/or Master Sign Program of the subject site.
12. That all existing and/or proposed mechanical equipment and appurtenances, including satellite dishes, gutters etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to issuance of the Certificate of Occupancy.

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13. That any proposed on-site utilities, including electrical and telephone, be installed underground and be completely concealed from public view as required by the Planning Division.
14. That an anti-graffiti finish, as approved by the Planning Division, shall be applied to all exterior surfaces that are visible to the public and likely to attract graffiti prior to the issuance of the Certificate of Occupancy.
15. That any existing and/or future graffiti as defined by Huntington Park Municipal Code Section 5-27.02(d) shall be diligently removed within a reasonable time period.
16. That prior to the issuance of the Certificate of Occupancy, the property owner shall grant either by the covenants, conditions and restrictions for the subject property, or by a separate covenant recorded against the subject property, the right of entry for authorized City employees or agents for the purpose of removing or painting over graffiti from structures on the subject property.
17. That the property comply with the City's Standards for Exterior Colors, Section 9-3.103(3)(A) of the Huntington Park Municipal Code and obtain the Planning Division's approval prior, to the issuance of the Certificate of Occupancy.
18. That the parking area be constructed and striped as approved by the Planning Division.
19. That the proposed façade improvements to the office building shall incorporate at least two types of exterior architectural materials including, but not limited to, stucco, wood trims as accents, reveals, brick stone veneer, cornices, etc.
20. That the existing warehouse building be re-painted with a color approved by the City.
21. No outside storage shall be permitted.
22. The exterior equipment area shall be screened and shall not be visible from public view, pursuant to the Huntington Park Municipal Code (HPMC) Section 9-3.103(20).
23. That the office uses shall be ancillary to the primary ice manufacturing and storage facility use, pursuant to HPMC Section 9-4.302.
24. That the business shall be operated consistent with the Business Description dated May 25, 2017.
25. The business operator shall provide a flagman for the back-up maneuver of commercial trucks.
26. That the business be operated in compliance with the City of Huntington Park Noise Ordinance.

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27. That all required on-site parking and loading spaces comply with the minimum dimensions as set forth within the Huntington Park Municipal Code prior to issuance of the Certificate of Occupancy.
28. That a landscape plan design stamped by a licensed landscape architect be provided for the entire property, showing planter design, schedule of plant material, planter location and method of automatic permanent irrigation. The plan shall be submitted to and approved by the Planning Division, and such landscaping shall be installed and planted according to such approved plan, prior to being issued the certificate of occupancy, and shall thereafter be continuously and permanently maintained.
29. That landscape planters with 6" curbing and permanent irrigation be provided within the parking area, and that landscaping be provided in areas not used for vehicle parking, vehicle circulation or pedestrian access.
30. That a lighting plan be provided for all outdoor areas of the property. Such lighting shall be decorative and installed per approved plans to the satisfaction of the building official and Planning Division prior to issuing a Certificate of Occupancy.
31. That the applicant provide publicly visible art or pay art fees in accordance with the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of Occupancy.
32. That the applicant comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The applicant shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) and the SUSUMP requirements when applicable.
33. That the Conditional Use permit may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
34. That should the operation of this establishment be granted, deemed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall be reviewed.
35. That the Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
36. That the operator shall obtain its City of Huntington Park Business License prior to commencing business operations.

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PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

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37. All requirements, as deemed necessary by the Department of Public Works during the Plan Check process, shall be complied with.
38. That a Lot Line Adjustment/Lot Merger shall be required in order to consolidate the two lots into one comprehensive lot. Lot Line Adjustment/Lot Merger shall be submitted to the Planning Division along with a completed application, submittal requirements, and all applicable fees shall be paid at the time of submittal.
39. That the applicant and property owner agree in writing to the above conditions.

BUILDING & SAFETY

40. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
41. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
42. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
43. Art fee shall be paid to the City prior to issuance of the building Permit.
44. Recycling deposit shall be filed prior to issuance of the building permit to the satisfaction of the recycling coordinator.
45. The office building shall be addressed as 2309 Randolph Street (front building); whereas the warehouse shall be addressed as 2315 Randolph Street (rear building). An application to assign unit numbers shall be filed with Building Division prior to plan check submittal.
46. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
47. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
48. Redevelopment project with land disturbing activity that would result in the replacement of 5,000 square feet or more of impervious surface area on an already developed site on Planning Priority Project categories shall comply with LID requirements per City Ordinance.
49. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:

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- a) Observation of cleared areas and benches prepared to receive fill;
- b) Observation of the removal of all unsuitable soils and other materials;
- c) The approval of soils to be used as fill material;
- d) Inspection of compaction and placement of fill;
- e) The testing of compacted fills; and
- f) The inspection of review of drainage devices.

50. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by the Public Works Department, a new Preliminary Soils and/or Geotechnical Investigation.
51. Prior to permit issuance the pdf copy of the soils report shall be provided by the applicant.
52. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
53. The repair, alteration, change of occupancy of all existing buildings shall comply with one of the methods listed in Section 301.1.1 through 301.1.3 of the California Existing Building Code as selected by the applicant.
54. The seismic evaluation and design shall be based on the procedures of the California Building Code or ASCE 41 per Section 301.1.4 of the California Existing Building Code.
55. When prescriptive compliance method is selected, except as provided by Section 403.2 or Section 403.1 of the California Existing Building Code, alterations to any building or structure shall comply with the requirements of the California Building Code.
56. No change shall be made in the use or occupancy of any building that would place the building in a different division of the same group of occupancies or in a different group of occupancies, unless such building is made to comply with the requirements of the California Building Code for such division or group of occupancies per Section 407 of the California Existing Building Code.
57. The building height and area shall not exceed the limits specified in Table 504.3, 504.4 and 506.2 based on the type of construction as determined by Section 602 and the occupancies as determined by Section 302 except as modified hereafter.
58. Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 5 to 10 feet shall comply with Table 705.8 of the Building Code.

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PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

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59. All State of California disability access regulations for accessibility shall comply with Chapter 11B of the California Building Code.
60. Electrical plan check is required.
61. Mechanical plan check is required.
62. Plumbing plan check is required.
63. Energy calculations are required for new lighting or mechanical equipment.
64. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
65. Project shall comply with the CalGreen Non-Residential mandatory requirements.
66. Demolition permit is required for any existing buildings which are to be demolished.
67. All fire sprinkler hangers must be designed and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250 pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
68. Separate permit is required for Fire Sprinklers.
69. The building permit will not be issued until the property has been surveyed and the boundaries marked by a land surveyor licensed by the State of California.
70. City records indicate the proposed site is a combination of lots under common ownership. A parcel merger by document shall be obtained or a parcel/tract map shall be processed prior to issuance of the building permit.
71. City of Huntington Park, Preliminary MS4 Project Application completed by Engineer of Record and approved by Environmental Division shall be copied on the first sheet of Building Plans and on the first sheet of Grading Plans.

CODE ENFORCEMENT

72. Trash enclosure shall be secured at all times.
73. That "NO TRESPASSING" signs be installed on the exterior of the property as approved by the City.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

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COUNTY OF LOS ANGELES FIRE DEPARTMENT

74. Review and approval by the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit shall be required for this project prior to building permit issuance.

EXHIBITS:

- A: PC Resolution No. 2017-03
- B: Business Description
- C: Vicinity Map
- D: Assessor's Parcel Map
- E: Site Plan
- F: Floor Plan (Warehouse Building)
- G: Elevations (Warehouse Building)
- H: Floor Plan (Office Building)
- I: Elevations (Office Building)
- J: Applications and Environmental Assessment Checklist

PC RESOLUTION NO. 2017-03

EXHIBIT A

CASE NO. 2017-03 CUP/DP

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WHEREAS, a public hearing was held in the City Hall, 6550 Miles Avenue, Huntington Park, California on Wednesday, July 19, 2017 at 6:30 p.m. pursuant to the notice published and posted as required by law in accordance with the provisions of the Huntington Park Municipal Code (HPMC), upon an application from Corona Construction, requesting Planning Commission approval of a Conditional Use Permit to allow an ice manufacturing facility and a Development Permit for a proposed tenant improvement consisting of a change in use from an existing warehouse to an ice manufacturing facility; and an existing residential use to commercial offices for property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone on the following described property:

WHEREAS, the Planning Division has reviewed the request and has found that all of the required findings for approval of a Conditional Use Permit and a Development Permit have been made as required by the Municipal Code; and

WHEREAS, all persons appearing for or against the approval of the Conditional Use Permit and Development Permit were given the opportunity to be heard in connection with said matter; and

WHEREAS, the Planning Commission is required to announce its findings and recommendations.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS FOLLOWS:

SECTION 1: Based on the evidence in the Environmental Assessment Questionnaire, the Planning Commission adopts the findings in said Questionnaire and determines that the project, as proposed, will have no significant adverse effect on the environment and adopts an Environmental Categorical Exemption (CEQA Guidelines, Article 19, Section 15301), Existing Facilities.

SECTION 2: The Planning Commission hereby makes the following findings in connection with the proposed Conditional Use Permit:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code ***in that the proposed ice manufacturing and storage facility use is conditionally permitted within the subject zoning district. The subject zoning district is Manufacturing Planned Development (MPD) and the proposed project will not impair the integrity and character of the zoning district as it complies with all of the applicable provisions of the Huntington Park Municipal Code.***
2. The proposed use is consistent with the General Plan ***in that the proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General Plan by improving existing industry and providing for an expanded industrial base by creating new areas for compatible industrial uses through both redevelopment and private enterprise. The proposed project will expand the City's industrial base by providing ice manufacturing and distribution services to that will meet the City's needs.***
3. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the

City's Guidelines ***in that proposed use of ice manufacturing and storage is Categorically Exempt pursuant to Article 19, Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.***

4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City ***in that the proposed project is located on a lot that measures approximately 14,340 square feet. The design, location, size, and operating characteristics of the proposed ice manufacturing and storage facility is not expected to be detrimental to the public health, safety and welfare of the City. The proposed project will be harmonious and compatible with the existing industrial uses presently located within the vicinity and zoning district. Additionally, the site has adequate vehicle circulation and access, as conditioned.***
5. The subject site is physically suitable for the type and density/intensity of use being proposed ***in that the proposed project is located on a lot that measures approximately 14,340 square feet. In addition, the subject site is currently developed with an existing 2,400 square foot warehouse building and an existing 1,214 square foot single-family dwelling to be converted into offices. The proposed tenant improvements to the buildings will comply with all development standards and adequate ingress and egress will exist on the site.***
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed use would not be detrimental to public health, safety and general welfare ***in that vehicular and pedestrian access to the site would be provided from Randolph Street. The proposed***

1 *request for an ice manufacturing and storage facility will not significantly*
2 *intensify public access, water, sanitation, and public utilities and services.*
3 *The project will not require changes to existing public utilities. Given that*
4 *the surrounding area is already completely developed with public access,*
5 *water, sanitation, and other public utilities, the proposed project would not*
6 *affect these infrastructures or require any types of modifications. In*
7 *addition, the proposed project would not impede the accessibility to public*
8 *access, water, sanitation, or other public utilities and services.*

9 **SECTION 3:** The Planning Commission hereby makes the following findings in
10 connection with the proposed Development Permit:

- 11 1. The proposed development is one permitted within the subject zoning district and
12 complies with all of the applicable provisions of this Code, including prescribed
13 development/site standards *in that the proposed ice manufacturing and*
14 *storage facility is conditionally permitted within the subject zoning district.*
15 *The subject zoning district is Manufacturing Planned Development (MPD)*
16 *and the proposed project will not impair the integrity and character of the*
17 *zoning district as it complies with all of the applicable provisions of the*
18 *Huntington Park Municipal Code.*
- 19 2. The proposed development is consistent with the General Plan *in that the*
20 *proposed project is consistent with the General Plan, specifically, the*
21 *proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use*
22 *Element of the General Plan by improving existing industry and providing*
23 *for an expanded industrial base by creating new areas for compatible*
24 *industrial uses through both redevelopment and private enterprise. The*
25 *proposed project will expand the City's industrial base by providing ice*
26 *manufacturing and distribution services to meet the City's needs.*
- 27 3. The proposed development would be harmonious and compatible with existing
28 and planned future developments within the zoning district and general area, as

well as with the land uses presently on the subject property ***in that subject site has historically been utilized for industrial purposes and has created no documented nuisances to the City or surrounding properties. The design, location, size, and operating characteristics of the proposed ice manufacturing and storage facility is not expected to be detrimental to the public health, safety and welfare of the City. The proposed request for an ice manufacturing and storage facility is harmonious and compatible with the existing industrial uses presently located within the vicinity and zoning district.***

4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines ***in that the proposed use of ice manufacturing and storage facility is Categorically Exempt pursuant to Article 19, Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.***
5. The subject site is physically suitable for the type and density/intensity of use being proposed ***in that the proposed project is located on a lot that measures approximately 14,430 square feet. In addition, the subject site is currently developed with an existing 2,400 square foot warehouse building and an existing 1,214 square foot single-family dwelling to be converted into offices. The proposed tenant improvements to the buildings will comply with all development standards and adequate ingress and egress will exist on the site, as conditioned.***
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare ***in that vehicular and pedestrian access to the site would be provided from Randolph Street. The proposed request for an ice manufacturing and storage facility will not***

1 ***significantly intensify public access, water, sanitation, and public utilities***
2 ***and services. The project will not require changes to existing public utilities.***
3 ***Given that the surrounding area is already completely developed with public***
4 ***access, water, sanitation, and other public utilities, the proposed project***
5 ***would not affect these infrastructures or require any types of modifications.***
6 ***In addition, the proposed project would not impede the accessibility to***
7 ***public access.***

- 8 7. The design, location, size and operating characteristics of the proposed
9 development would not be detrimental to the public health, safety, or welfare of
10 the City ***in that the proposed project has been reviewed accordingly.***
11 ***Conditions of approval have been included to ensure that project does not***
12 ***create any issues of concern that would be detrimental to the public health,***
13 ***safety, or welfare of the City.***

14 **SECTION 4:** The Planning Commission hereby approves Resolution No. 2017-03
15 CUP/DP, subject to the execution and fulfillment of the following conditions:

16 **Planning Division**

- 17 1. That the property owner and applicant shall indemnify, protect, hold harmless and
18 defend the City and any agency or instrumentality thereof, its officers, employees
19 and agents from all claims, actions, or proceedings against the City to attack, set
20 aside, void, annul, or seek damages arising out of an approval of the City, or any
21 agency or commission thereof, concerning this project. City shall promptly notify
22 both the property owner and applicant of any claim, action, or proceeding to which
23 this condition is applicable. The City shall cooperate in the defense of the action,
24 while reserving its right to act as it deems to be in the best interest of the City and
25 the public. The property owner and applicant shall defend, indemnify and hold
26 harmless the City for all costs and fees incurred in additional investigation or
27 study, or for supplementing or revising any document, including, without limitation,
28 environmental documents. If the City's legal counsel is required to enforce any
condition of approval, the applicant shall pay for all costs of enforcement,
including legal fees.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to
department corrections and conditions, the property shall be developed
substantially in accordance with the applications, environmental assessment, and
plans submitted.

