

# CALL AND NOTICE OF SPECIAL MEETING

---

## CITY OF HUNTINGTON PARK Planning Commission

**CALLED BY CHAIR JONATHAN SANABRIA**

**NOTICE IS HEREBY GIVEN** That a Special Meeting of the City of Huntington Park Planning Commission will be held on Wednesday, July 22, 2020, at 6:30 p.m. at City Hall Council Chambers, 6550 Miles Avenue, Huntington Park, CA 90255

### **SPECIAL NOTICE REGARDING COVID-19**

On March 4, 2020, Governor Newsom proclaimed a State of Emergency in California as a result of COVID-19 and subsequently on March 12, 2020, issued Executive Order N-25-20, which allows Planning Commission Members to attend Planning Commission meetings telephonically. Please be advised that some, or all, of the City of Huntington Park Planning Commission Members and staff may attend this meeting telephonically.

Given the health risks associated with COVID-19, the City is encouraging members of the public to submit their comments and questions in writing, for Planning Commission considerations, by sending them to the Secretary of the Planning Commission at [planning@hpca.gov](mailto:planning@hpca.gov). All comments and questions will be read during the meeting.

If you wish to attend the Planning Commission meeting in person, the City's Conference Room on the 2<sup>nd</sup> floor of City Hall will be open and available for the public to observe and offer public comment telephonically. We ask that members of the public in attendance use social distancing practices. Please contact the Secretary of the Planning Commission at (562) 584-6210, for any questions.

## AGENDA

---

Any person who requires a disability-related modification or accommodation, including auxiliary aids or services, in order to participate in the public meeting may request such modification, accommodation, aid or service by contacting the City Clerk's Office either in person at 6550 Miles Avenue, Huntington Park, California or by telephone at (323) 584-6230. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

**NOTE:** Any person who has a question concerning any agenda item may contact the Community Development Department at (323) 584-6210. Materials related to an item on this agenda are available for inspection in the office of the Community Development Department at 6550 Miles Avenue, Huntington Park, California during the hours of 7:00 a.m. to 5:30 p.m., Monday through Thursday.

Assembly Bill No. 2674 amended several provisions of the Ralph M. Brown Act (Section 54950 et seq. of the Government Code) effective January 1, 1987. This bill prohibits the legislative body from taking any action on any item, which did not appear on the agenda, which was posted 24 hours prior to the Planning Commission meeting. If action is necessary on subject matter, which the public presents, the matter should be presented in writing to the Planning Division for placement on the agenda by Thursday noon prior to the next Planning Commission meeting.

### **CALL TO ORDER**

### **ROLL CALL**

Chair Jonathan Sanabria  
Vice Chair VACANT  
Commissioner Angelica Montes  
Commissioner Eduardo Carvajal  
Commissioner VACANT

### **PLEDGE OF ALLEGIANCE**

### **PUBLIC COMMENT**

*For both open and closed session each speaker will be limited to three minutes per Huntington Park Municipal Code Section 2-1.207. Time limits may not be shared with other speakers and may not accumulate from one period of public comment to another or from one meeting to another. **This is the only opportunity for public input except for scheduled public hearing items.***

**CONSENT ITEMS**

**REGULAR AGENDA**

**PUBLIC HEARING**

1. **CASE NO. 2020-03 DP – DEVELOPMENT PERMIT**– A REQUEST FOR A DEVELOPMENT PERMIT TO CHANGE THE USE OF AN EXISTING COMMERCIAL TENANT SPACE FROM GENERAL RETAIL TO A MEDICAL USE (DIALYSIS CENTER) AND ALL ASSOCIATED TENANT IMPROVEMENTS FOR THE MEDICAL USE ON PROPERTY LOCATED AT 5949 STATE STREET, WITHIN THE COMMERCIAL GENERAL (CG) ZONE.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing;
2. Take public testimony; and
3. Approval of PC Resolution No. 2020-03, approving a Development Permit in connection with property located at 5949 State Street, within the Commercial General zone.

**STAFF COMMENTS**

**PLANNING COMMISSION COMMENTS**

**ADJOURNMENT**

The City of Huntington Park Planning Commission will adjourn to a regular meeting on Wednesday, August 19, 2020 at 6:30 p.m.

I, Carlos Luis, hereby certify under penalty of perjury under the laws of the State of California that the foregoing notice and agenda was posted at City of Huntington Park's City Hall and made available at [www.hpca.gov](http://www.hpca.gov) on the 20<sup>th</sup> of July 2020.

  
\_\_\_\_\_  
Carlos Luis



# CITY OF HUNTINGTON PARK

---

## SPECIAL PLANNING COMMISSION AGENDA REPORT

**DATE:** JULY 22, 2020

**TO:** CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

**ATTENTION:** CARLOS LUIS, SENIOR PLANNER

**FROM:** GABRIEL DIAZ, ASSOCIATE PLANNER

**SUBJECT:** **PLANNING COMMISSION CASE NO. 2020-03 DP  
(DEVELOPMENT PERMIT)**

---

**REQUEST:** For a Development Permit to change the use of an existing commercial tenant space from general retail to a medical use (dialysis center) and all associated tenant improvements for the medical use on property located at 5949 State Street, within the Commercial General (CG) Zone.

**APPLICANT:** Centro De Cuidado Renal, LLC  
25276 Via Entrada  
Laguna Niguel, CA 96277

**PROPERTY OWNER:** Chun Jong and Kyong Ja Park  
4311 Wilshire Blvd #508  
Los Angeles, CA 90010

**PROJECT LOCATION:** 5949 State Street

**ASSESSOR'S  
PARCEL NUMBER:** 6310-018-015

**PRESENT USE:** Vacant commercial tenant space

**TEANANT SPACE:** 5,099 sq. ft.

**TOTAL BUILDING SIZE:** 17,531 sq. ft. (Comprised of Building # 1: 10,180 sq. ft. and Building # 2: 7,351 sq. ft.)

**SITE SIZE:** 53,244 sq. ft.

**GENERAL PLAN:** General Commercial

**SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 2 of 16

**ZONE:** Commercial General (CG)

**SURROUNDING  
LAND USES:**

North: Commercial  
East: Industrial (City of Vernon)  
South: Commercial/Residential  
West: Commercial

**MUNICIPAL CODE  
REQUIREMENTS FOR A  
DEVELOPMENT PERMIT:**

Pursuant to the City of Huntington Park Municipal Code (HPMC) Section 9-2.1003 approval of a Development Permit shall be required for the expansion or conversion of an existing structure or use, affecting or involving a minimum of twenty-five (25) percent of the total gross floor area of the structure.

**REQUIRED FINDINGS  
FOR A DEVELOPMENT  
PERMIT:**

Pursuant to HPMC Section 9-2.1007, a Development Permit may be approved only if all of the following findings are made:

1. The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards;
2. The proposed development is consistent with the General Plan;
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property;
4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;

**SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 3 of 16

5. The subject site is physically suitable for the type and density/intensity of use being proposed;
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare; and
7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.

**ENVIRONMENTAL  
REVIEW:**

Categorically Exempt pursuant to Article 19, Section 15301, Existing Facilities, Class 1 (a) of the California Environmental Quality Act (CEQA) Guidelines.

**BACKGROUND:**

- ***Project Proposal***

The applicant is proposing interior tenant improvements for a change in use from commercial retail to a medical use (dialysis clinic) to the existing 5,099 square foot tenant space. The proposed dialysis clinic will be operated by Centro De Cuidado Renal, LLC. According to City business license records, the existing tenant space was previously occupied by an educational tutoring office from November 2007 until September 2018. The tenant space is currently vacant.

Other improvements include restriping of the parking area to provide the required off-street parking, accessibility, and two new loading spaces to meet off-street loading requirements. The project also proposes a new, larger trash enclosure area and concrete pad to meet the required development standards. Exterior building improvements include minor façade modifications, a new accessible front door entry and handrails, and a new decorative bike rack.

- ***Site Description***

The subject site is located within the Belstate Plaza Shopping Center, which is located at the northwest corner of State Street and Belgrave Avenue. The subject site is

## **SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 4 of 16

surrounded by commercial buildings to the north; industrial warehouses in the City of Vernon to the east; a commercial auto use and residences to the south; and a commercial auto repair building to the west.

The subject site is comprised of two commercial buildings totaling 17,531 square feet. Building # 1 is 10,180 sq. ft. and Building # 2 is 7,351 sq. ft. The 5,099 sq. ft. subject tenant space is located in Building #1, which contains two other tenant spaces that are occupied by an insurance office and a retail store. Building #2 is occupied by a convenience store, restaurants, and retail tenants.

- ***Business Operation***

According to the Business Operation plan date stamped June 22, 2020, Centro de Cuidado Renal, LLC will serve a community medical need for dialysis treatment. The facility is proposed to have nineteen treatment stations and associated office spaces.

The applicant anticipates reaching an operating capacity of 75 percent by Year 2 of operation and full capacity by Year 3. At full capacity, the applicant expects a total staff of 21 employees. The business will operate Monday through Saturday, from 5:00am to 5:30pm.

The majority of patients will be transported to the proposed business by non-emergency medical transportation selected by the patient and their caregivers. Treatments are proposed to be split between three shifts: 5:00am to 8:00am, 8:00 am to 12:00pm, and 12:00pm to 4:00pm. The last patient is expected to leave the facility by 5:00pm. The applicant estimates an average of 57 patients per day and 114 patients per week.

## **ANALYSIS:**

- ***Project Description***

The project proposes tenant improvements for a change in use of an existing 5,099 square foot tenant space in the one-

**SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 5 of 16

story building. The building is proposed to be used for a medical use.

The proposed interior tenant improvements will create a new floor plan to accommodate the new use. Building square footage, lot coverage, building height and floor area ratio will all remain unchanged and in compliance with current development standards of the Huntington Park Municipal Code (HPMC). Exterior improvements include a new decorative bike rack and accessibility improvements at the rear and front entry. In addition, existing entry doors and landings will be replaced with news doors and landings and a new handrail at the storefront. The parking area will be restriped to accommodate off-street parking, accessibility improvements, and two new designated loading spaces. Existing site landscaping will remain the same and shall continue to be maintained as required.

A new trash enclosure storage area, concrete pad and apron are being rebuilt and increased in size to meet the required minimum standards for trash and recyclable storage area. A covered trellis is also proposed in order to conceal refuse and make it accessible during pick-up times. The proposed trash enclosure will be conditioned to match the existing building design.

The allowable floor area ratio (FAR) within the CG zone is 2:1, which allows 2 square feet of gross floor area per 1 square foot of lot area, therefore the existing one-story building will remain in compliance with FAR requirements of the Code.

<b>FLOOR AREA RATIO 2:1</b>		
<b>Lot Size</b>	<b>Allowable Floor Area Ratio</b>	<b>Proposed Floor Area Ratio</b>
53,244 sq. ft.	2 sq. ft. of G.F.A : 1 sq. ft. of Lot Area = 106.488 sq. ft.	17,531 sq. ft./ 106,488 sq. ft. = <b>.16 ≤ 2 = OK</b>

- ***Façade and Architectural Improvements***

The exterior design of the proposed building will remain contemporary in style with no major changes proposed. All exterior tenant improvements to walls, windows, and doors will match the existing building in materials and color. A condition of approval has also been included requiring the

## **SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 6 of 16

property be maintained clean, neat, and orderly. A condition has also been included requiring the removal of any graffiti from the site within 72 hours of City notification.

Future signage will be permitted under a separate permit and will be consistent with the existing sign program for the Belstate Plaza Shopping Center. A condition of approval has been included requiring separate review and approvals as well as compliance with the HPMC and shopping center sign program.

- ***Landscaping***

Existing landscaping along the front setback areas of the property comply with the development standards and will remain as-is. The landscaping consists of shrubs, trees, and ground cover along the perimeter of the property particularly along the Belgrave Avenue and State Street frontages. A condition of approval has been included requiring this landscaped area continues to be maintained and clean and free of trash and debris.

- ***Floor Plan***

The proposed medical use will be located in the east side of the building. The floor plan will be divided into a treatment area with 19 stations for dialysis treatment, associated offices, exam rooms, patient waiting area, restrooms, and other ancillary uses. A corridor will provide access between the waiting areas and the treatment area. The main entry will be located at the north end of the building. An existing secondary entrance door located near the northwest corner of the building will be used for equipment delivery.

The proposed project will be subject to Building and Safety review to ensure compliance with all State and local codes. In addition, all other outside agency review and approval will be required prior to issuance of a building permit. A condition of approval has been included requiring submittal, review, and approval from the City of Huntington Park's Building and Safety Division and outside agencies.

- ***Access/ Circulation***

The subject site is accessible from four existing driveway aisles that are located in each corner of the property. Two

## SPECIAL PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 7 of 16

driveways are located along the north end of the property, one is located along the east side of the property, and one along the west side of the property. All driveways are accessed via State Street or via the neighboring properties. The subject property does not have access from Belgrave Avenue. Decorative stamped concrete exists at the entrances of the two eastern driveways and complement the architectural design of the building. Access and circulation will be improved at the site due to a combination of two new loading spaces being created, various accessibility improvements for ADA, new bike racks, and new motorcycle parking. Building and Safety has required that path of travel from the public right-of-way is maintained in compliance with ADA requirements. A condition of approval has been added to ensure compliance.