3. That all architectural detailing, including building materials, lighting, colors, façade improvements, finishes and other details be consistent with the submitted plans as approved by the Planning Division.
4. That the proposed project shall comply with all applicable codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Sign, Zoning, and Business License Regulations of the City of Huntington Park.
5. That the use be conducted, and the property be maintained, in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Title 8, Chapter 9, and Section 9-3.103.18 of the Huntington Park Municipal Code.
6. That the Conditional Use Permit shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
7. That any violation of the conditions of this entitlement may result in the revocation of the entitlement.
8. That the applicant be required to apply for a new entitlement if any alteration, modification, or expansion of the use is proposed.
9. That this entitlement expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
10. That if the use ceases to operate for a period of six (6) months the entitlement shall be null and void.
11. All proposed signage shall be reviewed and approved by the Planning Division under a separate permit. All proposed signage shall comply with the requirements of the Huntington Park Municipal Code and/or Master Sign Program of the subject site.
12. That all existing and/or proposed mechanical equipment and appurtenances, including satellite dishes, gutters etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to issuance of the Certificate of Occupancy.
13. That any proposed on-site utilities, including electrical and telephone, be installed underground and be completely concealed from public view as required by the Planning Division.

14. That an anti-graffiti finish, as approved by the Planning Division, shall be applied to all exterior surfaces that are visible to the public and likely to attract graffiti prior to the issuance of the Certificate of Occupancy.
15. That any existing and/or future graffiti as defined by Huntington Park Municipal Code Section 5-27.02(d) shall be diligently removed within a reasonable time period.
16. That prior to the issuance of the Certificate of Occupancy, the property owner shall grant either by the covenants, conditions and restrictions for the subject property, or by a separate covenant recorded against the subject property, the right of entry for authorized City employees or agents for the purpose of removing or painting over graffiti from structures on the subject property.
17. That the property comply with the City's Standards for Exterior Colors, Section 9-3.103(3)(A) of the Huntington Park Municipal Code and obtain the Planning Division's approval prior, to the issuance of the Certificate of Occupancy.
18. That the parking area be constructed and striped as approved by the Planning Division.
19. That the proposed façade improvements to the office building shall incorporate at least two types of exterior architectural materials including, but not limited to, stucco, wood trims as accents, reveals, brick stone veneer, cornices, etc.
20. That the existing warehouse building be re-painted with a color approved by the City.
21. No outside storage shall be permitted.
22. The exterior equipment area shall be screened and shall not be visible from public view, pursuant to the Huntington Park Municipal Code (HPMC) Section 9-3.103(20).
23. That the office uses shall be ancillary to the primary ice manufacturing and storage facility use, pursuant to HPMC Section 9-4.302.
24. That the business shall be operated consistent with the Business Description dated May 25, 2017.
25. The business operator shall provide a flagman for the back-up maneuver of commercial trucks.
26. That the business be operated in compliance with the City of Huntington Park Noise Ordinance.
27. That all required on-site parking and loading spaces comply with the minimum dimensions as set forth within the Huntington Park Municipal Code prior to issuance of the Certificate of Occupancy.

- 1 28. That a landscape plan design stamped by a licensed landscape architect be
2 provided for the entire property, showing planter design, schedule of plant
3 material, planter location and method of automatic permanent irrigation. The plan
4 shall be submitted to and approved by the Planning Division, and such
5 landscaping shall be installed and planted according to such approved plan, prior
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- 14 31. That the applicant provide publicly visible art or pay art fees in accordance with
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- 17 32. That the applicant comply with all of the provisions of Title 7, Chapter 9 of the
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19 applicant shall also comply with all requirements of the National Pollutant
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21 County of Los Angeles Regional Water Quality Board. This includes compliance
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27 compatibility, operations, aesthetics, security, noise, safety, crime control, or to
28 promote the general welfare of the City.
34. That should the operation of this establishment be granted, deemed, conveyed,
transferred, or should a change in management or proprietorship occur at any
time, this Conditional Use Permit shall be reviewed.
35. That the Director of Community Development is authorized to make minor
modifications to the approved preliminary plans or any of the conditions if such
modifications shall achieve substantially the same results, as would strict
compliance with said plans and conditions.
36. That the operator shall obtain its City of Huntington Park Business License prior to
commencing business operations.
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the Plan Check process, shall be complied with.

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39. That the applicant and property owner agree in writing to the above conditions.

Building and Safety

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45. The office building shall be addressed as 2309 Randolph Street (front building); whereas the warehouse shall be addressed as 2315 Randolph Street (rear building). An application to assign unit numbers shall be filed with Building Division prior to plan check submittal.

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- c) The approval of soils to be used as fill material;
- d) Inspection of compaction and placement of fill;

- e) The testing of compacted fills; and
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50. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by the Public Works Department, a new Preliminary Soils and/or Geotechnical Investigation.

51. Prior to permit issuance the pdf copy of the soils report shall be provided by the applicant.

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53. The repair, alteration, change of occupancy of all existing buildings shall comply with one of the methods listed in Section 301.1.1 through 301.1.3 of the California Existing Building Code as selected by the applicant.

54. The seismic evaluation and design shall be based on the procedures of the California Building Code or ASCE 41 per Section 301.1.4 of the California Existing Building Code.

55. When prescriptive compliance method is selected, except as provided by Section 403.2 or Section 403.1 of the California Existing Building Code, alterations to any building or structure shall comply with the requirements of the California Building Code.

56. No change shall be made in the use or occupancy of any building that would place the building in a different division of the same group of occupancies or in a different group of occupancies, unless such building is made to comply with the requirements of the California Building Code for such division or group of occupancies per Section 407 of the California Existing Building Code.

57. The building height and area shall not exceed the limits specified in Table 504.3, 504.4 and 506.2 based on the type of construction as determined by Section 602 and the occupancies as determined by Section 302 except as modified hereafter.

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60. Electrical plan check is required.

61. Mechanical plan check is required.

62. Plumbing plan check is required.

63. Energy calculations are required for new lighting or mechanical equipment.

64. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.

65. Project shall comply with the CalGreen Non-Residential mandatory requirements.

66. Demolition permit is required for any existing buildings which are to be demolished.

67. All fire sprinkler hangers must be designed and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250 pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.

68. Separate permit is required for Fire Sprinklers.

69. The building permit will not be issued until the property has been surveyed and the boundaries marked by a land surveyor licensed by the State of California.

70. City records indicate the proposed site is a combination of lots under common ownership. A parcel merger by document shall be obtained or a parcel/tract map shall be processed prior to issuance of the building permit.

71. City of Huntington Park, Preliminary MS4 Project Application completed by Engineer of Record and approved by Environmental Division shall be copied on the first sheet of Building Plans and on the first sheet of Grading Plans.

Code Enforcement

72. Trash enclosure shall be secured at all times.

73. That "NO TRESPASSING" signs be installed on the exterior of the property as approved by the City.

County of Los Angeles Fire Department

74. Review and approval by the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit shall be required for this project prior to building permit issuance.

SECTION 6: This resolution shall not become effective until 15 days after the date of decision rendered by the Planning Commission, unless within that period of time it is appealed to the City Council. The decision of the Planning Commission shall be stayed until final determination of the appeal has been effected by the City Council.

SECTION 7: The Secretary of the Planning Commission shall certify to the adoption of this resolution and a copy thereof shall be filed with the City Clerk.

PASSED, APPROVED, AND ADOPTED this 19th day of July, 2017 by the following vote:

AYES:

NOES:

ABSENT:

HUNTINGTON PARK PLANNING COMMISSION

Efren Martinez, Chairperson

ATTEST:

Sergio Infanzon, Secretary

BUSINESS DESCRIPTION

EXHIBIT B

CASE NO. 2017-03 CUP/DP

CENTRAL
LOS ANGELES
TRADING, INC.



May 25, 2017

Business Schedule for Central Los Angeles Trading, Inc.

Hours of Operation: Central Los Angeles Trading, Inc. will operate Monday through Friday,
From 8:00a.m. To 4:00p.m.

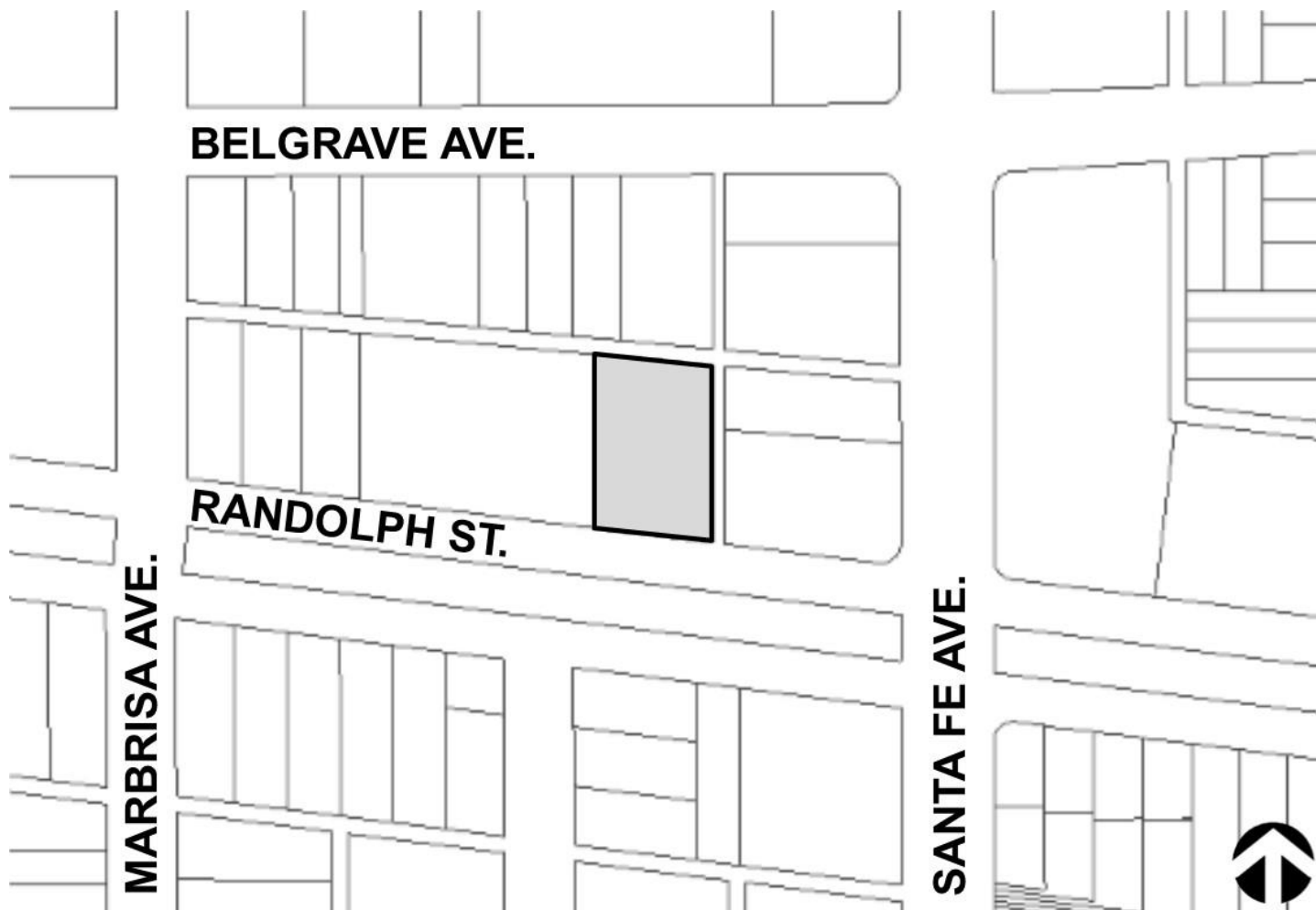
Hours for Delivery and Pick Up: Central Los Angeles Trading, Inc. will have one truck deliver
and for pick up. Monday through Friday from 7:00a.m. To 8:00a.m.

Employees: Central Los Angeles Trading, Inc. will have 4 employees on premise.

Alarm System: Central Los Angeles Trading, Inc. will have a 24-hour alarm system from Monday
through Friday. Alarm Monitor Service will be connected to the Police Department and to the
Fire Department.

Sincerely,

Esther Guzman
Secretary / Treasury



VICINITY MAP

EXHIBIT C

CASE NO. 2017-03 CUP/DP

ASSESSOR'S PARCEL MAP

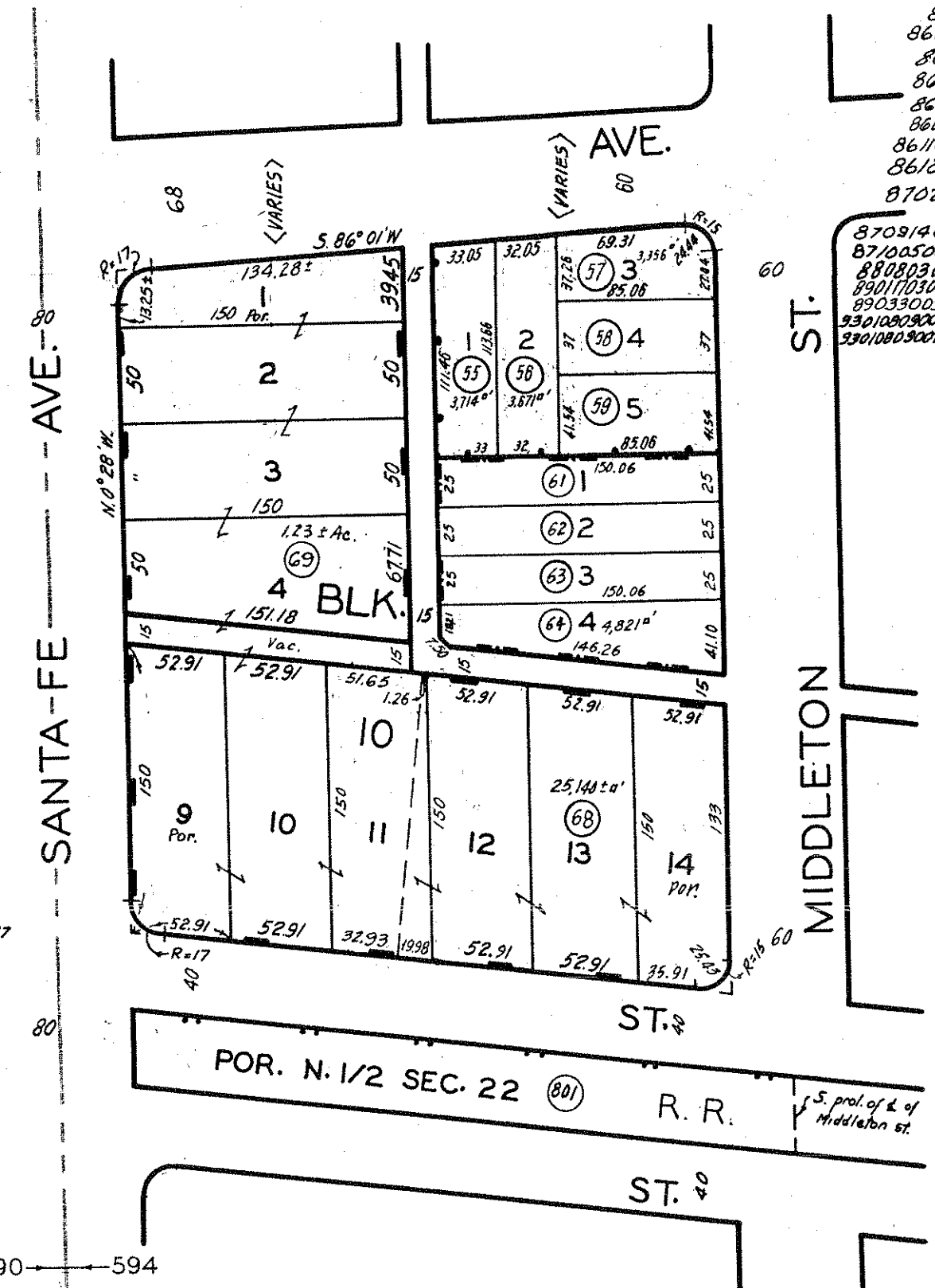
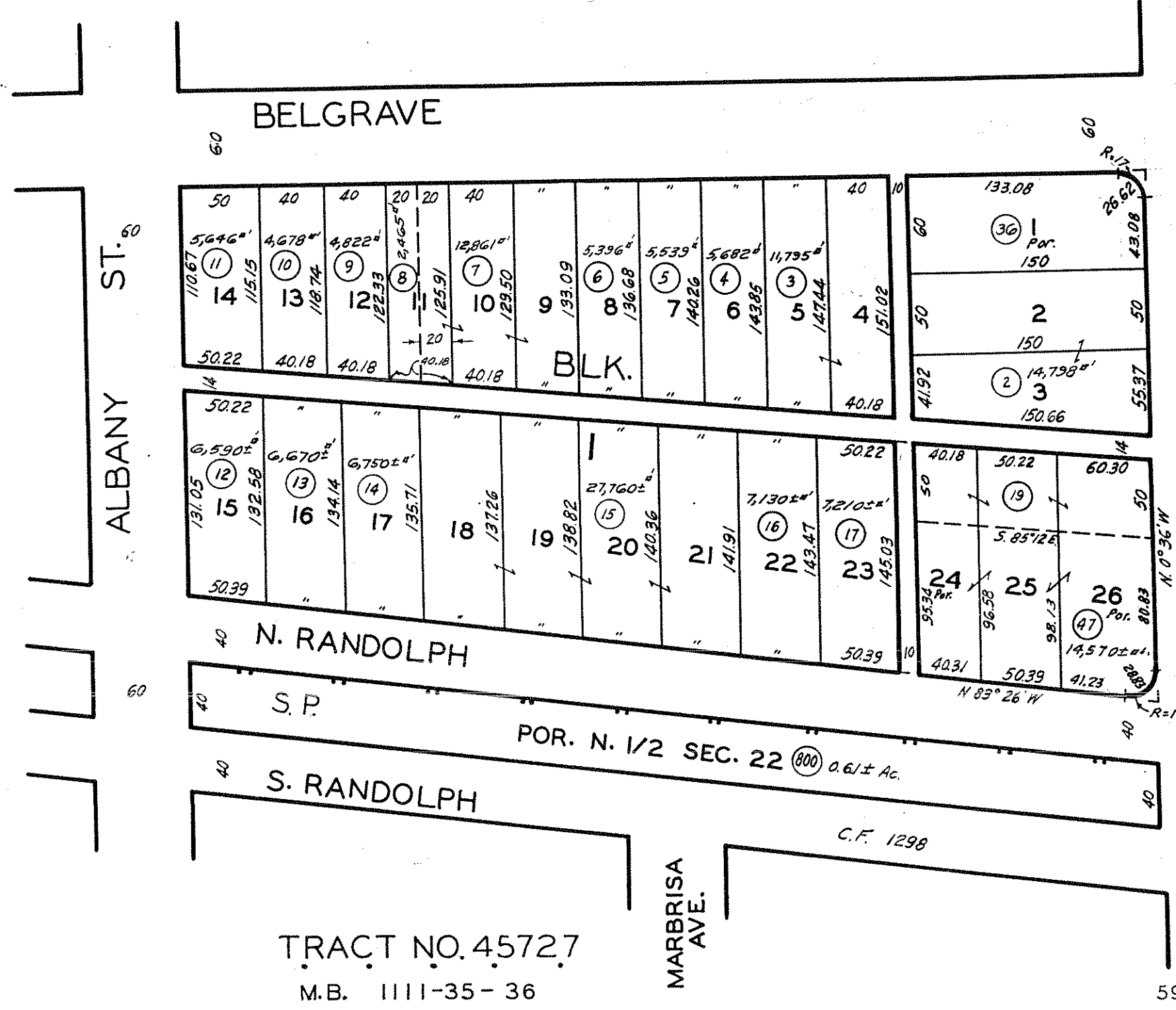
EXHIBIT D

CASE NO. 2017-03 CUP/DP

1995

94062904005001-12 66/201
95012005002001-12 770915

REV
9-21
80102
8511/98
86010680
8602276
86032006
8606026
86082500
861105852
861202817
87021960
870914080201
8710050801100
8808030401301
89011703029003
8903300301200
93010809002001-12
93010809002002-12



TRACT NO. 4572.7
M.B. 1111-35-36

TRACT NO. 2510
M.B. 27-26

TRACT NO. 4588.7
M.B. 1125-21-22

T. 2S., R. 13 W.

REPLAT OF PART OF BLOCKS 10 & 27
OF HUNTINGTON PARK INCLUDING LOT 153
OF NADEAU VINEYARD TRACT NO. 2

M.B. 4-47

CODE
594
590

FOR PREV. ASSM'T. SEE: 395-23, 32 & 34

SITE PLAN

EXHIBIT E

CASE NO. 2017-03 CUP/DP

City/County of [NAME OF CITY]

Information Bulletin
DA-01
Eff. 01-01-2016

**Summary of Accessibility Upgrades
for Commercial Projects**

The provisions of Section 11B-202.4 Exception 8 apply to existing buildings or facilities used as public buildings, public accommodations, commercial buildings or public housing. When these buildings or facilities undergo alterations, structural repairs, or additions, an accessible path of travel must be provided to the specific area of construction.

When the adjusted construction cost¹ of alterations, structural repairs, or additions to existing buildings and facilities within three years of the original alteration does not exceed a valuation threshold of \$150,244.00, the cost of compliance with Section 11B-202.4 of the 2013 California Building Code shall be limited to 20% of the adjusted construction cost of alterations, structural repairs or additions.

In choosing which accessible elements to provide, priority should be given to those elements that will provide the greatest access in the following order:

1. An accessible entrance;
2. An accessible route to the area of alteration, structural repair, or addition (see definition of accessible route Section 202 & 11B-206.2.1 for more information on accessible routes and site arrival points);
3. At least one accessible restroom for each sex serving the area of alteration, structural repair or addition;
4. Accessible telephones, if provided, serving the area of alteration, structural repair, or addition;
5. Accessible drinking fountains, if provided, serving the area of alteration, structural repair, or addition; and
6. When possible, additional accessible elements such as additional parking, storage, signs and alarms.

The second page of this Information Bulletin provides an example showing a Summary of Accessibility Upgrades.

¹ Adjusted cost of construction does not include the cost of alterations to path of travel elements required to be upgraded outside the area of alteration, structural repair, or addition.

1 of 3

**Summary of Accessibility Upgrades for
Commercial Projects**

(For existing buildings where the adjusted construction cost is less than or equal to \$147,853.00 (rev. 12/01/15) Sec. 11B-202.4 Exception 8)

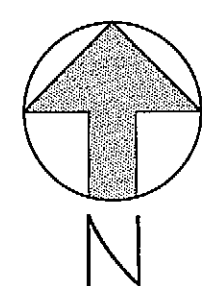
Project Address:		Application No.	
Project Description/Location:		Permit Valuation:	
Type: <input type="checkbox"/> Alteration <input type="checkbox"/> Structural Repair <input type="checkbox"/> Addition		*Adjusted Cost of Proposed Construction:	
PATH OF TRAVEL REQUIREMENTS FOR AREA OF ALTERATION, STRUCTURAL REPAIR, OR ADDITION			
Accessible Features	Does existing feature meet accessibility standards of Chapter 11B of the current CBC?	Will this feature be replaced or altered to meet Chapter 11B of the current CBC?	If so, how much will be spent to make this feature accessible?
1. Accessible entrance			
2. Accessible route to the altered area			
3. Accessible restroom for each sex or a unisex restroom			
4. Accessible telephones			
5. Accessible drinking fountains			
6. Other (Any of the below)			
A. Accessible parking spaces			
B. Signs			
C. Alarms			
D. Other:			
Cost of All Features Provided (A)	Summary of costs of Accessible Features Nos. 1-6 provided above.		
Adjusted Cost of Proposed Construction (B)	Construction cost for all proposed work on this permit application except Accessible Features Nos. 1-6 provided above.		
Percentage Upgrades Provided (A / B)	Cost of all Features Provided / Total Cost on Same Path of Travel.		
Description of Access Features Provided:			
Applicant Certification			
I certify that the above information is true and correct to the best of my knowledge and belief.			
Signature:	Date: / /	Company:	
Name: (print)		Address:	
Title:		City, State Zip:	
Agent for: <input type="checkbox"/> Owner <input type="checkbox"/> Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Contractor		Phone No.:	
For Building Official Use Only			
Approved by:	Title:	Date: / /	

If an area has been altered without providing an accessible path of travel to that area, and subsequent alterations of that area or a different area on the same path of travel are undertaken within three years of the original alteration, the total cost of alterations to the area on that path of travel during the preceding three-year period shall be considered in determining whether the cost of making that path of travel accessible is disproportionate.