- ***Off-Street Parking***

Pursuant to HPMC Section 9-3.804, the parking requirement for “Medical Offices/Clinics” use is one space for each 300 square feet of gross floor area.

The project proposes a change of use to the existing 5,099 square foot tenant space. In accordance with the City’s parking standards, it was determined that a total of 17 off-street parking spaces are required for this use. A total of 17 off-street parking spaces are proposed as part of the parking lot restriping and will be located within the existing shopping center parking lot.

Based on the existing mix of restaurants, retail, office, and the proposed medical use, a total of 59 parking spaces are required for the comprehensive site. A total of 65 parking spaces, excluding loading and motorcycles spaces, are proposed. As a result, there will continue to be a surplus of 6 parking spaces at the site while maintaining compliance with all other additional off-street parking and loading requirements.

The proposed parking layout will also incorporate two new loading spaces and dedicated motorcycle parking within the parking area. The loading spaces are proposed to measure 10 feet in width and 25 feet in length. Pursuant to HPMC Section 9-3.804, two loading spaces are required for a site with total building square footage measuring between 10,001

**SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 8 of 16

– 25,000 square feet. The loading spaces are proposed to be located at the end of the parking aisle near the trash enclosure. Adequate back-up space and circulation will be complied with. In addition, the loading space configuration will increase driver sight visibility. Deliveries are proposed to be conducted at the western end of the subject tenant space, adjacent to the loading spaces.

Pursuant to HPMC Section 9-3.807, developments with 30 or more parking spaces shall provide at least one designated parking area for use by motorcycles. The proposed motorcycle parking space is 8 feet in width and 15.5 feet in length. The proposed space is located near the eastern side of the property along State Street. As a result, the site will be in compliance with parking and loading space requirements.

The parking calculations are summarized in the following table:

<b>STANDARD OFF-STREET PARKING CALCULATION</b>		
<b>Use Type</b>	<b>Required</b>	<b>Proposed</b>
Medical Offices/Clinics	Ratio: 1/300 sf (5,099 sf/300) = <b>16.99 = 17</b>	
Restaurant (Non-Seating Area)	Ratio: 1/400 sf (3,202 sf/400) = <b>8.0 = 8</b>	
Restaurant (Seating Area)	Ratio: 1/100 sf (1,562 sf/100) = <b>15.62 = 16</b>	
Retail	Ratio: 1/400 sf (5,717 sf/400) = <b>14.29 = 15</b>	
Office	Ratio: 1/400 sf (939 sf/400) = <b>2.35 = 3</b>	
<b>Total</b>	<b>59 spaces</b>	<b>65 spaces</b>
<b>Site surplus of 6 spaces</b>		

- **Refuse Facilities**

Pursuant to HPMC Section 9-3.103, the exterior storage area requirements for a site with structures totaling 17,531 square feet is 144 square feet total for trash and recyclables. In order to meet this development standard the applicant is

## SPECIAL PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 9 of 16

proposing to add additional capacity by building a new 149 square foot trash enclosure and concrete pad. The enclosure includes a decorative wood trellis, steel doors, and cement plaster wall. The new enclosure is proposed to match the existing shopping center's colors and materials. The enclosure is located to ensure ease of access for waste service providers and employees. In addition, the trash enclosure is proposed to the rear of the property and will not be visible from the public right-of-way. The proposed waste facilities comply with capacity, design, and all other required development standards of the HPMC.

- ***Comments from other Departments and/or Agencies***

The Planning Division received comments from the Huntington Park Building and Safety Division and Code Enforcement Division and have been included as part of Resolution No. 2020-03. In addition, the project must receive approval from Los Angeles County Fire Department. A condition of approval has been included requiring Fire Department approval.

- ***Development Permit Analysis***

In granting a Development Permit for the change in use and tenant improvements of an existing building, the Planning Commission must make findings in connection with the Development Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Development Permit may be approved only if all of the following findings are made:

1. That the proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards ***in that the subject zoning district, CG, is intended to provide for general retail, professional office, and service-oriented business activities serving a community-wide need under design standards that ensure compatibility and harmony with adjoining land uses. Per Section 9-4.202 of the HPMC, medical offices/clinics are permitted uses within the subject zoning district. In addition, the proposed development, as conditioned, complies with all Commercial Zone Standards of Section 9-4.203 of the HPMC.***

**SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 10 of 16

2. The proposed development is consistent with the General Plan ***in that the proposed project is consistent with Goal 1.0; Policy 1.2 of the General Plan due to the fact that project will provide for a mix of land uses which meets the diverse needs of all Huntington Park residents, offer a variety of employment opportunities, and allows for the capture of regional growth. In addition, the project will provide additional health services that will serve the needs of the community in Huntington Park.***
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property ***in that it is anticipated that the existing and future development of the zoning district will continue as commercial. The surrounding properties within the vicinity are built for commercial or industrial uses. The proposed development will be similar and compatible with existing surrounding uses, therefore, will not adversely impact the subject site or surrounding area. The proposed use would not be of greater intensity than the existing surrounding uses.***
4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines ***in that the proposed project has been reviewed and determined to be Categorically Exempt from CEQA requirements pursuant to Article 19, Section 15301, Class 1 (a), Existing Facilities.***
5. The subject site is physically suitable for the type and density/intensity of use being proposed ***in that the subject site is surrounded by other compatible commercial uses. Neighboring businesses along State Street include retail stores, restaurants, offices, and other industrial uses. The proposed development meets all of the minimum development standards as set forth in the HPMC Sections 9-4.202 and 9-4.203. Thereby, the subject site is suitable for the proposed project.***

## SPECIAL PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 11 of 16

6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare ***in that vehicular and pedestrian access to the site would be provided along State Street. The subject site is connected to public utilities. The surrounding area is completely developed with public access, water, sanitation, and other public utilities. The tenant improvements will connect to the existing infrastructure and will not impede the accessibility to public access, water, sanitation, or other public utilities and services. It is expected that the proposed tenant improvements will not be detrimental to public health, safety and general welfare.***
  
7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City ***in that the subject site is located along State Street, which serves as one of the commercial land use corridors of the City. The site is suitable for commercial uses given that most of the surrounding uses are commercial and industrial. The medical use would be compatible with the existing commercial shopping center because it provides a non-emergency medical service, has compatible hours of operation, and it is not expected to create additional noise in the area. The proposed design would enhance the appearance of the site and surrounding properties. The subject site will have adequate off-street parking for the proposed use. Therefore, it is expected that the proposed development will not be detrimental to the public health, safety, or welfare of the City.***

- **Conclusion**

Based on the above analysis, it has been determined that the required findings can be made for the proposed project. In addition, the proposed project has been determined to meet the minimum requirements of the HPMC. Lastly, the proposed project, as conditioned, would enhance the community and provide additional medical services to the area. The applicant shall also be required to obtain

**SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 12 of 16

permits/approvals from all other applicable agencies including the Fire Department and Building and Safety.

**RECOMMENDATION:**

The Planning Commission conduct a public hearing, consider all public testimony and adopt PC Resolution No. 2020-03, subject to the proposed conditions of approval and/or additional conditions that the Planning Commission may wish to impose.

**CONDITIONS OF APPROVAL:**

**PLANNING**

1. That the property owner and applicant shall indemnify, protect, hold harmless and defend the City and any agency or instrumentality thereof, its officers, employees and agents from all claims, actions, or proceedings against the City to attack, set aside, void, annul, or seek damages arising out of an approval of the City, or any agency or commission thereof, concerning this project. City shall promptly notify both the property owner and applicant of any claim, action, or proceeding to which this condition is applicable. The City shall cooperate in the defense of the action, while reserving its right to act as it deems to be in the best interest of the City and the public. The property owner and applicant shall defend, indemnify and hold harmless the City for all costs and fees incurred in additional investigation or study, or for supplementing or revising any document, including, without limitation, environmental documents. If the City's legal counsel is required to enforce any condition of approval, the applicant shall pay for all costs of enforcement, including legal fees.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. All architectural detailing, including building materials, lighting, colors, façade improvements, finishes and other details be consistent with the submitted plans as approved by the Planning Division.
4. The proposed project shall comply with all applicable codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Sign, Zoning, and Business License Regulations of the City of Huntington Park.
5. The use shall be conducted, and the property be maintained, in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Title 8, Chapter 9, and Section 9-3.103.18 of the Huntington Park Municipal Code.
6. Any violation of the conditions of this entitlement may result in the revocation of the entitlement.

## **SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 13 of 16

7. The applicant be required to apply for a new entitlement if any alteration, modification, or expansion would increase the existing floor area of the establishment.
8. This entitlement shall expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
9. All proposed signage shall be reviewed and approved by the Planning Division under a separate permit. All proposed signage shall comply with the requirements of the Huntington Park Municipal Code and/or Master Sign Program of the subject site.
10. All existing and/or proposed mechanical equipment and appurtenances, including satellite dishes, gutters etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to issuance of the Certificate of Occupancy.
11. Any proposed on-site utilities, including electrical and telephone, shall be installed underground and be completely concealed from public view as required by the Planning Division.
12. Any existing and/or future graffiti as defined by Huntington Park Municipal Code Section 5-27.02(d) shall be diligently removed within 72 hours of City notification.
13. The property shall comply with the City's Standards for Exterior Colors, Section 9-3.103(3)(A) of the Huntington Park Municipal Code and obtain the Planning Division's approval prior, to the issuance of the Certificate of Occupancy.
14. The business shall be operated according to the Business Operation Plan date stamped 22, 2020.
15. The business shall be operated in compliance with the City of Huntington Park Noise Ordinance.
16. All required on-site parking and loading spaces comply with the minimum dimensions as set forth within the Huntington Park Municipal Code prior to issuance of the Certificate of Occupancy.
17. All existing landscape areas shall be maintained, cleaned, and kept free of trash and debris. Any unmaintained landscaping shall be replaced with new landscaping to match existing.
18. The applicant provide publicly visible art or pay art fees in accordance with the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of Occupancy.

## **SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 14 of 16

19. The applicant shall comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The applicant shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) and the SUSUMP requirements when applicable.
20. The Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
21. The operator shall obtain its City of Huntington Park Business License prior to commencing business operations.
22. The parking areas be resurfaced, slurry sealed, and striped as approved by the Planning Division.
23. No vending machines, including, but not limited to, water, movie, newspapers, candy, etc., shall be permitted on the exterior of the building.
24. No outside storage shall be permitted.
25. No payphones shall be allowed on the site.
26. The business owner shall conduct all loading and unloading of merchandise or supplies within the designated loading space as approved by the Planning Division.
27. The hours of operation for patient services shall be Monday – Saturday from 5:00am to 5:30pm.
28. That the applicant and property owner agree in writing to the above conditions.

### **CODE ENFORCEMENT**

29. Ensure the drop off/pick up location does not hinder or obstruct the traffic flow within the parking lot.
30. Ensure there is adequate lighting for the entry/exit locations to include the Southwest corner of the building.
31. Ensure the landscaped areas of the property remain clean and free of trash and debris.

### **BUILDING AND SAFETY**

**SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 15 of 16

32. The dialysis center, licensed by the California Dept. of Public Health (CDPH), is an OSHPD3 clinic; the applicant shall submit plans to OSHPD for plan review and certified to OSHPD3 regulations. OSHPD3 certification shall be obtained prior to building permit issuance.
33. The City will not provide certification to OSHPD3 regulations.
34. The applicant shall submit plans to the City for plan check, permits, and inspection. The plans shall comply with California Building Standards Code, including OSHPD3 provisions set forth in CBC Section 1226.
35. The plans shall be designed by registered design professionals including licensed architect, and registered civil, mechanical and electrical engineers. All plan sheets, including the title sheet, shall bear the stamp and signature of a licensed design professional.
36. The two accessible parking spaces in front of Circle K shall be relocated so that persons on wheelchair will not need to travel behind parked cars in order to reach the clinic. Portion of the parking lot shall be redesigned and restriped to accommodate the relocation of the two accessible parking spaces even though they are existing.
37. The trash enclosures shall be covered by solid roofs.
38. Provide separate ADA toilets for visitors, patients and staff.
39. CPVC is not allowed for water supply and distribution, copper and PEX pipes may be used.
40. ABS and PVC are not allowed for drainage, waste and ventilation piping, only cast iron pipes may be used.
41. Rigid ducts are required for supply and return are required.
42. Return air plenum is not allowed.
43. Outside air changes are required per CMC Table 4-A.
44. Provide separate garbage storage or waste holding room, housekeeping room, medical record area, and locker room for employees.
45. The exam room shall be 80 S.F. minimum with minimum 8 ft. dimension, with a lavatory and surface for writing, and shall be wheelchair accessible.
46. CDPH will inspect for compliance with operational requirements and NFPA 101, Life Safety Code, and issues license to operate, prior to final building permit signoff.