EXISTING 2,400 SQ. FT. WAREHOUSE BUILDING TO BE USED FOR ICE STORAGE

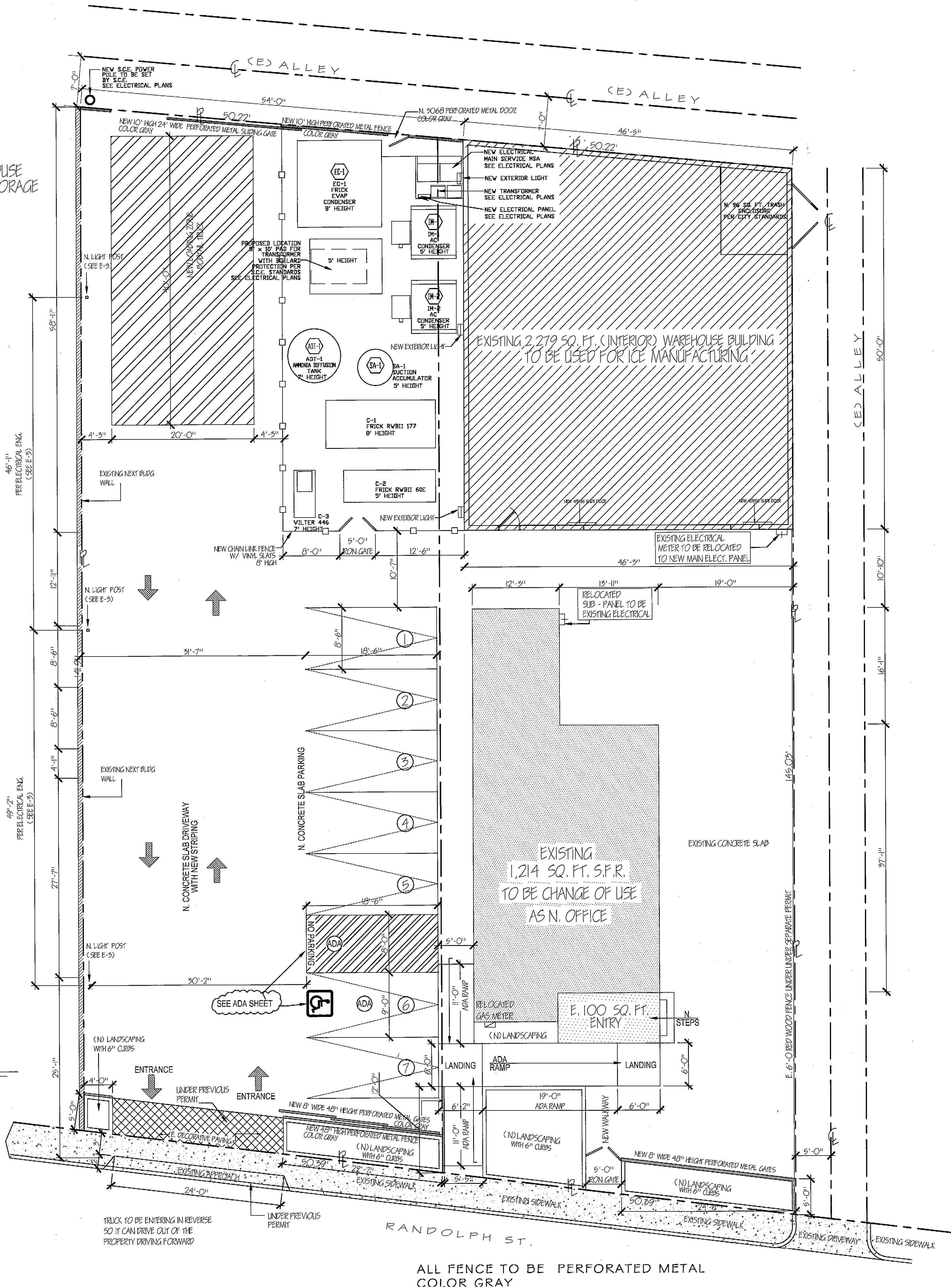
EXISTING 1,214 SQ. FT. S.F.D.

EXISTING 103 SQ. FT. PORCH



SITE PLAN

SCALE: 1/8" = 1'-0"



**FLOOR PLAN
(WAREHOUSE BUILDING)**

EXHIBIT F

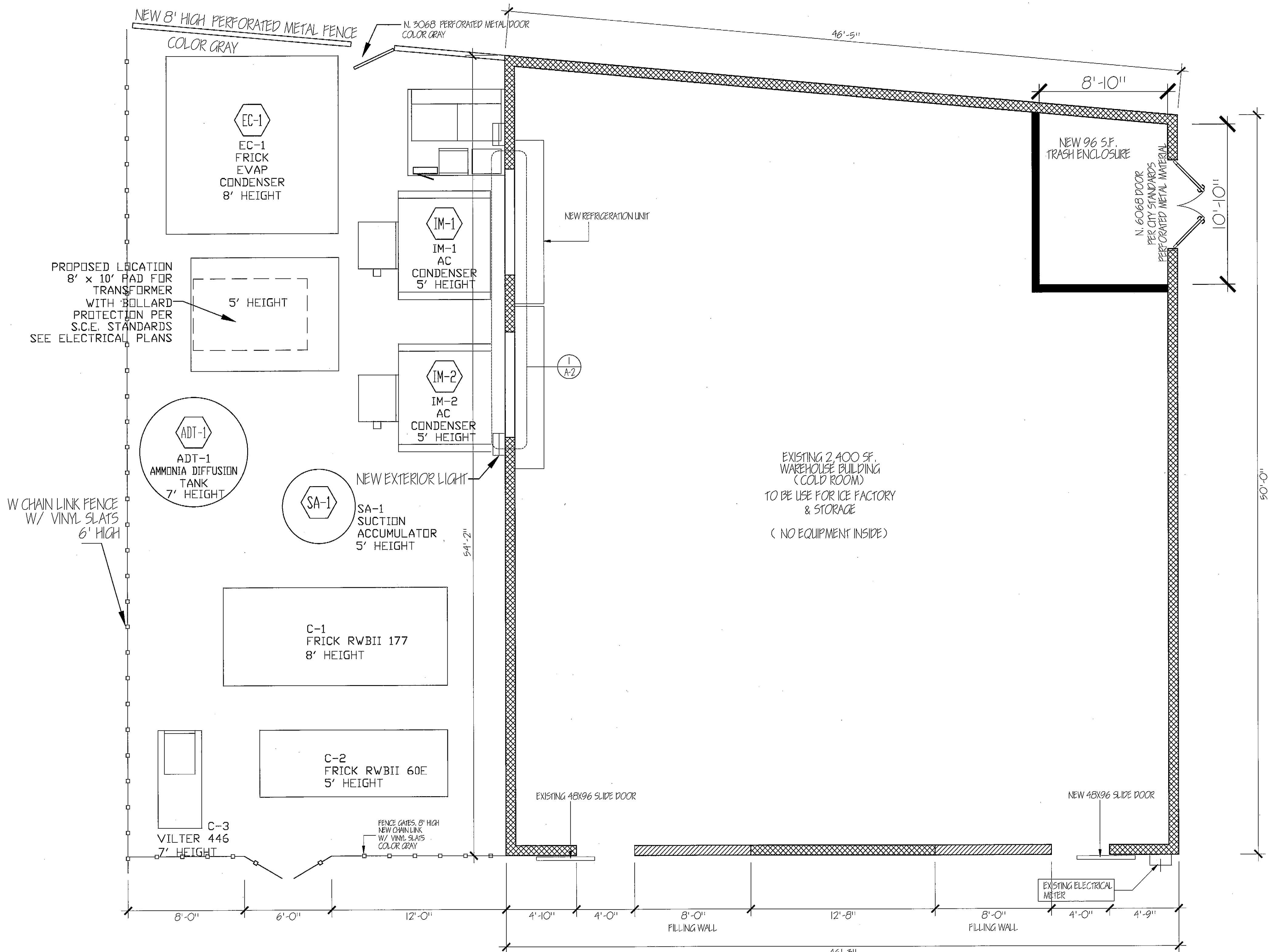
CASE NO. 2017-03 CUP/DP

BATH NOTE

PLUMBING FIXTURES SHALL COMPLY WITH WATER CONSERVATION REQUIREMENTS.
 LAVATORY FAUCET: 0.4 gpm
 WATER CLOSET: 1.28 gpm per flush

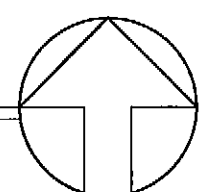
WALL LEGEND

	EXISTING CONCRETE BLOCK WALLS
	NEW CONCRETE BLOCK IN EXISTING OPENINGS

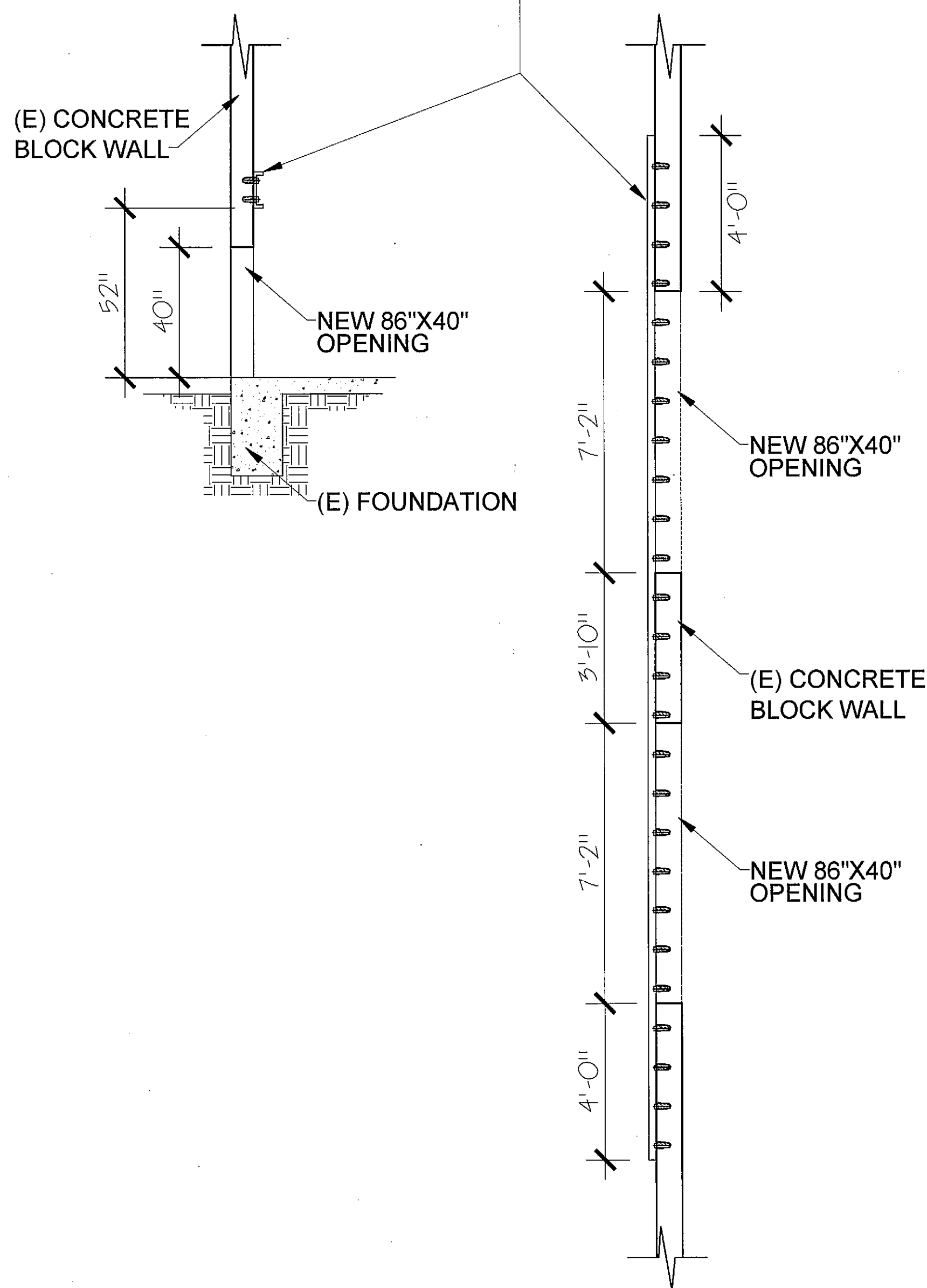


E. STORAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

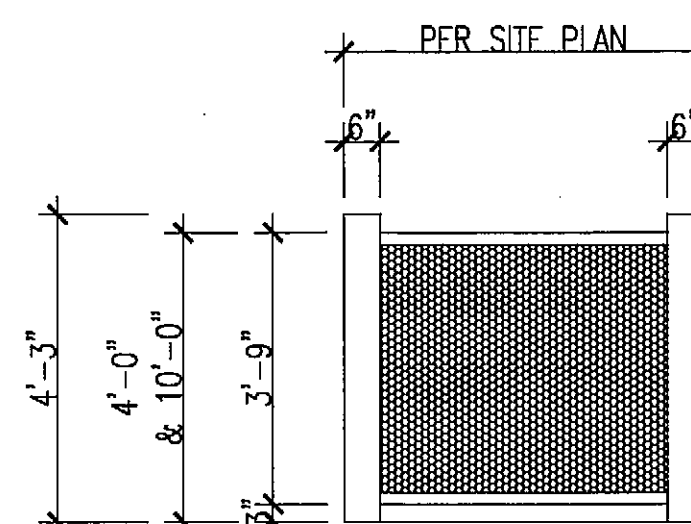


C 8x11.5 CHANNEL
 w/ 1/2"Øx6" T.R. @12" oc Staggered
 w/ SET-XP LARR#25744
 SPECIAL INSPECTION REQ'D



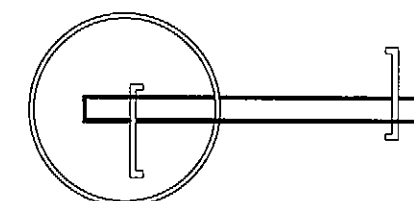
DETAIL 1

SCALE: 3/8" = 1'-0"



PERFORATED METAL DETAIL

SCALE: N.T.S.