**SPECIAL PLANNING COMMISSION AGENDA REPORT**

PC CASE NO. 2020-03 DP: 5949 State Street

July 22, 2020

Page 16 of 16

- 47. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
- 48. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- 49. Art fee shall be paid to the City prior to issuance of the building Permit
- 50. Recycling deposit shall be filed prior to issuance of the building permit to the satisfaction of the recycling coordinator.

**COUNTY OF LOS ANGELES FIRE DEPARTMENT**

- 51. Review and approval by the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit shall be required for this project prior to building permit issuance.

**EXHIBITS:**

- A: PC Resolution No. 2020-03
- B: Business Operation Statement
- C: Vicinity Map
- D: Assessor's Parcel Map
- E: Plans
- F: Site Photos
- G: Applications and Environmental Assessment Checklist

**PC RESOLUTION NO. 2020-03**

**EXHIBIT A**

**CASE NO.** 2020-03 DP



1 //

2 **NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF**  
3 **HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS**  
4 **FOLLOWS:**

5 **SECTION 1:** Based on the evidence in the Environmental Assessment  
6 Questionnaire, the Planning Commission adopts the findings in said Questionnaire and  
7 determines that the project, as proposed, will have no significant adverse effect on the  
8 environment and adopts an Environmental Categorical Exemption (CEQA Guidelines,  
9 Article 19, Section 15301, Existing Facilities, Class 1 (a).

10 **SECTION 2.** The Planning Commission hereby makes the following findings in  
11 connection with the proposed Development Permit:

12 **1. The proposed development is one permitted within the subject zoning**  
13 **district and complies with all of the applicable provisions of this Code,**  
14 **including prescribed development/site standards.**

15 **Finding:** The subject zoning district, CG, is intended to provide for general retail,  
16 professional office, and service-oriented business activities serving a community-  
17 wide need under design standards that ensure compatibility and harmony with  
18 adjoining land uses. Per Section 9-4.202 of the HPMC, medical offices/clinics are  
19 permitted uses within the subject zoning district. In addition, the proposed  
20 development, as conditioned, complies with all Commercial Zone Standards of  
21 Section 9-4.203 of the HPMC.

22 **2. The proposed development is consistent with the General Plan.**

23 **Finding:** The proposed project is consistent with Goal 1.0; Policy 1.2 of the  
24 General Plan due to the fact that project will provide for a mix of land uses which  
25 meets the diverse needs of all Huntington Park residents, offer a variety of  
26 employment opportunities, and allows for the capture of regional growth. In  
27 addition, the project will provide additional health services that will serve the  
28 needs of the community in Huntington Park.

1           **3. The proposed development would be harmonious and compatible with**  
2           **existing and planned future developments within the zoning district and**  
3           **general area, as well as with the land uses presently on the subject**  
4           **property.**

5           **Finding:** It is anticipated that the existing and future development of the zoning  
6           district will continue as commercial. The surrounding properties within the vicinity  
7           are built for commercial or industrial uses. The proposed development will be  
8           similar and compatible with existing surrounding uses, therefore, will not adversely  
9           impact the subject site or surrounding area. The proposed use would not be of  
10          greater intensity than the existing surrounding uses.

11          **4. The approval of the Development Permit for the proposed project is in**  
12          **compliance with the requirements of the California Environmental Quality**  
13          **Act (CEQA) and the City's Guidelines.**

14          **Finding:** The proposed project has been reviewed and determined to be  
15          Categorically Exempt from CEQA requirements pursuant to Article 19, Section  
16          15301, Class 1 (a), Existing Facilities.

17          **5. The subject site is physically suitable for the type and density/intensity of**  
18          **use being proposed.**

19          **Finding:** The subject site is surrounded by other compatible commercial uses.  
20          Neighboring businesses along State Street include retail stores, restaurants,  
21          offices, and other industrial uses. The proposed development meets all of the  
22          minimum development standards as set forth in the HPMC Sections 9-4.202 and  
23          9-4.203. Thereby, the subject site is suitable for the proposed project.

24          **6. There are adequate provisions for public access, water, sanitation and**  
25          **public utilities and services to ensure that the proposed development would**  
26          **not be detrimental to public health, safety and general welfare.**

27          **Finding:** Vehicular and pedestrian access to the site would be provided along  
28          State Street. The subject site is connected to public utilities. The surrounding

1 area is completely developed with public access, water, sanitation, and other  
2 public utilities. The tenant improvements will connect to the existing infrastructure  
3 and will not impede the accessibility to public access, water, sanitation, or other  
4 public utilities and services. It is expected that the proposed tenant improvements  
5 will not be detrimental to public health, safety and general welfare.

6 **7. The design, location, size and operating characteristics of the proposed**  
7 **development would not be detrimental to the public health, safety, or**  
8 **welfare of the City.**

9 **Finding:** The subject site is located along State Street, which serves as one of  
10 the commercial land use corridors of the City. The site is suitable for commercial  
11 uses given that most of the surrounding uses are commercial and industrial. The  
12 medical use would be compatible with the existing commercial shopping center  
13 because it provides a non- emergency medical service, has compatible hours of  
14 operation, and it is not expected to create additional noise in the area. The  
15 proposed design would enhance the appearance of the site and surrounding  
16 properties. The subject site will have adequate off-street parking for the proposed  
17 use. Therefore, it is expected that the proposed development will not be  
18 detrimental to the public health, safety, or welfare of the City.

19 **SECTION 3:** The Planning Commission hereby approves Resolution No. 2020-03  
20 DP, subject to the execution and fulfillment of the following conditions:

21 **Planning Division**

- 22 1. That the property owner and applicant shall indemnify, protect, hold harmless and  
23 defend the City and any agency or instrumentality thereof, its officers, employees  
24 and agents from all claims, actions, or proceedings against the City to attack, set  
25 aside, void, annul, or seek damages arising out of an approval of the City, or any  
26 agency or commission thereof, concerning this project. City shall promptly notify  
27 both the property owner and applicant of any claim, action, or proceeding to which  
28 this condition is applicable. The City shall cooperate in the defense of the action,  
while reserving its right to act as it deems to be in the best interest of the City and  
the public. The property owner and applicant shall defend, indemnify and hold  
harmless the City for all costs and fees incurred in additional investigation or  
study, or for supplementing or revising any document, including, without limitation,  
environmental documents. If the City's legal counsel is required to enforce any

1 condition of approval, the applicant shall pay for all costs of enforcement,  
2 including legal fees.

- 3 2. Except as set forth in subsequent conditions, all-inclusive, and subject to  
4 department corrections and conditions, the property shall be developed  
5 substantially in accordance with the applications, environmental assessment, and  
6 plans submitted.
- 7 3. That all architectural detailing, including building materials, lighting, colors, façade  
8 improvements, finishes and other details be consistent with the submitted plans  
9 as approved by the Planning Division.
- 10 4. That the proposed project shall comply with all applicable codes, laws, rules, and  
11 regulations, including Health, Building and Safety, Fire, Sign, Zoning, and  
12 Business License Regulations of the City of Huntington Park.
- 13 5. That the use be conducted, and the property be maintained, in a clean, neat,  
14 quiet, and orderly manner at all times and comply with the property maintenance  
15 standards as set forth in Title 8, Chapter 9, and Section 9-3.103.18 of the  
16 Huntington Park Municipal Code.
- 17 6. That any violation of the conditions of this entitlement may result in the revocation  
18 of the entitlement.
- 19 7. That the applicant be required to apply for a new entitlement if any alteration,  
20 modification, or expansion would increase the existing floor area of the  
21 establishment.
- 22 8. That this entitlement expire in the event it is not exercised within one (1) year from  
23 the date of approval, unless an extension has been granted by the Planning  
24 Commission.
- 25 9. All proposed signage shall be reviewed and approved by the Planning Division  
26 under a separate permit. All proposed signage shall comply with the requirements  
27 of the Huntington Park Municipal Code and/or Master Sign Program of the subject  
28 site.
10. That all existing and/or proposed mechanical equipment and appurtenances,  
including satellite dishes, gutters etc., whether located on the rooftop, ground level  
or anywhere on the property shall be completely shielded/enclosed so as not to  
be visible from any public street and/or adjacent properties. Such  
shielding/enclosure of facilities shall be of compatible design related to the  
building structure for which such facilities are intended to serve and shall be  
installed prior to issuance of the Certificate of Occupancy.
11. That any proposed on-site utilities, including electrical and telephone, be installed  
underground and be completely concealed from public view as required by the  
Planning Division.

- 1 12. That any existing and/or future graffiti as defined by Huntington Park Municipal  
2 Code Section 5-27.02(d) shall be diligently removed within 72 hours of City  
3 notification.
- 4 13. That the property shall comply with the City's Standards for Exterior Colors,  
5 Section 9-3.103(3)(A) of the Huntington Park Municipal Code and obtain the  
6 Planning Division's approval prior, to the issuance of the Certificate of Occupancy.
- 7 14. That the business shall be operated according to the Business Operation Plan  
8 date stamped 22, 2020.
- 9 15. That the business shall be operated in compliance with the City of Huntington  
10 Park Noise Ordinance.
- 11 16. That all required on-site parking and loading spaces comply with the minimum  
12 dimensions as set forth within the Huntington Park Municipal Code prior to  
13 issuance of the Certificate of Occupancy.
- 14 17. That all existing landscape areas shall be maintained, cleaned, and kept free of  
15 trash and debris. Any unmaintained landscaping shall be replaced with new  
16 landscaping to match existing.
- 17 18. That the applicant provide publicly visible art or pay art fees in accordance with  
18 the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of  
19 Occupancy.
- 20 19. That the applicant shall comply with all of the provisions of Title 7, Chapter 9 of  
21 the Huntington Park Municipal Code relating to Storm Water Management. The  
22 applicant shall also comply with all requirements of the National Pollutant  
23 Discharge Elimination System (NPDES), Model Programs, developed by the  
24 County of Los Angeles Regional Water Quality Board. This includes compliance  
25 with the City's Low Impact Development (LID) and the SUSUMP requirements  
26 when applicable.
- 27 20. That the Director of Community Development is authorized to make minor  
28 modifications to the approved preliminary plans or any of the conditions if such  
modifications shall achieve substantially the same results, as would strict  
compliance with said plans and conditions.
- 21 21. That the operator shall obtain its City of Huntington Park Business License prior to  
22 commencing business operations.
- 23 22. That the parking areas be resurfaced, slurry sealed, and striped as approved by  
24 the Planning Division.
- 25 23. That no vending machines, including, but not limited to, water, movie,  
26 newspapers, candy, etc., shall be permitted on the exterior of the building.

- 1 24. That no outside storage shall be permitted.
- 2 25. That no payphones shall be allowed on the site.
- 3 26. That the business owner shall conduct all loading and unloading of merchandise
- 4 or supplies within the designated loading space as approved by the Planning
- 5 Division.
- 6 27. That the hours of operation for patient services shall be Monday – Saturday from
- 7 5:00am to 5:30pm.
- 8 28. That the applicant and property owner agree in writing to the above conditions.

9 **Code Enforcement**

- 10 29. Ensure the drop off/pick up location does not hinder or obstruct the traffic flow
- 11 within the parking lot.
- 12 30. Ensure there is adequate lighting for the entry/exit locations to include the
- 13 Southwest corner of the building.
- 14 31. Ensure the landscaped areas of the property remain clean and free of trash and
- 15 debris.

16 **Building and Safety**

- 17 32. The dialysis center, licensed by the California Dept. of Public Health (CDPH), is
- 18 an OSHPD3 clinic; the applicant shall submit plans to OSHPD for plan review and
- 19 certified to OSHPD3 regulations. OSHPD3 certification shall be obtained prior to
- 20 building permit issuance.
- 21 33. The City will not provide certification to OSHPD3 regulations.
- 22 34. The applicant shall submit plans to the City for plan check, permits, and
- 23 inspection. The plans shall comply with California Building Standards Code,
- 24 including OSHPD3 provisions set forth in CBC Section 1226.
- 25 35. The plans shall be designed by registered design professionals including licensed
- 26 architect, and registered civil, mechanical and electrical engineers. All plan
- 27 sheets, including the title sheet, shall bear the stamp and signature of a licensed
- 28 design professional.
36. The two accessible parking spaces in front of Circle K shall be relocated so that
- persons on wheelchair will not need to travel behind parked cars in order to reach
- the clinic. Portion of the parking lot shall be redesigned and restriped to
- accommodate the relocation of the two accessible parking spaces even though
- they are existing.
37. The trash enclosures shall be covered by solid roofs.

- 1  
2 38. Provide separate ADA toilets for visitors, patients and staff.  
3  
4 39. CPVC is not allowed for water supply and distribution, copper and PEX pipes may  
5 be used.  
6 40. ABS and PVC are not allowed for drainage, waste and ventilation piping, only cast  
7 iron pipes may be used.  
8 41. Rigid ducts are required for supply and return are required.  
9 42. Return air plenum is not allowed.  
10 43. Outside air changes are required per CMC Table 4-A.  
11 44. Provide separate garbage storage or waste holding room, housekeeping room,  
12 medical record area, and locker room for employees.  
13 45. The exam room shall be 80 S.F. minimum with minimum 8 ft. dimension, with a  
14 lavatory and surface for writing, and shall be wheelchair accessible.  
15 46. CDPH will inspect for compliance with operational requirements and NFPA 101,  
16 Life Safety Code, and issues license to operate, prior to final building permit  
17 signoff.  
18 47. The initial plan check fee will cover the initial plan check and one recheck only.  
19 Additional review required beyond the first recheck shall be paid for on an hourly  
20 basis in accordance with the current fee schedule.  
21 48. The second sheet of building plans is to list all conditions of approval and to  
22 include a copy of the Planning Commission Decision letter. This information shall  
be incorporated into the plans prior to the first submittal for plan check.  
23 49. Art fee shall be paid to the City prior to issuance of the building Permit  
24 50. Recycling deposit shall be filed prior to issuance of the building permit to the  
25 satisfaction of the recycling coordinator.

26 **County of Los Angeles Fire Department**

- 27 51. Review and approval by the County of Los Angeles Fire Department Fire  
28 Prevention Engineering Section Building Plan Check Unit shall be required for this  
project prior to building permit issuance.

**SECTION 6:** This resolution shall not become effective until 15 days after the date of  
decision rendered by the Planning Commission, unless within that period of time it is

1 appealed to the City Council. The decision of the Planning Commission shall be stayed until  
2 final determination of the appeal has been effected by the City Council.

3 **SECTION 7:** The Secretary of the Planning Commission shall certify to the adoption  
4 of this resolution and a copy thereof shall be filed with the City Clerk.

5  
6 **PASSED, APPROVED, AND ADOPTED this 22nd day of July, 2020 by the**  
7 **following vote:**

8 AYES:

9 NOES:

10 ABSENT:

11

12

HUNTINGTON PARK PLANNING COMMISSION

13

14

\_\_\_\_\_  
Jonathan Sanabria, Chairperson

15

16

ATTEST:

17

18

\_\_\_\_\_  
Carlos Luis, Secretary

19

20

21

22

23

24

25

26

27

28

# **BUSINESS OPERATION STATEMENT**

**EXHIBIT B**

**CASE NO.** 2020-03 DP

# **Business/Operation Plan**

## **Centro De Ciudado Renal, LLC**

### **Mission Statement**

The mission of Centro De Ciudado Renal, LLC (CDCR) is to provide high quality chronic hemodialysis (HD) treatments in the Huntington Park and surrounding areas due to the continued and ever-increasing demand for this type of care. The mission will be accomplished with a caring and qualified team of dialysis professionals with extensive experience in this field.

### **Design Criteria**

CDCR will be designed and developed in accordance with the Uniform Building Code (UBC), The Office of Statewide Health Planning and Development (OSHPD), the Conditions for Coverage for End-Stage Renal Disease Facilities (CFC) and other local building department requirements. It is also designed to be aesthetically pleasing and provide for the comfort and safety of the dialysis patients.

### **Operating Parameters**

#### Patients

The capacity of the facility is 19 treatment stations which includes an isolation station for patients with Hepatitis B. The operating days of the clinic will be Monday – Saturday each week from 5:00 am to 5:30 pm. It will accommodate 3 shifts per day and treatments will be 3-4 hours – 3x per week as prescribed. The last patient will leave the facility at approx. 5:00 pm.

**Total patients per day = 57**

**Total patients per week = 114**

We anticipate reaching 75% of operating capacity by year 2 and full capacity by year 3.

#### Staffing

At full capacity, CDCR will employ the following staffing:

1. Facility Administrator = 1
2. Clinical Nurse Manager = 1
3. Licensed Clinical Social Worker (LCSW) = 1
4. Renal Dietitian = 1
5. Biomedical Technician = 1
6. Staff Nurse(s) = 4
7. Certified Hemodialysis Technician(s) (CHT) = 10
8. Administrative Assistant = 1
9. Medical Director (Nephrologist) = 1

**Total Staff = 21**

## **Dialysis Equipment**

The dialysis machines used to treat patients will be disinfected according to the following schedule:

*Daily* – Vinegar rinse followed by heat disinfection

*Weekly* – Bleach disinfection followed by water rinse

## **Transportation**

Approximately, 80% of the patient population will be transported by non-emergency medical transportation. The approximated drop-off/pick-up times will correspond with the aforementioned treatment schedule and will resemble the following

1<sup>st</sup> Shift Drop-Off = 4:30 am

1<sup>st</sup> Shift Pick-Up/2<sup>nd</sup> Shift Drop-Off = 8:00 am

2<sup>nd</sup> Shift Pick-Up/3<sup>rd</sup> Shift Drop-Off = 12:00 pm

3<sup>rd</sup> Shift Pick-Up = 4:00 pm

Selection of the transportation company is made by the patient & their social worker. The following is a list of current transportation service providers in the immediate area:

- Silver Transportation
- SMS Transportation Services
- MedTrans Inc.
- GT Ride Transportation
- MedSafe Transport
- Golden Van Rides Inc.
- St. Christopher Medical Transportation
- Yellow Cab
- Lyft

## **Staff Schedules**

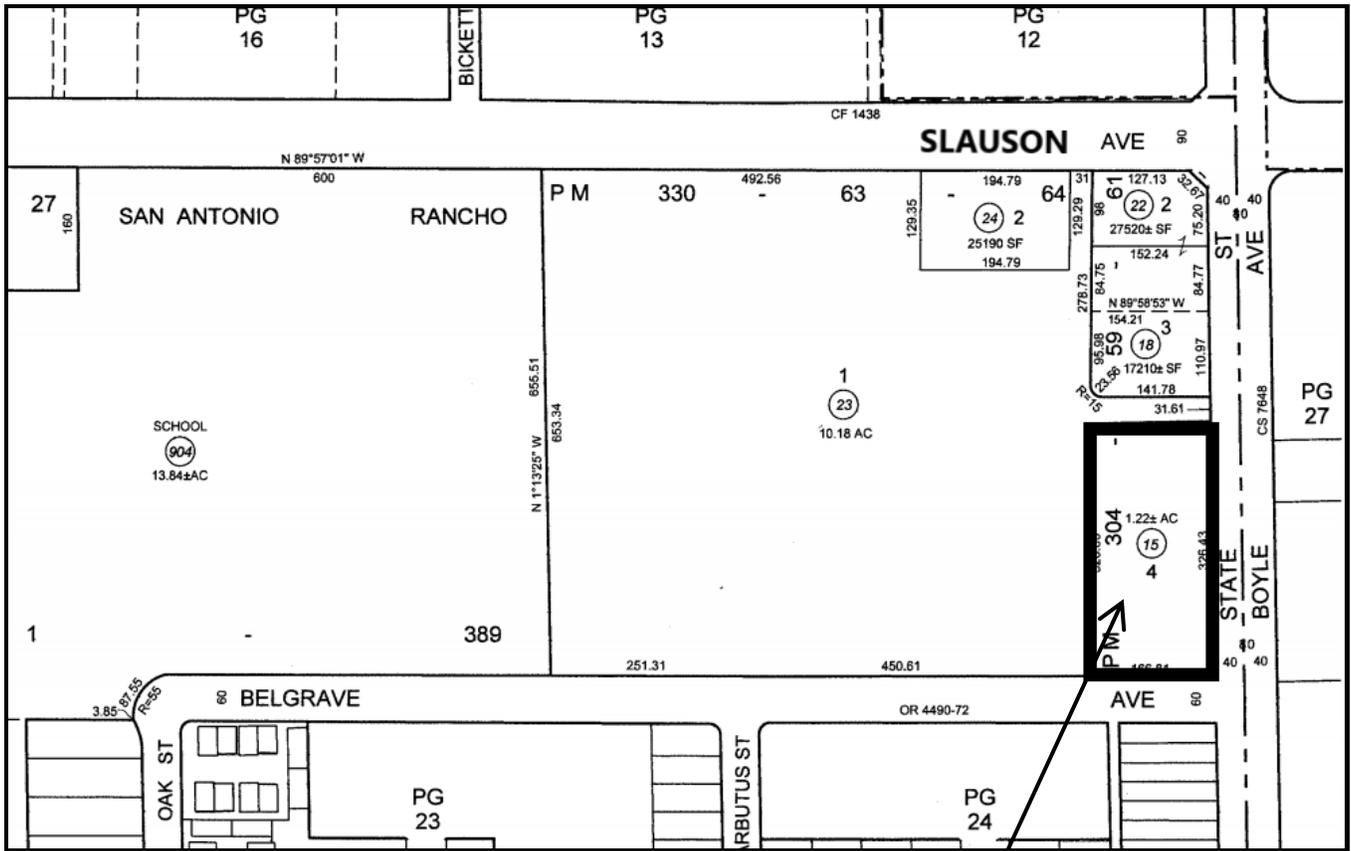
1. Facility Administrator = (Mon-Fri) - 8:00 am to 4:30 pm
2. Clinical Nurse Manager = (Mon-Fri) - 8:00 am to 4:30 pm
3. Licensed Clinical Social Worker (LCSW) = (Mon-Fri) - 8:00 am to 4:30 pm
4. Renal Dietitian = (Mon-Fri) - 8:00 am to 4:30 pm
5. Biomedical Technician = (Mon-Sat) – 12:00 pm to 9:00 pm
6. Staff Nurse(s) = (Mon-Sat) - 4:45 am to 6:00 pm
7. Certified Hemodialysis Technician(s) (CHT) = (Mon-Sat) - 4:45 am to 6:00 pm
8. Administrative Assistant = (Mon-Fri) - 8:00 am to 6:00 pm
9. Medical Director (Nephrologist) = (Mon-Fri) - 7:00 am to 2:00 pm

# VICINITY MAP

**EXHIBIT C**

**CASE NO.** 2020-03 DP

# VICINITY MAP



**5949 State Street  
Huntington Park, CA 90255**

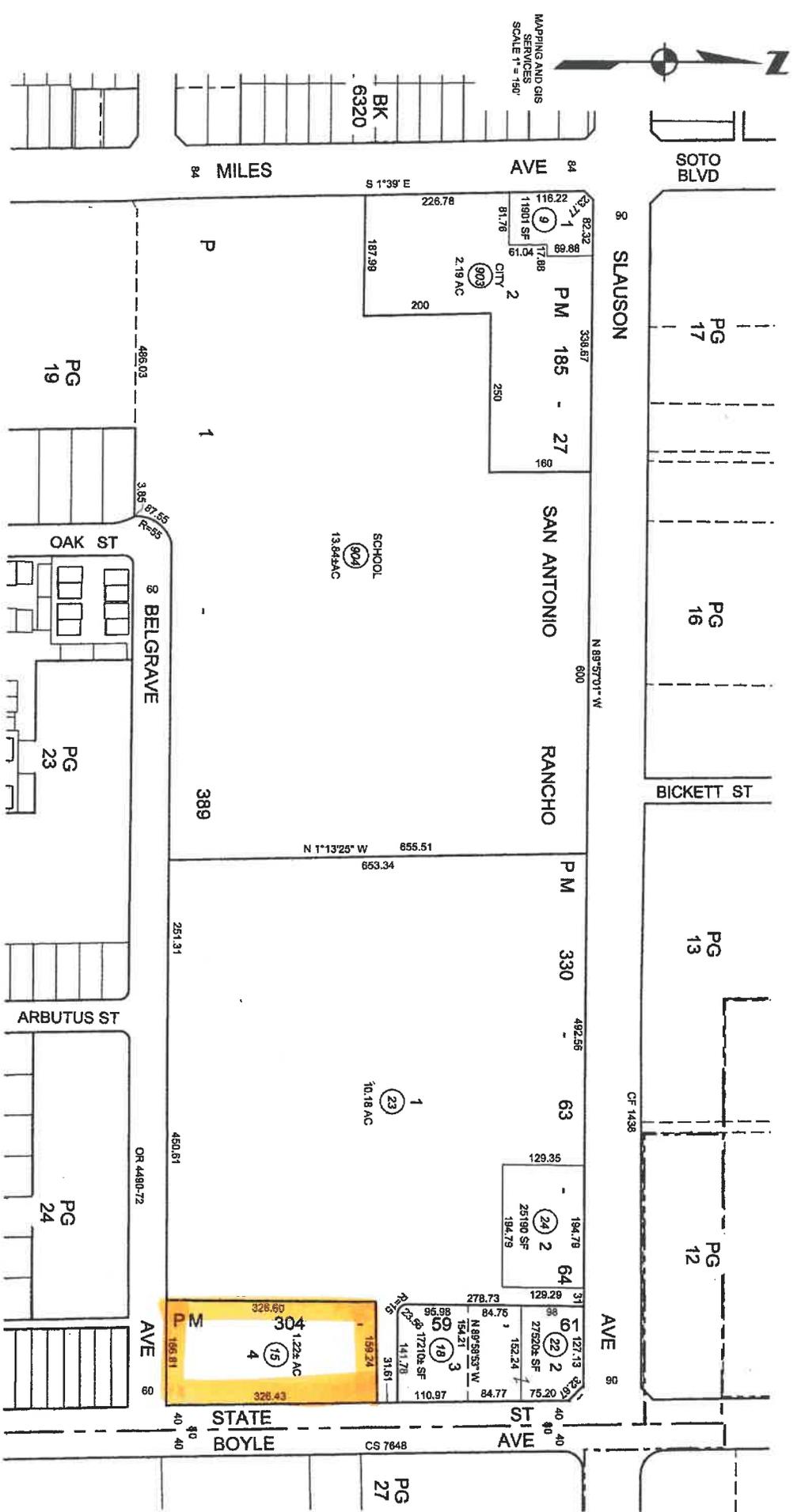
**ASSESSOR'S PARCEL MAP**

**EXHIBIT D**

**CASE NO.** 2020-03 DP

6310	18	P-A 1851-18	TRA 594	REVISED 2001102502001001-28 2001102502001003-28	2002032705003001-28 2002032705003002-28 2002122308003002-28	2003070810009001-28 2003082202004001-28 2005051104003001-28	2016012002003001-27	SEARCH NO	OFFICE OF THE ASSESSOR COUNTY OF LOS ANGELES COPYRIGHT © 2002
------	----	----------------	------------	---	---	---	---------------------	-----------	---