T. D.

you dream it we will make it true

5003 Telegraph Rd. Los Angeles CA. 90022

tdesigninfo@gmail.com

Tel (562) 479-5805

Fax (800) 878 8275

CORONA CONSTRUCTIONS

Tel (323) 216-1160

Fax (323) 584-3202

5/31/2017 11:04:53 PM

DATE

1 REVISIONS:

1	
2	
3	
4	
5	
6	

OWNER: FRED BADER
 ADDRESS: 550 S. ORANGE GROVE CR. PASADENA CA. 91105
 PH: (213) 999-0079

ASSESSOR #: 6321 - 004 - 017

EXISTING BLDG. T.I. & CHANGE OF USE

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
 HUNTINGTON PARK, CA 90255

PROPOSED FLOOR PLAN

JOB NO. 16-049

DRAWN BY: I.R.

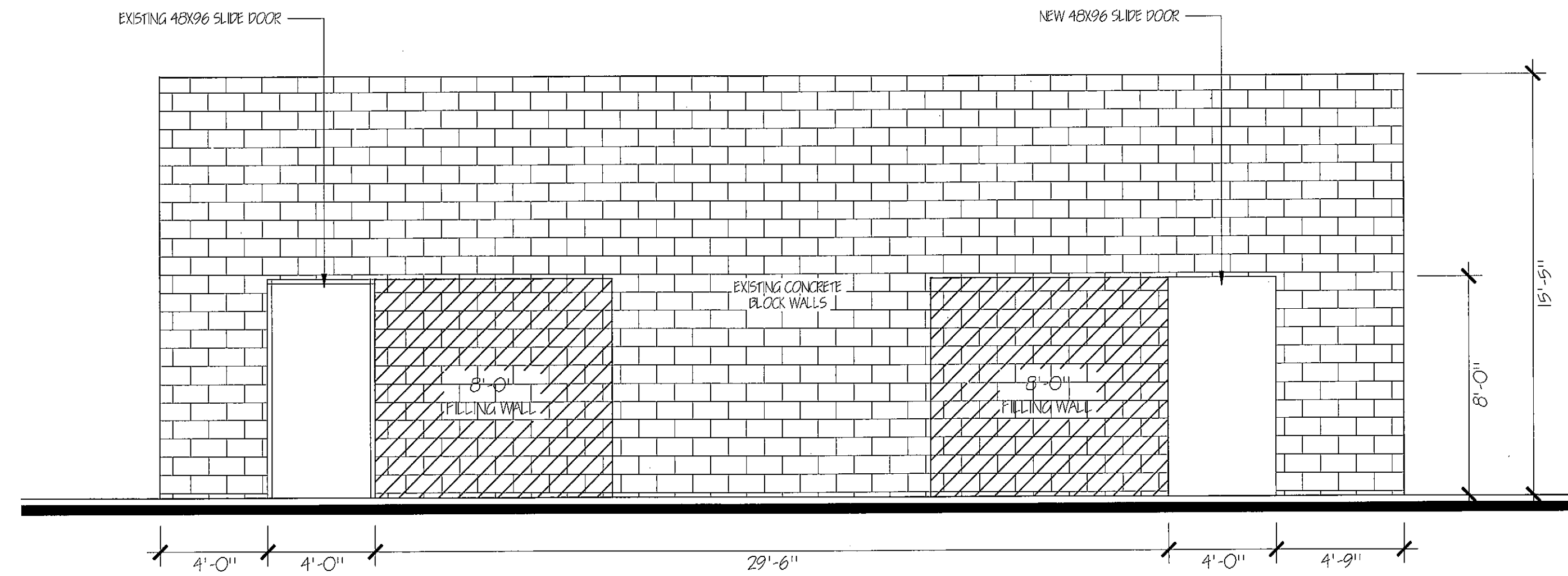
DATE: Oct. 2016

A-2.1a

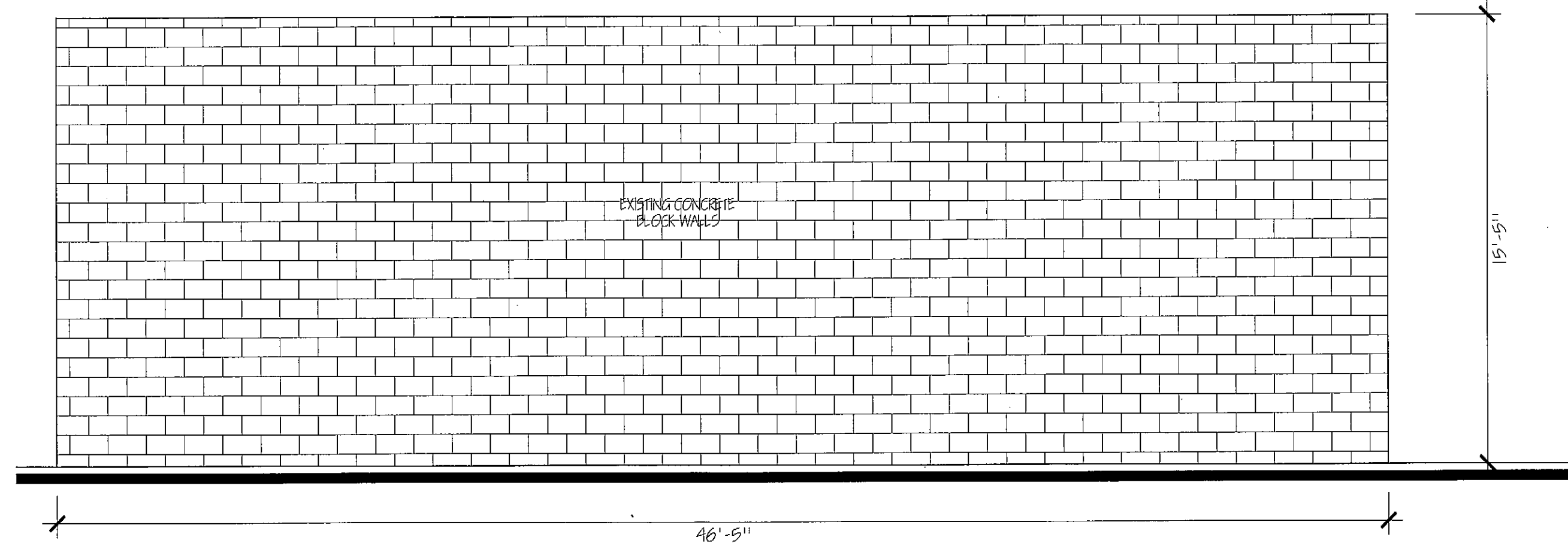
**ELEVATIONS
(WAREHOUSE BUILDING)**

EXHIBIT G

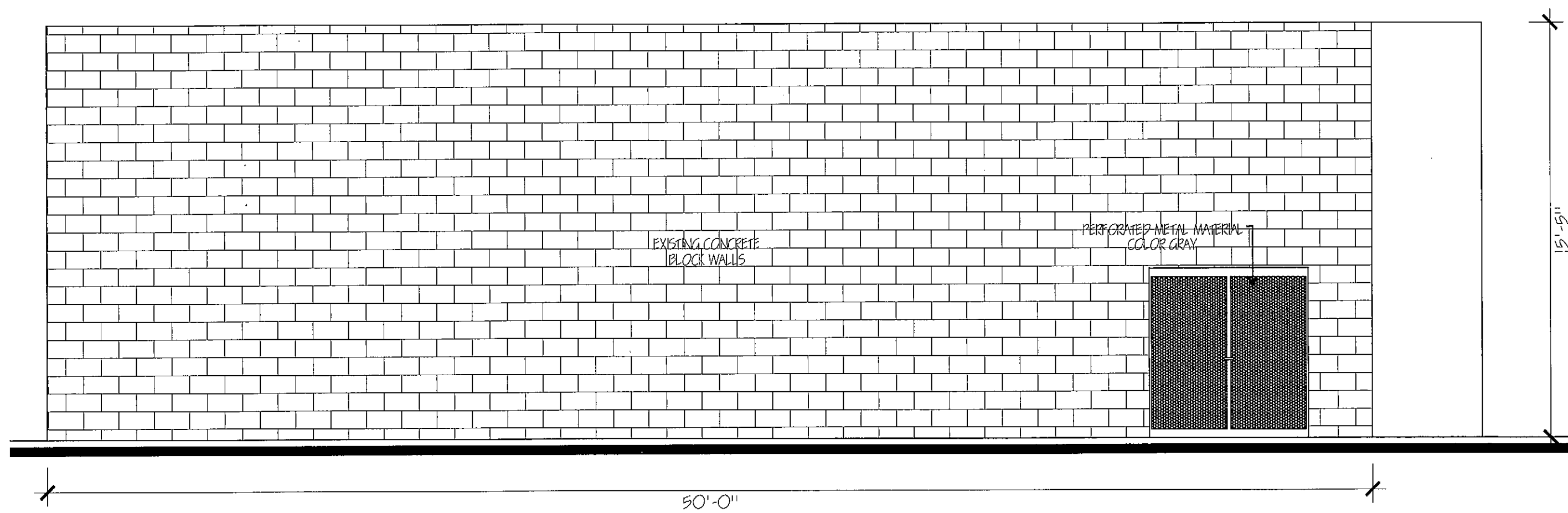
CASE NO. 2017-03 CUP/DP



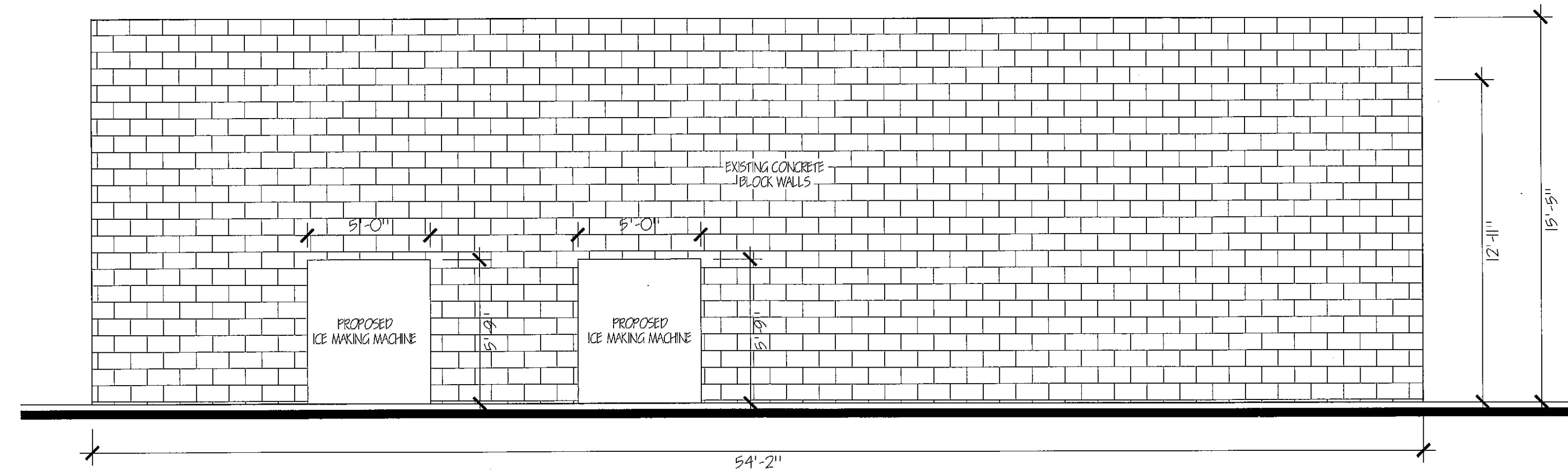
N. SOUTH ELEVATION (MFG/ WAREHOUSE BLDG)
SCALE: 1/4" = 1'-0"