2016

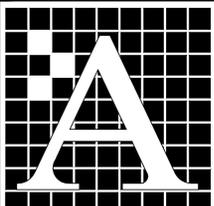


# PLANS

**EXHIBIT E**

**CASE NO.** 2020-03 DP



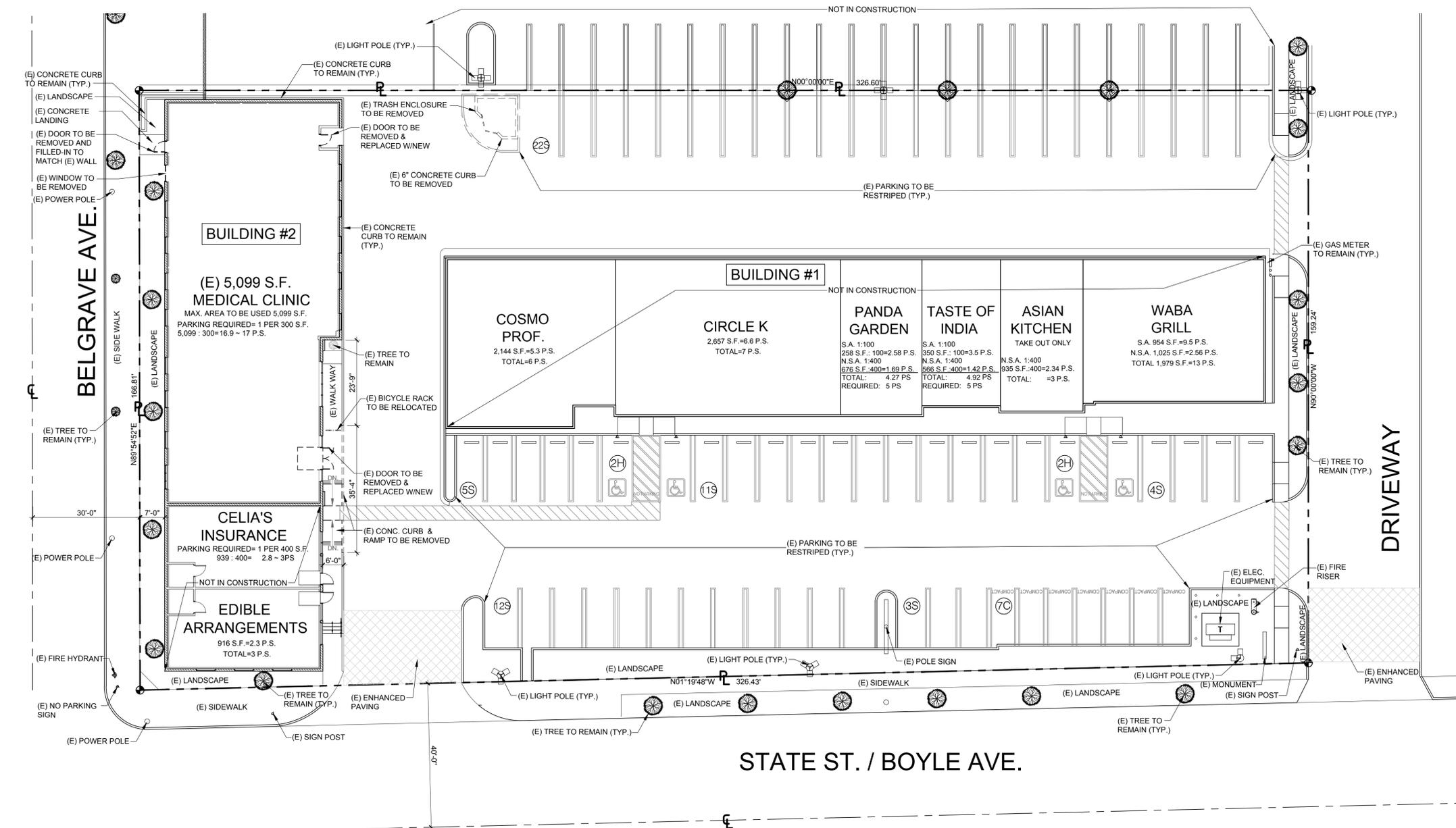


ARCHITECTONIX, INC.  
250 N. GOLDEN CIRCLE DR., SUITE 204  
SANTA ANA, CA 92705 714-836-0702

SIGNIFICANT DATES

DATE	DESCRIPTION
02-11-2020	PLANNING DEPARTMENT
04-01-2020	PLANNING DEPARTMENT
06-02-2020	PLANNING DEPARTMENT
06-18-2020	PLANNING DEPARTMENT

All ideas, drawings, and specifications shown hereon are the property of Architectonix and shall not be used, copied, reproduced, or disclosed to any person, firm, or corporation, without the written consent of Architectonix. Any infringement will be subject to legal action. Contractors shall verify and be responsible for all dimensions and conditions on the job and notify this office of any variations from dimensions and conditions shown hereon. Written dimensions take precedence over scaled dimensions.



CENTRO DE CUIDADO RENAL, LLC.  
5949 STATE STREET  
HUNTINGTON PARK, CA 90255

DIALYSIS CENTER

EXISTING  
SITE PLAN  
(FOR REFERENCE ONLY)

DRAWN:	MN
SCALE:	AS INDICATED
JOB NO.:	432-03
DATE:	06-18-2020
RELEASE DATE:	
CAD NAME:	42401A11
SHEET NO.:	

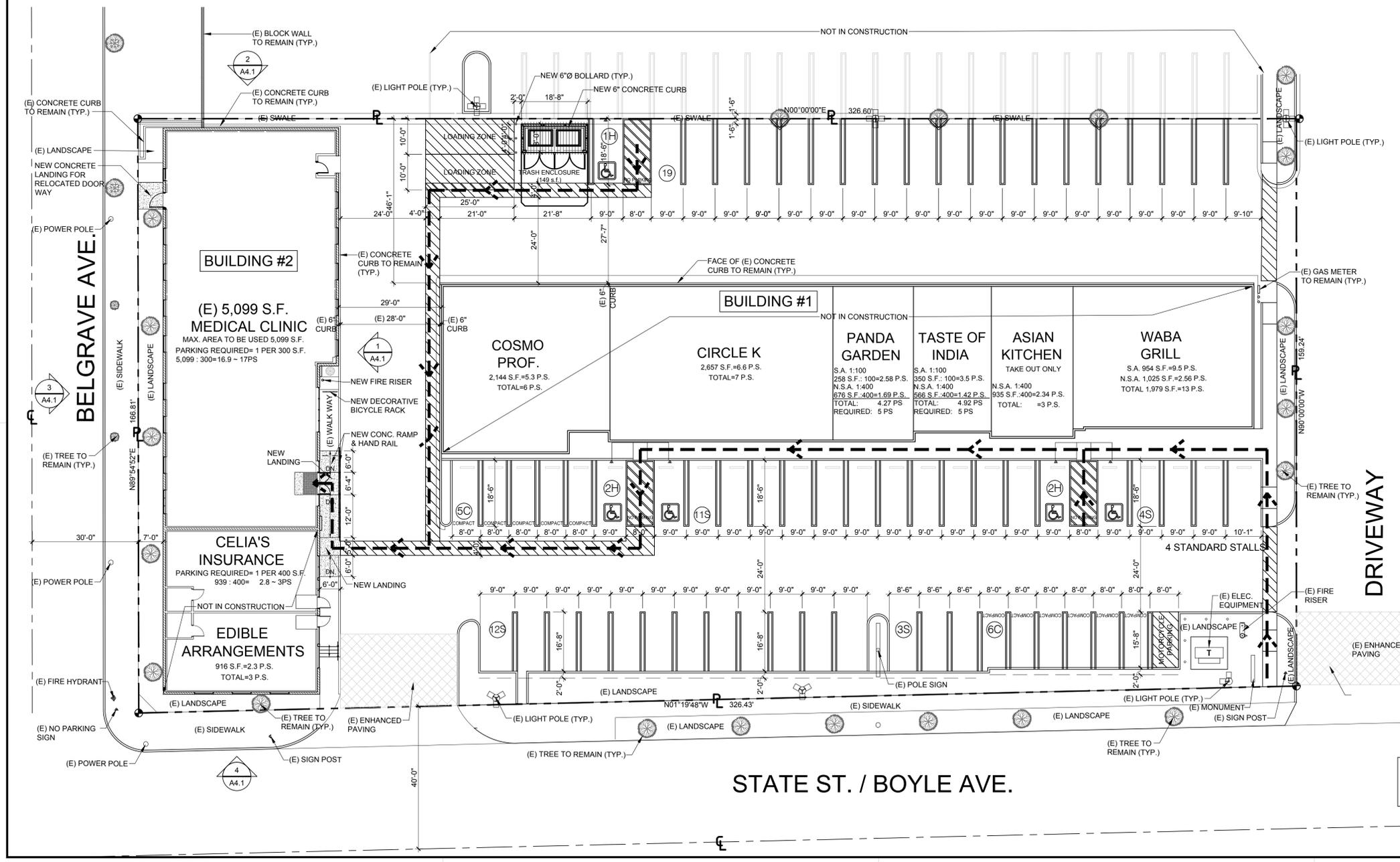
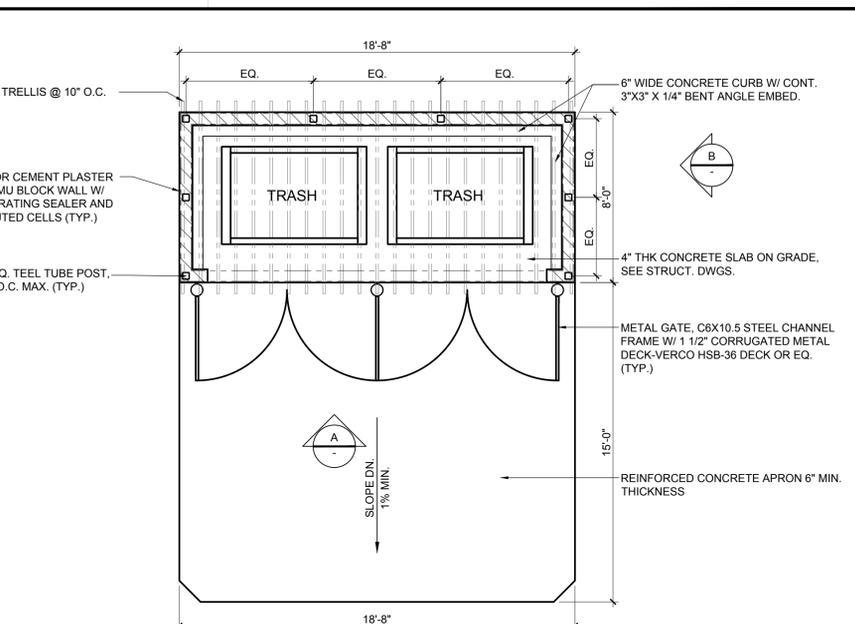
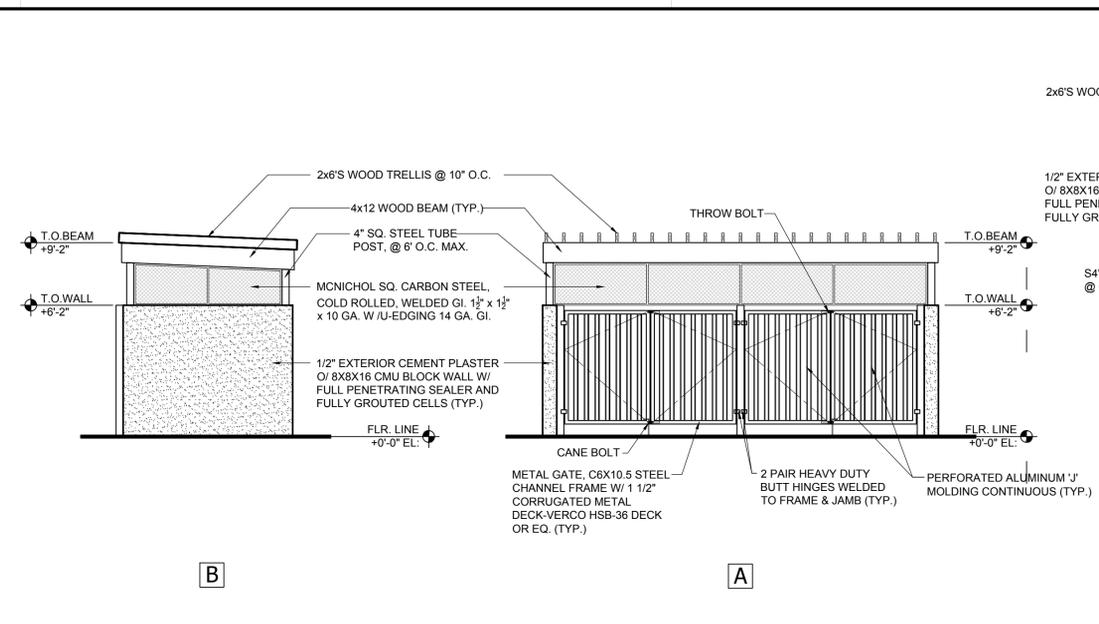
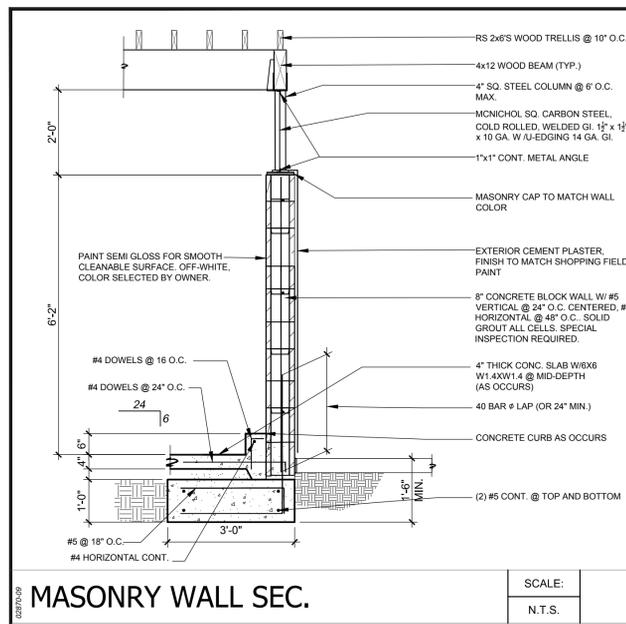