N. NORTH ELEVATION (MFG/ WAREHOUSE BLDG)
SCALE: 1/4" = 1'-0"



N. EAST ELEVATION (MFG/ WAREHOUSE BLDG)
SCALE: 1/4" = 1'-0"

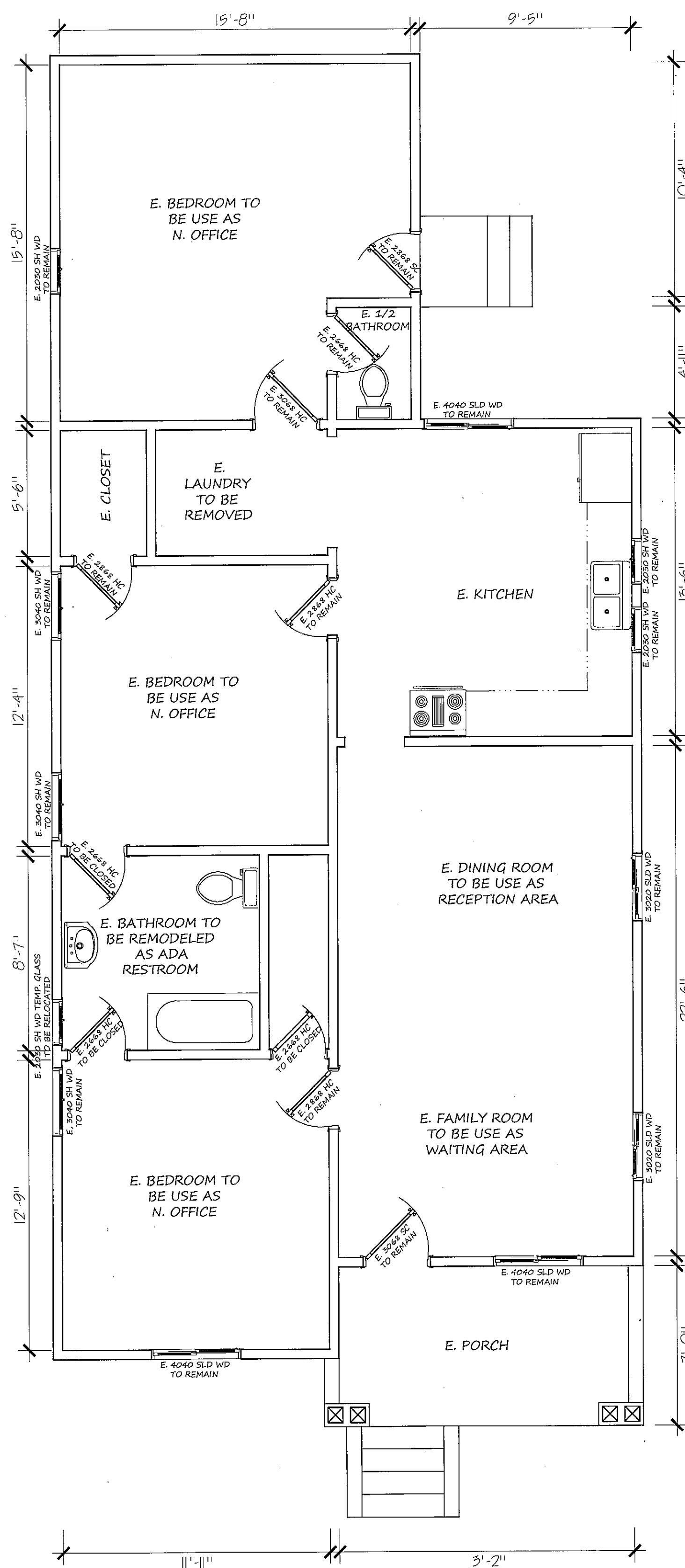


N. WEST ELEVATION (MFG/ WAREHOUSE BLDG)
SCALE: 1/4" = 1'-0"

**FLOOR PLAN
(OFFICE BUILDING)**

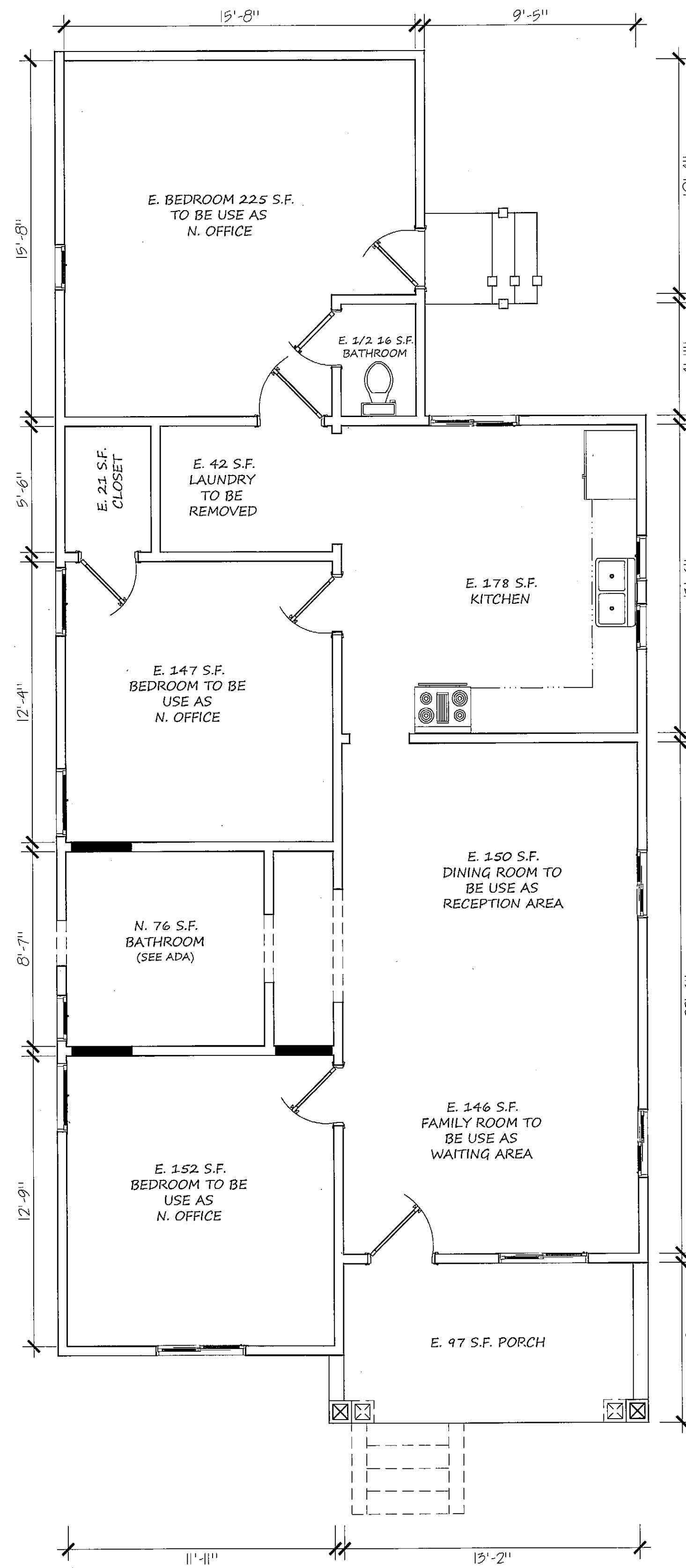
EXHIBIT H

CASE NO. 2017-03 CUP/DP



E. S.F.R. FLOOR PLAN

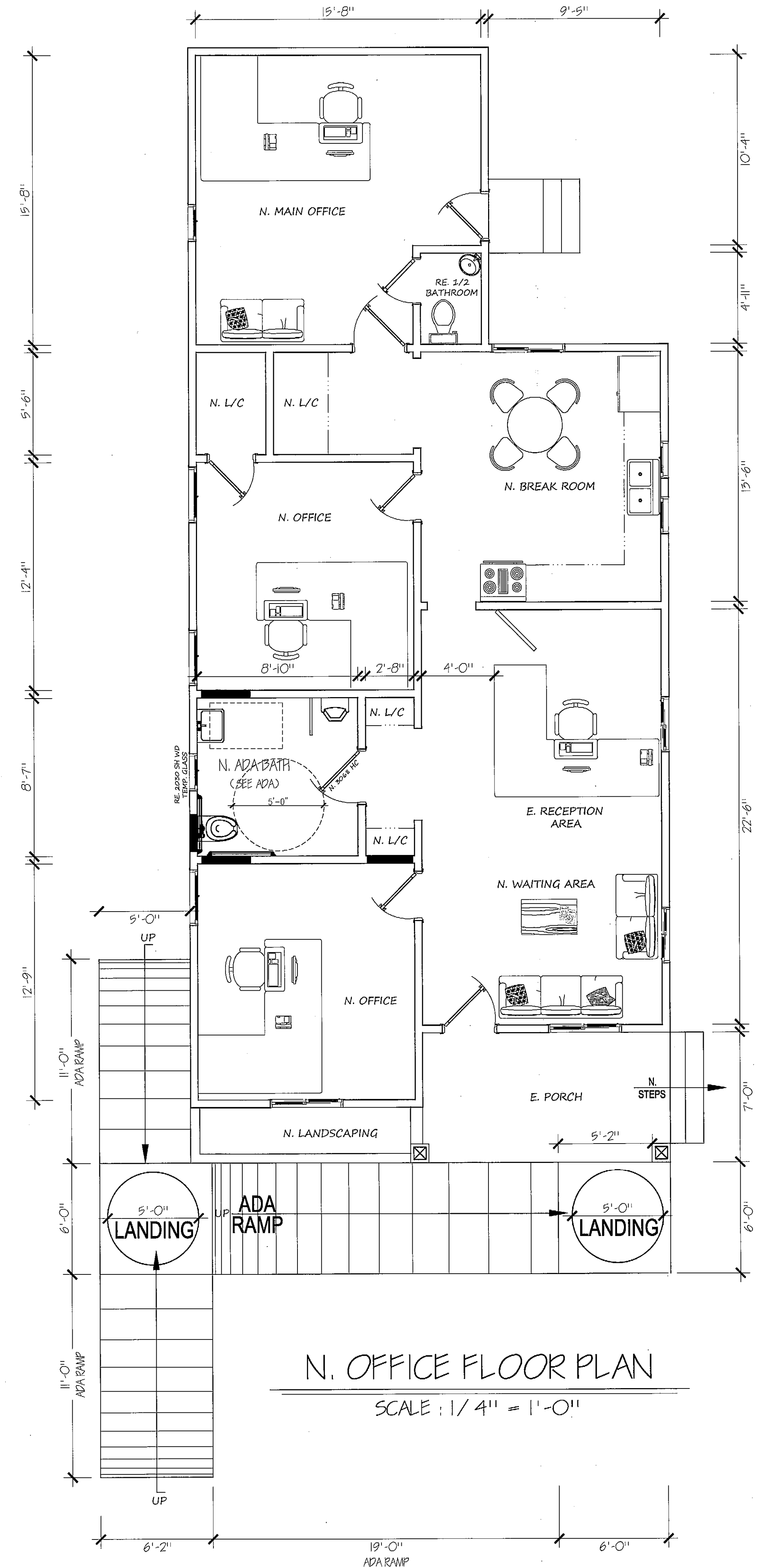
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S.F.R. DEMO PLAN

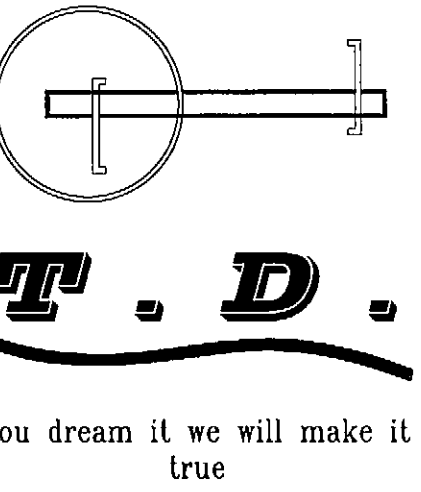
SCALE: 1/4" = 1'-0"

N. = NEW
E. = EXISTING
RE = RELOCATED



N. OFFICE FLOOR PLAN

SCALE: 1/4" = 1'-0"



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tdesigninfo@gmail.com
Tel (562) 479-5805
Fax (800) 878 8275