SCALE  
1/16"=1'-0"

1

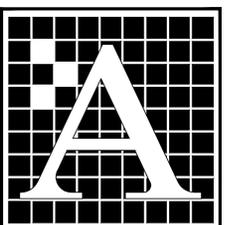
EXISTING SITE PLAN

A1.0



**Shopping Center Preliminary Parking Calculation**  
5933 State Street, Huntington Park, CA 90255

Space name	Space name	SF	zoning req.	Required Parking Stalls
5933 State St	Waba Grill	SA	954 1 per 100	9.5
	NSA	1025 1 per 400	2.56	
	Total			13
5935 State St	Asian Kitchen	NSA	935 1 per 400	2.34
	Total			3
5939 State St	Taste of India	SA	350 1 per 100	3.5
	NSA	566 1 per 400	1.42	
	Total			5
5937 State St	Panda Garden	SA	258 1 per 100	2.58
	NSA	676 1 per 400	1.69	
	Total			5
5941 State St	Circle K	SA	2657 1 per 400 sf Retail	7
	Total			2657
5943 State St	Cosmo Prof.	SA	2144 1 per 400 sf Retail	6
	Total			2144
5945 State St	Edible Arrange	SA	916 1 per 400 sf Retail	3
	Total			916
5947 State St	Celia's Ins.	SA	939 1 per 400 sf Service	3
	Total			939
5949 State St	Dialysis	SA	5099 1 per 300 Medical Clinic	17
	Total			5099
<b>Total Parking Required</b>				<b>62</b>
<b>Handicap Accessible</b>				2- (40 to 80)
<b>Parking Provided</b>				
Standard	8'-6"x18'-6"		49	
Compact	8'x16'		11 (17%)	
Handicap Accessible	9'x18'		5	
<b>Total Parking Provided:</b>			<b>65</b>	
Motorcycle Parking	8'x16'		1 (EXCLUDED)	



**ARCHITECTRONIX, INC.**  
250 N. GOLDEN CIRCLE DR., SUITE 204  
SANTA ANA, CA 92705 714-836-0702

**SIGNIFICANT DATES**

DATE	DESCRIPTION
02-11-2020	PLANNING DEPARTMENT
04-01-2020	PLANNING DEPARTMENT
06-02-2020	PLANNING DEPARTMENT
06-18-2020	PLANNING DEPARTMENT

All ideas, drawings, and specifications shown hereon are the property of Architectronix and shall not be used, copied, reproduced, or disclosed to any person, firm, or corporation, without the written consent of Architectronix. Any infringement will be subject to legal action. Contractors shall verify and be responsible for all dimensions and conditions on the job and notify this office of any variations from dimensions and conditions shown hereon. Written dimensions take precedence over scaled dimensions.

**CENTRO DE CUIDADO RENAL, LLC.**  
5949 STATE STREET  
HUNTINGTON PARK, CA 90255  
DIALYSIS CENTER

**SITE PLAN**

DRAWN:	MN
SCALE:	AS INDICATED
JOB NO.:	432-03
DATE:	06-18-2020
RELEASE DATE:	
CAD NAME:	43203A11
SHEET NO.:	

**A1.1**

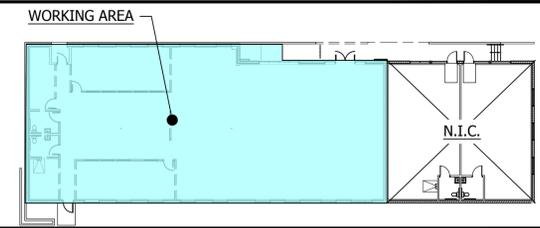
**SITE PLAN**

SCALE	1
1/16"=1'-0"	

- 1 (E) EXTERIOR BUILDING WALL TO REMAIN
- 2 (E) STOREFRONT WINDOW TO REMAIN, U.N.O.
- 3 (E) CONCRETE CURB TO REMAIN
- 4 (E) CONCRETE CURB AND RAMP TO REMOVED AND REPLACED WITH NEW
- 5 (E) WALL TO REMAIN
- 6 (E) WINDOW TO BE REMOVED
- 7 (E) DOOR TO BE REMOVED
- 8 (E) CONCRETE WALK WAY TO REMAIN
- 9 (E) BUILDING COLUMN TO REMAIN
- 10 (E) WALL TO BE REMOVED
- 11 DEMOLISH (E) FLOOR FINISH. PREPARE TO RECEIVE NEW FINISH PER SCHEDULE
- 12 REMOVE ALL (E) CEILING GRIDS, TILES
- 13 (E) CEILING LIGHTS TO BE REMOVED
- 14 (E) MECHANICAL HVAC TO BE REMOVED
- 15 (E) FIRE SPRINKLER HEADS, SPEAKERS, SMOKE DETECTORS, FIRE ALARM STROBE LIGHT, E.T.C... TO REMAIN, RELOCATE AS REQUIRED
- 16 (E) PLUMBING FIXTURE TO BE REMOVED

- 17 REMOVE (E) FLOOR DRAIN
- 18 REMOVE (E) ROOF ACCESS AND LADDER
- 19 (E) RECESSED FLOOR TO BE FILL WITH CONCRETE TO MATCH EXISTING
- 20 (E) BIKE RACK TO BE RELOCATED

NOTE: VERIFY ALL DIMENSIONS IN FIELD PRIOR TO DEMOLITION

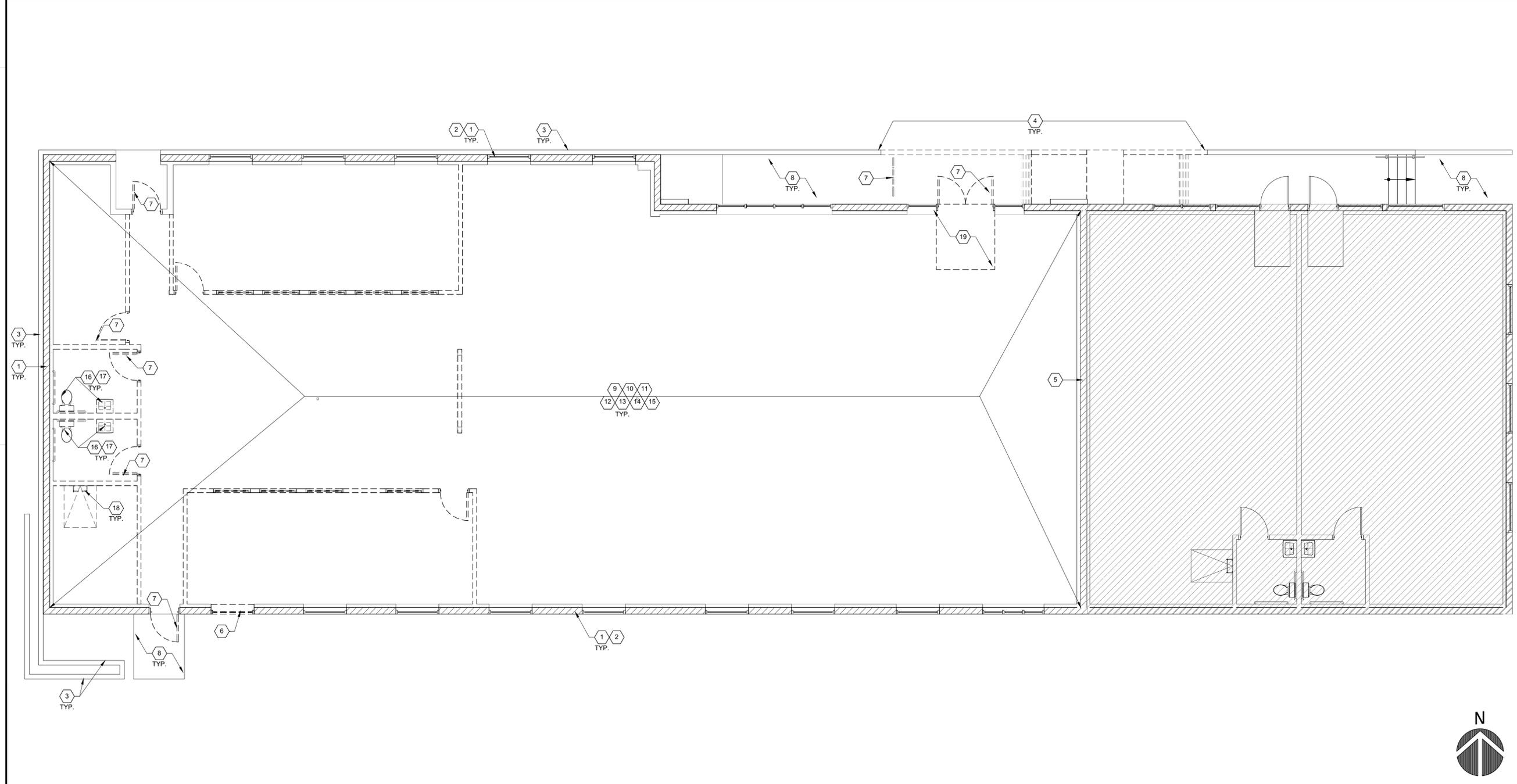


KEY PLAN

- (E) CONCRETE BLOCK WALL TO REMAIN, U.N.O.
- (E) WALL TO BE REMOVED.
- (E) EXTERIOR WINDOW TO REMAIN, U.N.O.
- (E) WINDOW TO BE REMOVED.
- NOT IN CONSTRUCTION AREA
- (E) DOOR TO BE REMOVED.

KEY NOTES

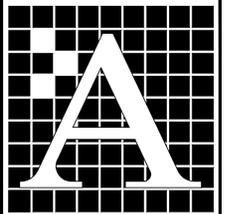
LEGENDS



DEMOLITION PLAN

SCALE  
3/16"=1'-0"

1



ARCHITECTRONIX, INC.  
250 N. GOLDEN CIRCLE DR., SUITE 204  
SANTA ANA, CA 92705 714-836-0702

SIGNIFICANT DATES	
DATE	DESCRIPTION
02-11-2020	PLANNING DEPARTMENT
04-01-2020	PLANNING DEPARTMENT
06-02-2020	PLANNING DEPARTMENT
06-18-2020	PLANNING DEPARTMENT

All ideas, drawings, and specifications shown hereon are the property of Architectronix and shall not be used, copied, reproduced, or disclosed to any person, firm, or corporation, without the written consent of Architectronix. Any infringement will be subject to legal action. Contractors shall verify and be responsible for all dimensions and conditions on the job and notify this office of any variations from dimensions and conditions shown herewith. Written dimensions take precedence over scaled dimensions.