CORONA
CONSTRUCTIONS
Tel (323) 216-1160
Fax (323) 584-3202

3/28/2017 6:37:13 PM
DATE
1 REVISIONS:
2
3
4
5
6

OWNERS: FRED RADER
ADDRESS: 550 S. ORANGE GROVE CR. PASADENA CA. 91105
PH: (213) 999-0079

ASSESSOR #: 6321 - 004 - 017
EXISTING BLDG. T.I. & CHANGE OF USE

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
HUNTINGTON PARK, CA 90255

EXISTING EMPLOYEE BUILDING FLOOR PLAN

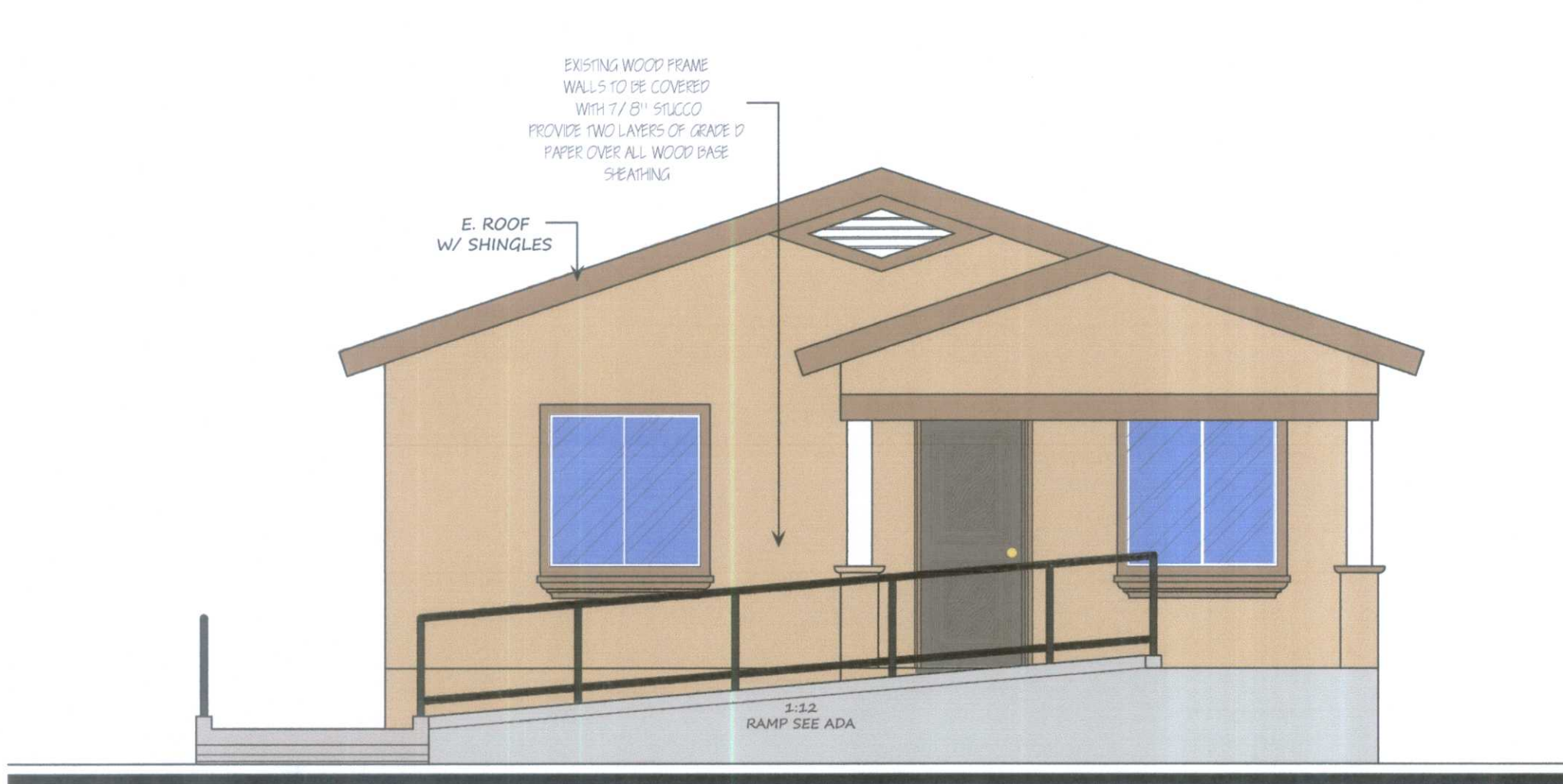
JOB NO. 16-049
DRAWN BY: I.R.
DATE: Oct. 2016

A-2.2a

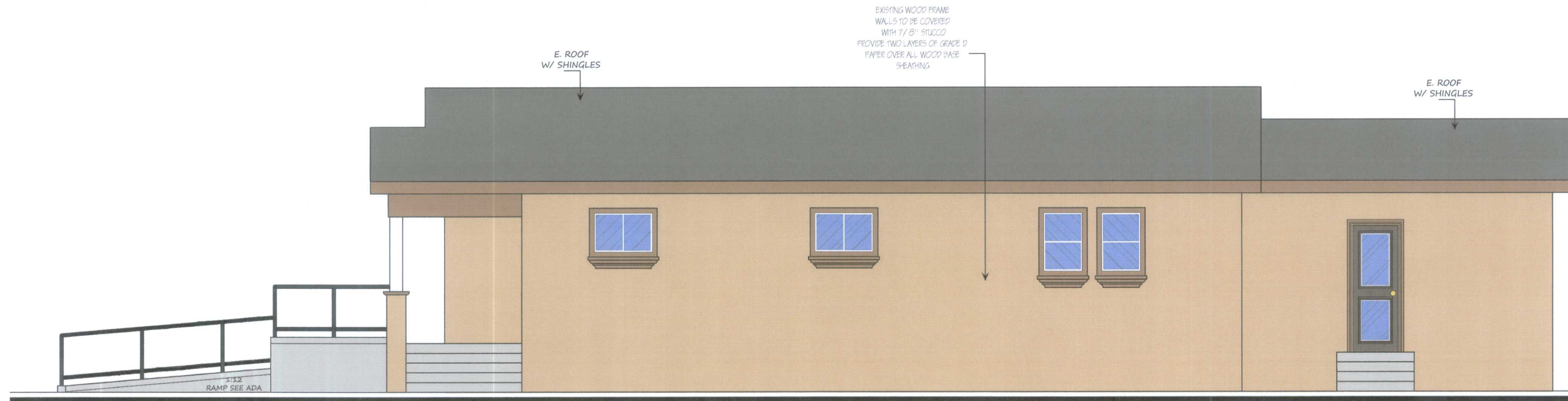
**ELEVATIONS
(OFFICE BUILDING)**

EXHIBIT I

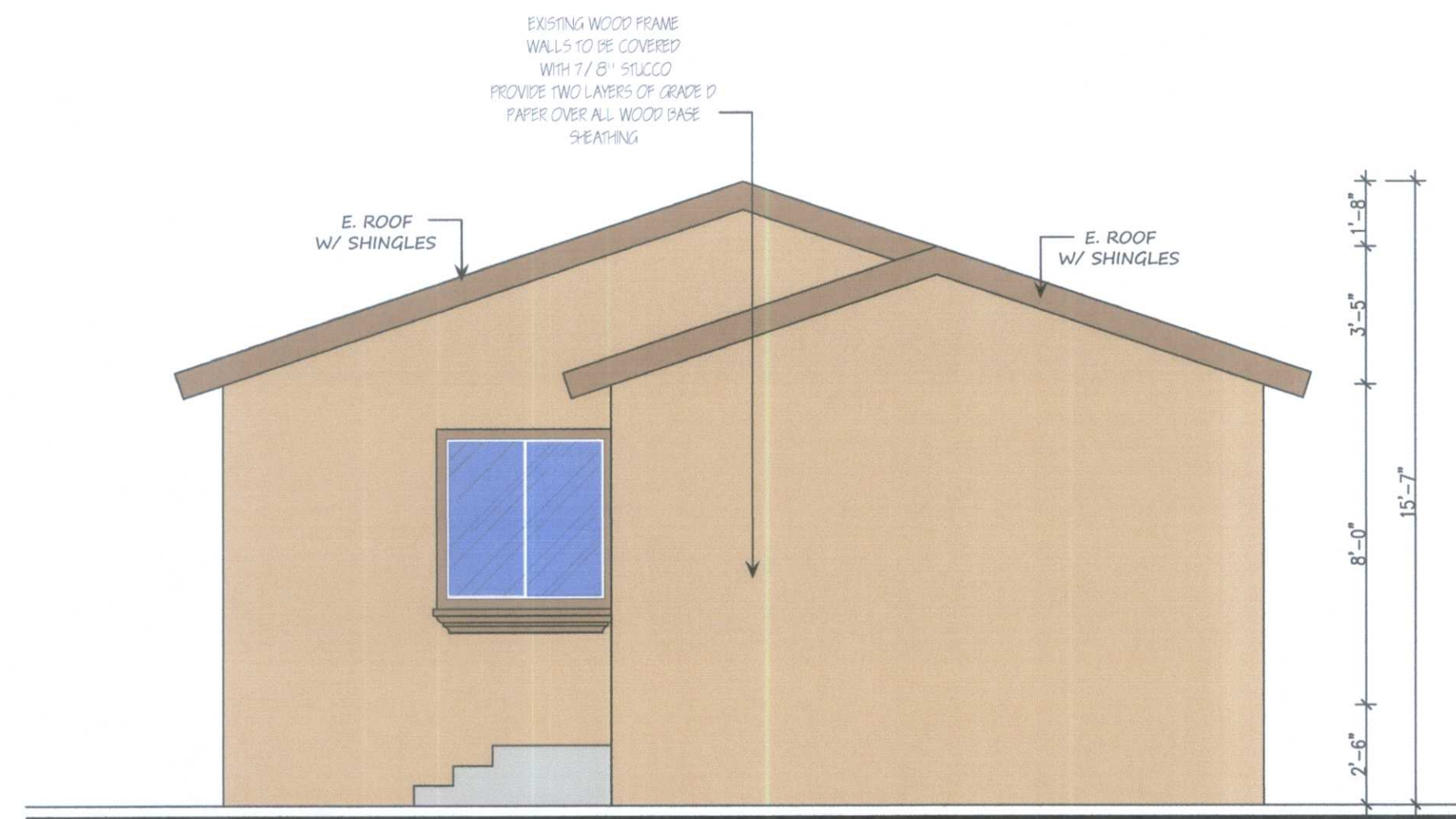
CASE NO. 2017-03 CUP/DP



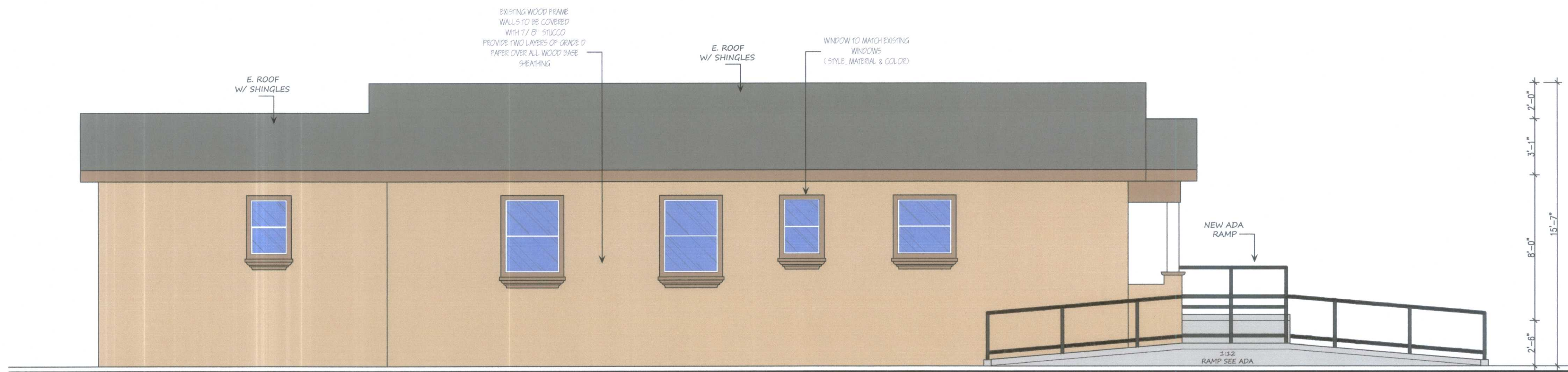
N. SOUTH ELEVATION



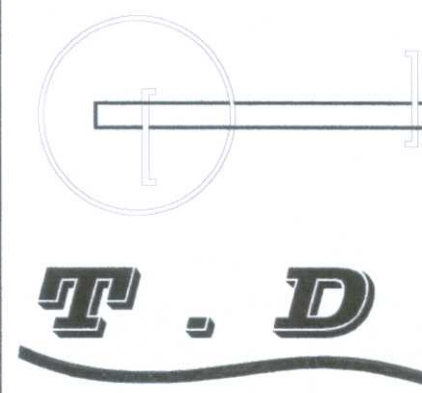
N. EAST ELEVATION



N. NORTH ELEVATION



N. WEST ELEVATION



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5003 Telegraph Rd. Los Angeles CA. 90022

ideainsinfo@gmail.com

Tel (562) 479-5805

Fax (800) 878 8275

CORONA

Tel (323) 216-1160

Fax (323) 584-3202

3/28/2017 6:37:13 PM

DATE
1
2
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5
6

OWNER: FRED RADIER
ADDRESS: 550 S. ORANGE GROVE CR. PASADENA CA. 91105
PH: (213) 999-0079

ASSESSOR #: 6321 - 004 - 017
EXISTING BLDG. T.I. & CHANGE OF USE

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
HUNTINGTON PARK, CA 90255

NEW OFFICE ELEVATIONS

JOB NO. 16-049

DRAWN BY: I.R.

DATE: Oct. 2016

A-2.2c

APPLICATION AND ENVIORNMENTAL ASSESSMENT CHECKLIST

EXHIBIT J

CASE NO. 2017-03 CUP/DP



CITY OF HUNTINGTON PARK
Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@hpcapca.gov

CONDITIONAL USE PERMIT APPLICATION

FOR OFFICE USE ONLY

Date Filed: 7/12/17

File No.: 2017-03

Fee/Receipt No. \$2,225.00

Initials: RP

PROJECT INFORMATION

Project Address: 2309- 2315 RANDOLPH STREET

General Location: NORTH WEST CORNER OF RANDOLPH STREET

Assessor's Parcel Number (APN): AND SANTA FE
6321-004-047

APPLICANT'S INFORMATION

Applicant: LEO CORONA

Mailing Address: [REDACTED] AVE HUNTINGTON PARK 90255

Phone 1: [REDACTED] Phone 2: Email:

PROPERTY OWNER'S INFORMATION

Property Owner: FRED RADER

Mailing Address: [REDACTED] PASADENA CA 91105

Phone 1: (213) [REDACTED] Phone 2: Email:

REQUEST

I/We hereby request a Conditional Use Permit (CUP) for the following purpose:

APPROVAL OF A CONDITIONAL USE PERMIT TO ESTABLISH
AND OPERATE AN ICE MANUFACTURING COMPANY- LOCATED
AT 2309- 2315 RANDOLPH STREET IN THE MPD
(MANUFACTURING PLANNED DEVELOPMENT) ZONE

In order for the Planning Commission to approve a CUP, the Huntington Park Municipal Code requires that all of the following findings be made:

- A. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of the Zoning Code;
- B. The proposed use is consistent with the General Plan;
- C. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
- D. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;
- E. The subject site is physically suitable for the type and density/intensity of use being proposed; and
- F. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

In order for the Planning Commission to determine if these findings are present in your case, the following questions must be answered by the applicant:

1. The site for this proposed use is adequate in size and shape. (Explain)

THE PROPOSED SITE FOR ~~THE~~ ICE MANUFACTURING AND STORAGE IS ADEQUATE FOR IN SIZE AND SHAPE. THE LOT SIZE IS 14,340 SQ FT. THE SHAPE OF THE LOT IS RECTANGULAR AND THE SITE IS CURRENTLY HAS AN APPROXIMATELY 2400 SQ FT STRUCTURE THAT WILL BE USE FOR STORAGE AND 1214 SQ FT EXISTING BUILDING TO BE USED FOR OFFICES.

2. The site has sufficient access to street and highways that are adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed use. (Explain)

THE SITE HAS SUFFICIENT ACCESS TO STREETS THAT ARE ADEQUATE TO CARRY THE TRAFFIC ASSOCIATED TO THE PROPOSED ICE MANUFACTURING AND STORAGE. THE PROPERTY IS LOCATED AT THE NW INTERSECTION OF SANTA FE AND RANDOLPH STREET. ADDITIONALLY TO THE PROPERTY IS BOUNDED TO THE WEST BY 10' FT PUBLIC ALLEY. WAY THERE IS AN ADDITIONAL 15' FT ALLEY TO THE NORTH

CUP APPLICATION - PAGE 2

OF THE PROPERTY. SANTA FE AVENUE IS CONSIDERED A PRIMARY ARTERIAL RUNNING NORTH AND SOUTH THROUGH THE CITY. RANDOLPH IS A TWO WAY LANE.

3. The proposed use will not be materially detrimental, nor have an adverse effect upon adjacent uses, buildings, or structures. (Explain) THE PROPOSED ICE MANUFACTURING AND STORAGE STORE WILL NO BE MATERIALLY DETRIMENTAL NOR HAVE ANY ADVERSE IMPACTS ON SURROUNDING USES OR STRUCTURES
THE SITE OF THE PROPOSED USE WAS FORMELY USED FOR INDUSTRIAL PURPOSES. THE SITE HAS BEN ABANDONED / VACANT FOR MANY YEARS. THE PROPOSED USE WILL IN PROBE THE VISUAL APPARANCE OF THE DILAPIDATED BUILDING. THE PROPERTY OWNER IS ALSO PROPOSING TO MAKE SEVERAL SITE IMPROVEMENTS
4. The proposed Conditional Use Permit will not be in conflict with the General Plan. (Explain)

THE PROPOSED USE IS CONDITIONALLY PERMITTED WITH THE M.P.D ZONE. THE PROPOSED ICE FACTORY MANUFACTURING AND STORAGE PROJECT COMPLIES WITH THE PROVICIONS OF THE GENERAL PLAN AND HPMC.

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.


Applicant Signature (Required)

Date 7/12/2017

LEONARDO CORONA
Print Name

Note: If the applicant is not the property owner, the owner of the property must sign the application or a written authorization must be submitted so that the applicant may file the application.

FRED RAIDER
Property Owner Signature (Required)

Date 7/12/2017

FRED RAIDER
Print Name



CITY OF HUNTINGTON PARK
Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@hpcapca.gov

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY

Date Filed: 7/12/17

File No.: 2017-03

Fee/Receipt No.: \$1,630.00

Initials: ED

PROJECT INFORMATION

Project Address: 2309 - 2315 - RANDOLPH STREET
General Location: NORTHWEST CORNER OF RANDOLPH ST AND STATE AV.
Assessor's Parcel Number (APN): 6321-004-017 6321-004-016

APPLICANT'S INFORMATION

Applicant: CORONA CONSTRUCTION
Mailing Address: [REDACTED] AVE HUNTINGTON PARK CA 90255
Phone 1: [REDACTED] Phone 2: [REDACTED] Email: [REDACTED]

PROPERTY OWNER'S INFORMATION

Property Owner: FRED RADER
Mailing Address: [REDACTED] PASADENA CA 91105
Phone 1: [REDACTED] Phone 2: [REDACTED] Email: [REDACTED]

PROJECT DESCRIPTION (Check as Appropriate):

☒ Interior Improvement(s) Only ☐ Addition to Existing Structure ☐ New Structure

Other Improvements (Describe): (E) 2400 BUILDING TO BE USE FOR ICE FACTORY
Describe in detail the proposed development: STORAGE MANUFACTURING. A 1214 SQFT. TO BE
USE AS OFFICES.
APPROVAL OF CUP AND DP TO ESTABLISH TO AND OPERATE 2400 SQ FT
BUILDING TO BE USED FOR ICE STORAGE AND MANUFACTURING
LOCATED AT 2309-2315 (MANUFACTURING PLANNED DEVELOPMENT) ZONE

TYPE OF USE (Check as Appropriate):

☐ Residential ☐ Retail/Office ☒ Commercial ☐ Restaurant ☒ Industrial/ Manufacturing

Other (Describe): [REDACTED]

Square Footage of New Development/Addition: [REDACTED]

Total Square Footage: LOT 14,340 SQFT OF (E) STORAGE 2400 SQFT (E) SINGLE

Lot Coverage: 25% Off-Street Parking Spaces Provided: 7 No. of Floors: 1

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by the property owner to conduct the proposed development applied for herein.

[REDACTED]
Signature of Applicant

7/12/2017
Date



CITY OF HUNTINGTON PARK
Community Development Dept. • Planning Division
6550 Miles Avenue, Huntington Park, CA 90255
Tel. (323) 584-6210 • planning@hpcap.gov

ENVIRONMENTAL INFORMATION FORM

FOR OFFICE USE ONLY

Date Filed: 7/12/17 File No.: 2017-03 CUP/DP Fee/Receipt No.: _____ Initials: RF

1. **Applicant:** Owner ☐ Leasee ☐ Purchaser ☐ Representative ☒
Name: LEONARDO CORONA
Address: [REDACTED] AVE HUNTINGTON PARK CA 90255
Telephone: [REDACTED] Email: CORONA CONSTRUCTION 2@GMAIL.COM
2. **Contact Person concerning this project:**
Name: CORONA CONSTRUCTION
Address: [REDACTED] HUNTINGTON PARK CA
Telephone: [REDACTED] Email: _____
3. **Address of project:** 2309-2315 RANDOLPH ST H.P. CA 90255
4. **Assessor's Parcel Number (APN):** 6321-004-0416- 6321-004-017
5. **Indicate type of permit application(s) (i.e. Conditional Use Permit, Development Permit, Variance, etc.) for the project to which this form pertains:**
CONDITIONAL USE PERMIT
DEVELOPMENT PERMIT
6. **List any other permits and/or other public agency approvals required for this project, including those required by City, County, State and/or Federal agencies:**
BUILDING AND SAFETY, HEALTH DEPARTMENT
7. **Existing Zone:** MANUFACTURING PLANNED DEVELOPMENT
8. **Proposed use of site:** ICE MANUFACTURING AND ICE STORAGE OF ICE
9. **Site size (lot dimensions and square footage):** 14,340
10. **Project size:**
Square feet to be added/constructed to structure(s): PROPOSE TENANT SPACE 3614 SQ FT
Total square footage of structure(s): EXISTING CONSTRUCTION NO NEW SQUARE FOOTAGE
3614 SQUARE FEET

11. Number of floors of construction:

Existing: 1

Proposed: 1

12. Parking:

Amount required: 7

Amount provided: 7

13. Anticipated time scheduling of project: 7 SPACES

14. Proposed phasing of development: ONE PHASE

15. If residential, include number of units, schedule of unit sizes, range of sale/rent prices, and type of household size expected:

N/A

16. If commercial, indicate the type of commercial use, estimated employment per shift, proposed hours of operations, indicate whether neighborhood, City or Regionally oriented, square footage of sales area, and loading locations:

N/A

17. If industrial, indicate type of industrial or manufacturing use, estimated employment per shift, proposed hours of operations, and loading locations:

OPERATIONS 7AM TO 5PM 7 DAYS - ICE

STORAGE

18. If institutional, indicate type of institutional use, estimated employment per shift, proposed hours of operations, estimated occupancy, loading locations, and community benefits to be derived from the project:

N/A

Please complete numbers 19 through 33 by marking "A" through "D" and briefly discuss any items marked "A" "B" or "C" (attach additional sheets as necessary). Items marked "D" do not need discussion.

A) Potentially
Significant
Impact

B) Potentially
Significant Impact
Unless Mitigation
Incorporated

C) Less than
Significant
Impact

D) No Impact

AESTHETICS

19. Would the proposed project:

- a. Affect a scenic vista?
- b. Have a demonstrable negative aesthetic effect?
- c. Create light or glare?

D
D
D

AIR QUALITY

20. Would the proposed project:

- a. Affect air quality or contribute to an existing or projected air quality violation?
- b. Create or cause smoke, ash, or fumes in the vicinity?
- c. Create objectionable odors?

D
D
D

BIOLOGICAL RESOURCES

21. Would the proposed project:

- a. Require removal of any existing trees or landscaping?

D

CULTURAL RESOURCES

22. Would the proposed project:

- a. Affect historical resources?
- b. Have the potential to cause a significant physical change which would affect unique ethnic cultural values?

D
D

GEOLOGY AND SOILS

23. Would the proposed project:

- a. Result in erosion, changes in topography or unstable soil conditions from excavation, grading or fill?
- b. Be located on expansive soils?
- c. Result in unique geologic or physical features?

D
D
D

HAZARDS

24. Would the proposed project:

- a. Create a risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)? D
- b. The use or disposal of potentially hazardous materials (i.e. toxic or flammable substances)? D
- c. The creation of any health hazard or potential health hazard? D
- d. Exposure of people to existing sources of potential health hazards? D

HYDROLOGY AND WATER QUALITY

25. Would the proposed project:

- a. Change water drainage patterns? D
- b. Change the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capabilities? D
- c. Impact groundwater quality? D
- d. Substantially reduce the amount of groundwater otherwise available for public water supplies? D

LAND USE AND PLANNING

26. Would the proposed project:

- a. Conflict with the Zoning or General Plan designation? D
- b. Be incompatible with existing land use in the vicinity? D
- c. Disrupt or divide the physical arrangement of an established community? D

MINERAL AND ENERGY RESOURCES

27. Would the proposed project:

- a. Conflict with the conservation of water? D
- b. Use non-renewable resources in a wasteful and/or inefficient manner? D
- c. Substantially increase energy consumption (i.e. electricity, oil, natural gas, etc.)? D

NOISE

28. Would the proposed project result in:

- a. Increase to existing noise levels? D
- b. Exposure of people to severe noise levels? D

POPULATION AND HOUSING

29. Would the proposed project:

- a. Induce substantial growth in an area either directly or indirectly (i.e. through population growth or infrastructure use)?
- b. Displace existing housing, especially affordable housing?

D
D

PUBLIC SERVICES

30. Would the proposal result in a need for new or altered government services for any of the following public services:

- a. Fire protection?
- b. Police protection?
- c. Schools?
- d. Maintenance of public facilities, including roads?
- e. Other governmental services?

D
D
D
D
D

RECREATION

31. Would the proposed project:

- a. Increase the demand for neighborhood or regional parks or other recreational facilities?
- b. Affect existing recreational opportunities?

D
D

TRANSPORTATION AND TRAFFIC

32. Would the proposed project result in:

- a. Increase vehicle trips or traffic congestion?
- b. Increase hazards to safety from design features (i.e. sharp curves or dangerous intersections)?
- c. Inadequate access to nearby uses?
- d. Insufficient on-site parking capacity?
- e. Hazards or barriers for pedestrians or bicyclists?

D
D
D
D
D

UTILITIES AND SERVICE SYSTEMS

33. Would the proposed project result in a need for new systems or supplies, or alterations to the following utilities:

- a. Power or natural gas?
- b. Communications systems?
- c. Local or regional water treatment or distribution facilities?
- d. Sewer or septic tanks?
- e. Storm water drainage?

D
D
D
D
D

UTILITIES AND SERVICE SYSTEMS (CONTINUED)

f. Solid waste disposal?

D

g. Local or regional water supplies?

D

34. Describe the project site as it exists before the project, including any existing structures on the site, and the use of the structures (i.e. residential, commercial, industrial, etc.) Attach photographs of the site and of the surrounding land uses.

THE LOT SIZE OF THE PROPOSED SITE IS 14,340 SQFT THE SHAPE OF LOT IS RECTANGULAR THE SITE HAS AN APPROXIMATELY 5200 SQFT THE SITE HAS 2 EXISTING BUILDINGS THE STORAGE BUILDING HAVE 2400 SQFT WILL BE USE TO STORAGE ICE AND THE EXISTING HOUSE WILL BE CONVERTED IN TO OFFICES 1214 SQFT

35. Describe the intensity of land use (i.e. single-family, apartment dwellings, shopping center, etc.), and specifications of development (i.e. height, primary frontage, secondary frontage, setbacks, rear yard, etc.).

THE PROPOSED LAND USE MEETS THE MPD AND THE PROPOSAL IS FOR THE ICE MANUFACTURING AND ICE STORAGE

CERTIFICATION: I hereby certify that the statements furnished above and in the attached plans present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.


Applicant (Signature)

7/12/2017
Date