**CENTRO DE CUIDADO RENAL, LLC.**  
5949 STATE STREET  
HUNTINGTON PARK, CA 90255  
DIALYSIS CENTER

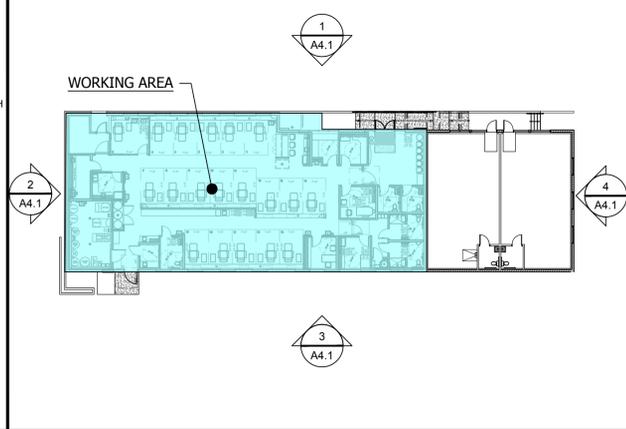
EXISTING  
FLOOR / DEMO PLAN

DRAWN:	MN
SCALE:	AS INDICATED
JOB NO.:	432-03
DATE:	06-18-2020
RELEASE DATE:	
CAD NAME:	42401A20
SHEET NO.:	

**A2.0**

	(E) EXTERIOR CMU WALL
	4" METAL STUD WALL @ 16" O.C. WITH 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD ON BOTH SIDES (UNLESS OTHERWISE NOTED) SEE ARCHITECTURAL SPECIFICATIONS FOR ADDITIONAL INFORMATION. PROVIDE R-11 SOUND INSULATION.
	1-HR RATED WALL: FULL HEIGHT WALL W/ 1 LAYER 5/8" GYP. BD. TYPE 'X' EACH SIDE.
	2-HR RATED WALL: FULL HEIGHT WALL W/ 2 LAYERS 5/8" GYP. BD. TYPE 'X' EACH SIDE.
	54" HIGH LOW WALL W/ 18" HIGH GLASS
	ROOM NAME
	ROOM NUMBER
	WHEELCHAIR ACCESSIBLE SEATING SPACE, FOR SECTION AND KNEE AND TOE CLEARANCES CBC SECTION 11B-305 & 11B-306
	WHEELCHAIR ACCESSIBLE CLEAR SPACE AND MANEUVERING CLEARANCES, FOR SECTION AND KNEE AND TOE CLEARANCES CBC SECTION 11B-305 & 11B-306
	WHEELCHAIR ACCESSIBLE TURNING SPACE, CBC SECTION 11B-304
	ILLUMINATED EXIT SIGN CEILING MOUNTED
	WINDOW SYMBOL / GLAZE TYPE. SEE SHEET A6.0
	DOOR NUMBER (SEE SHEET A6.0) FOR CHANGES IN LEVEL SEE SHEET FA-1 SECTION 11B-303 3" MAX @ THRESHOLD AND 2% MAX. SLOPE AT BOTH LANDINGS
	R.O. SYSTEM COMPONENT, SEE R.O. KEYNOTES

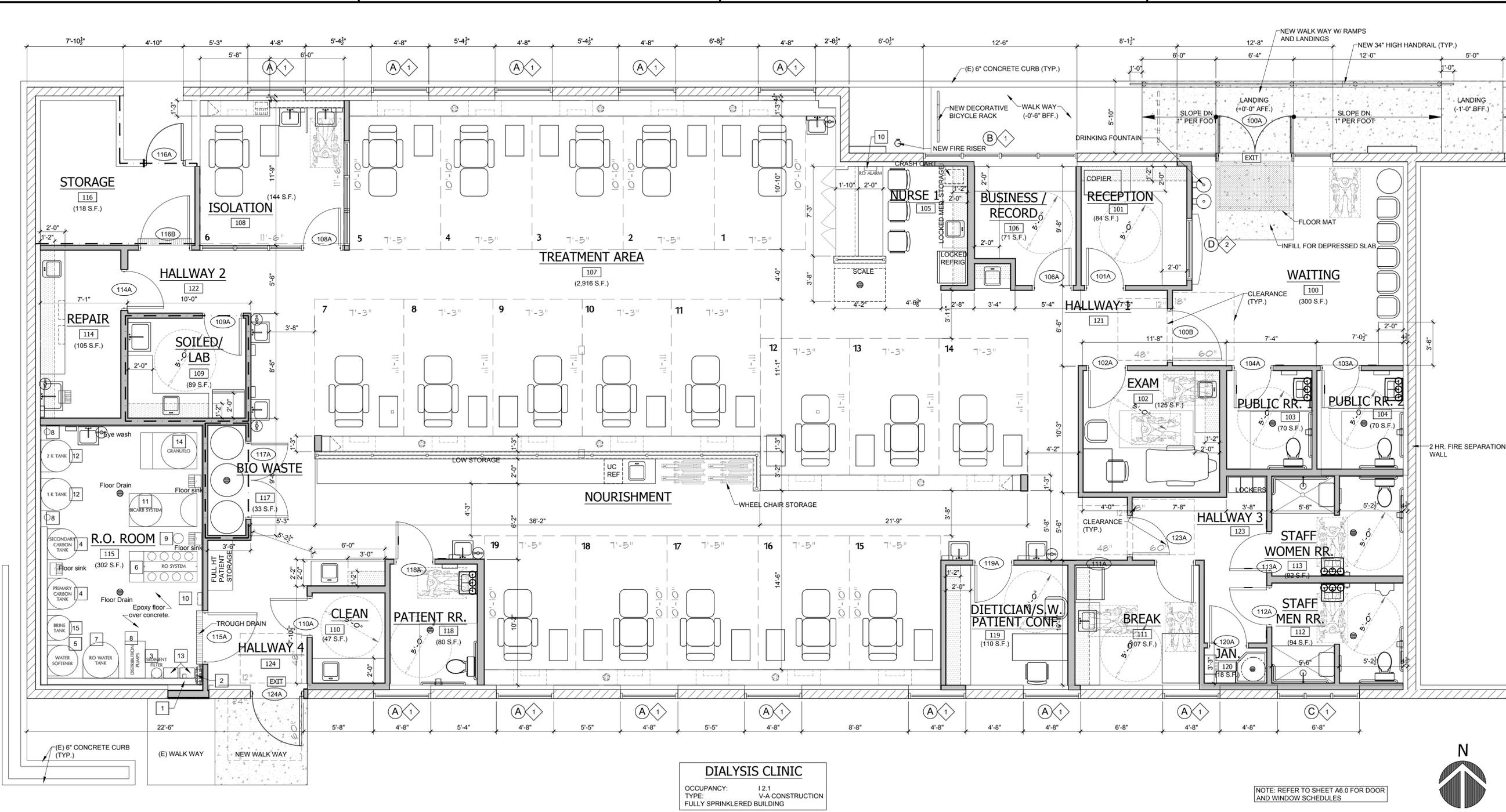
- BLEND VALVE 1" BRONZE
- CITY WATER VARIABLE PRESSURE BOOSTER PUMP - CME GRUNDFOS (CUT SHEET ATTACHED)
- MULTI MEDIA FILTER 1.5 CUBIC FEET, CLACK AUTOMATIC VALVE, 10"D X 54"H, 7.0 GPM FEED FLOW / 7.0 GPM BACKWASH FOR 10 MIN, SINGLE UNIT
- CARBON FILTERS, DUAL, 10 CUBIC FEET EACH, 24"D X 72"H, 10 MIN EBCT EACH, IN SERIES, CLACK AUTOMATIC VALVE, 25 GPM BACKWASH
- WATER SOFTENER, 3 CUBIC FEET, 90KG, 14"D X 65"H, 5 GPM BACKWASH FLOW RATE, SINGLE UNIT
- RO UNIT, 3 MEMBRANE, 4.6 GPM AT 77F - (PATIENT NEED IS 4.15 BASED ON 19 CHAIRS)
- RO WATER STORAGE TANK ASSEMBLY, 250 GALLON WITH SENSORS, CONICAL BOTTOM
- DISTRIBUTION PUMPS & PUMP PANEL, DUAL 1.5HP GRUNDFOS CRI 5-3 PUMPS, 230V/60HZ/3 PHASE
- ENDOTOXIN FINAL FILTER HOUSINGS AND CARTRIDGES, PALL 0.2/222-ORING, 20 GPM MAX. FLOW
- NURSE STATION ALARM PANEL(S) : ONE AT NURSES STATION, THE OTHER IN THE WATER ROOM?
- BICARB SYSTEM, 100/185 GALLON
- RO ACID TANKS
- TANKLESS WATER HEATER - RINAI
- GRANUFLO EQUIPMENT
- BRINE TANK



LEGEND

R.O. KEY NOTES

KEY PLAN

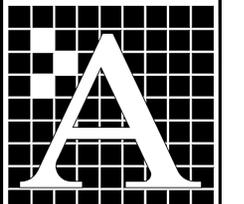


**DIALYSIS CLINIC**  
 OCCUPANCY: 121  
 TYPE: V-A CONSTRUCTION  
 FULLY SPRINKLERED BUILDING

NOTE: REFER TO SHEET A6.0 FOR DOOR AND WINDOW SCHEDULES



SCALE  
 1/4"=1'-0"



**ARCHITECTRONIX, INC.**  
 250 N. GOLDEN CIRCLE DR., SUITE 204  
 SANTA ANA, CA 92705 714-836-0702

DATE	DESCRIPTION
02-11-2020	PLANNING DEPARTMENT
04-01-2020	PLANNING DEPARTMENT
06-02-2020	PLANNING DEPARTMENT
06-18-2020	PLANNING DEPARTMENT

All ideas, drawings, and specifications shown hereon are the property of Architectronix and shall not be used, copied, reproduced, or disclosed to any person, firm, or corporation, without the written consent of Architectronix. Any infringement will be subject to legal action. Contractors shall verify and be responsible for all dimensions and conditions on the job and notify this office of any variations from dimensions and conditions shown hereon. Written dimensions take precedence over scaled dimensions.

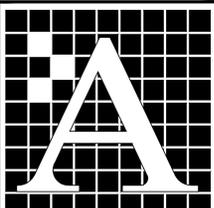
**CENTRO DE CUIDADO RENAL, LLC.**  
 5949 STATE STREET  
 HUNTINGTON PARK, CA 90255  
 DIALYSIS CENTER

PRELIMINARY  
 FLOOR PLAN

DRAWN:	MIN
SCALE:	AS INDICATED
JOB NO.:	432-03
DATE:	06-18-2020
RELEASE DATE:	
CAD NAME:	SK1
SHEET NO.:	

**A2.1**

PRELIMINARY FLOOR PLAN



ARCHITECTONIX, INC.  
250 N. GOLDEN CIRCLE DR., SUITE 204  
SANTA ANA, CA 92705 714-836-0702

SIGNIFICANT DATES	
DATE	DESCRIPTION
02-11-2020	PLANNING DEPARTMENT
04-01-2020	PLANNING DEPARTMENT
06-02-2020	PLANNING DEPARTMENT
06-18-2020	PLANNING DEPARTMENT

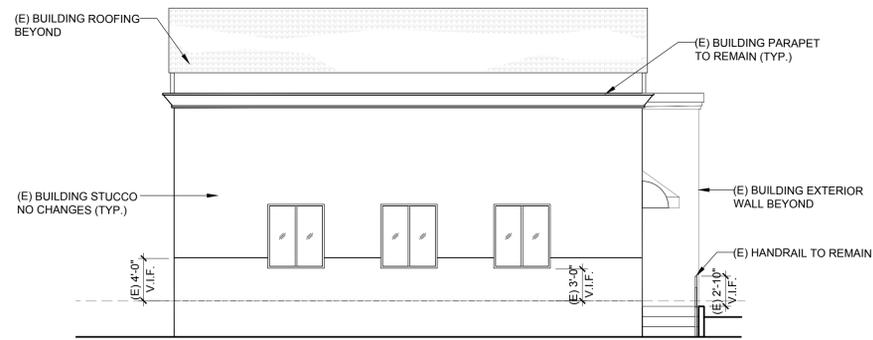
All ideas, drawings, and specifications shown hereon are the property of Architectonix and shall not be used, copied, reproduced, or disclosed to any person, firm, or corporation, without the written consent of Architectonix. Any infringement will be subject to legal action. Contractors shall verify and be responsible for all dimensions and conditions on the job and notify this office of any variations from dimensions and conditions shown herewith. Written dimensions take precedence over scaled dimensions.

**CENTRO DE CUIDADO RENAL, LLC.**  
 5949 STATE STREET  
 HUNTINGTON PARK, CA 90255  
 DIALYSIS CENTER

**EXTERIOR ELEVATIONS**

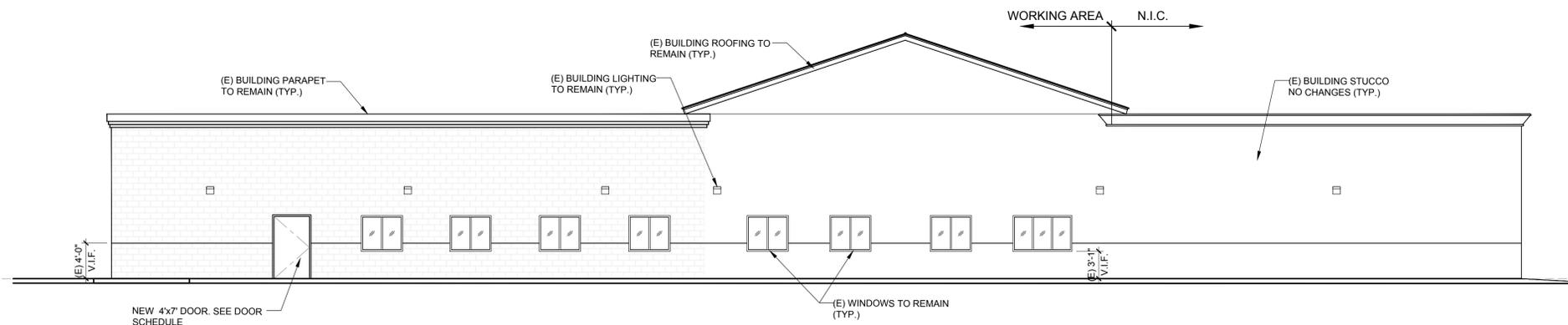
DRAWN:	MN
SCALE:	AS INDICATED
JOB NO.:	432-03
DATE:	06-18-2020
RELEASE DATE:	
CAD NAME:	42401A20
SHEET NO.:	

**A4.1**



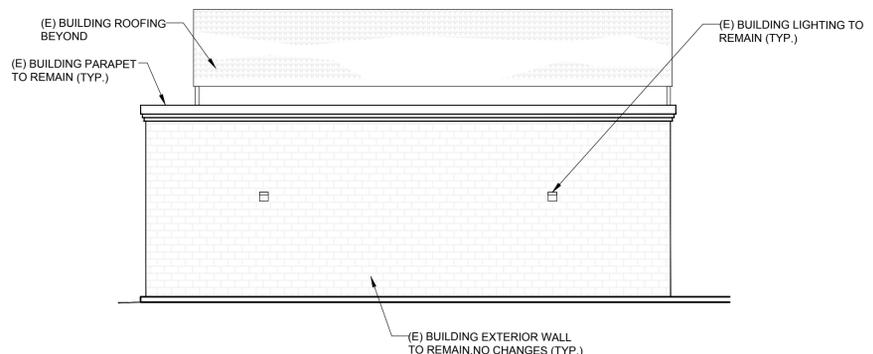
**EAST ELEVATION**

SCALE  
1/8"=1'-0" 4



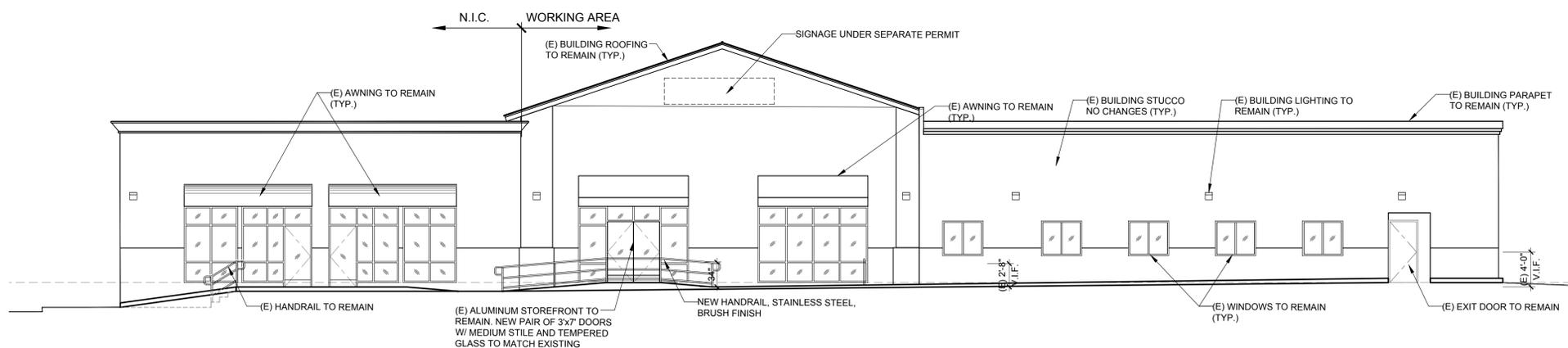
**SOUTH ELEVATION**

SCALE  
1/8"=1'-0" 3



**WEST ELEVATION**

SCALE  
1/8"=1'-0" 2



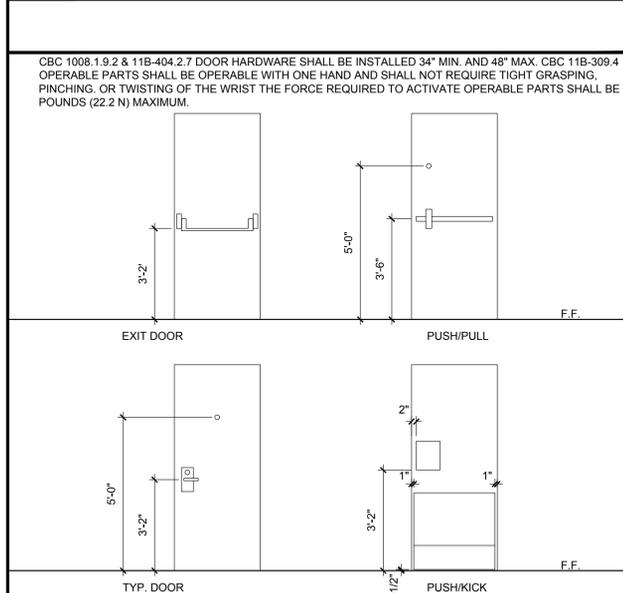
**NORTH ELEVATION**

SCALE  
1/16"=1'-0" 1

<b>FLOORING</b>	SV-1 VINYL SHEET FLOORING MANUFACTURER: ARMSTRONG FLOORING STYLE: 'DECOR ART' CORLON HETEROGENEOUS COLOR: OTTER GRAY 88717	MANUFACTURER: ARMSTRONG STYLE: CIRRUS SECOND LOOK COLOR: WHITE, 1/8" BEVELED
VCT-1 VINYL COMPOSITION TILE MANUFACTURER: ARMSTRONG FLOORING STYLE: 'NATURAL CREATIONS' COLOR: 4" X 36" ROAN OAK COCOA TP037	PL-1 PLASTIC LAMINATE MANUFACTURER: LAMINART PATTERN: 3041 ZANZIBAR EBONY	
RF-1 EPOXY RESIN FLOOR SYSTEM MANUFACTURER: GENERAL POLYMERS STYLE: 'CERAMIC CARPET' NO. 400 COLOR: OCEAN 337	CABINETS: SINK MANUFACTURER: WILSONART PATTERN: CHOCOLATE BROWN GRANITE	
<b>WALLS</b>	SSM-2 SOLID SURFACING MATERIAL @ COUNTERS W/ SINK MANUFACTURER: STARON TEMPEST COLOR: COFFEE BEAN FC158	
P-1 PAINT MANUFACTURER: DUNN EDWARDS DEC 761 COCHISE EGGSHELL ACCENT PAINT DE 6297 PATINA CREEK	DOORS AND FRAMES P-3 PAINT MANUFACTURER: DUNN EDWARDS COLOR: DEW 340 WHISPER, SEMI GLOSS	
<b>BASE</b>	REPRESENTATIVES: STEVE FRIEDMAN ARMSTRONG FLOORING TRI-WEST, LTD. CELL: 714.804.7423 FAX: 714.777.9553 SFRIEDMAN@TRIWESTLTD.COM	
RB-1 RUBBER BASE MANUFACTURER: BURKE COLOR: 201 CHOCOLATE-6" HIGH	SUE EWING PATCRAFT 26 SARENA IRVINE, CA 92612 949.832.3593 SUE.EWING@PATCRAFT.COM	
RF-2 RESINOUS EPOXY BASE MATCH RF-1 HEIGHT 6"		
SV-2 SHEET VINYL BASE MATCH SV-1 SELF FLASH 6"		
<b>BASE COVE</b>		
<b>CEILING</b>		
P-2 PAINT MANUFACTURER: DUNN EDWARDS COLOR: DEW 341-SWISS COFFEE FLAT		
ACT-1 ACOUSTICAL CEILING TILE		

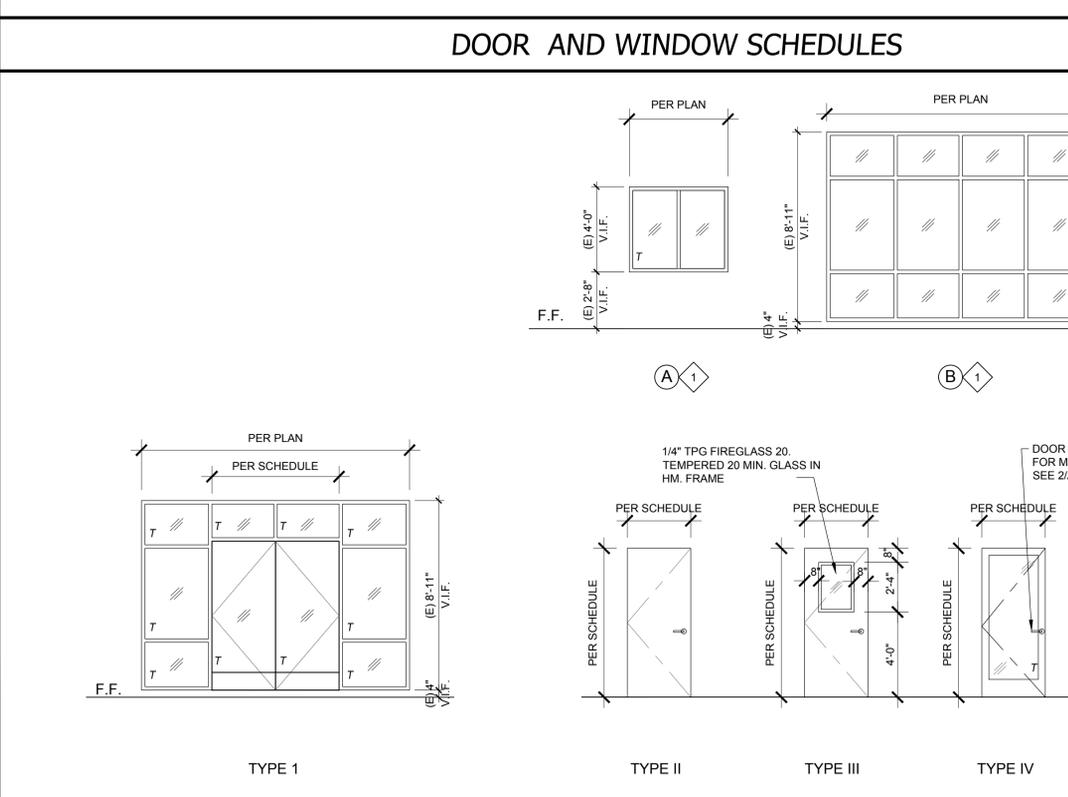
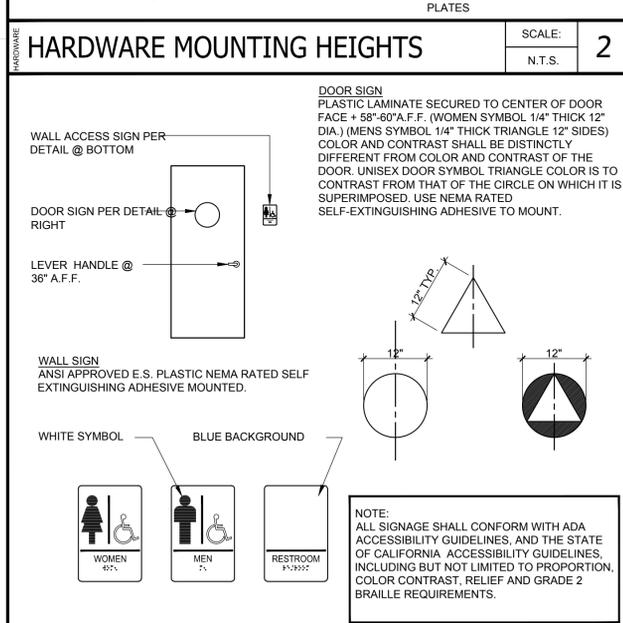
NO.	DIMENSIONS			TYPE	MAT.	FIN.	FIN. PUSH	CORE	FRAME			HDWR SET	ROOM NAME	REMARKS
	WIDTH	HEIGHT	THK.						MAT.	FINISH	RATED			
100A	6'-0"	7'-0"	1 3/4"	I	AL/GL	FF	FF	HC	TL/HM		90MIN.	02	WAITING, EXIT	(11A)(12A) 100 SEE DETAIL 15, 16/A6.2, PANIC HDWR
100B	4'-0"	7'-0"	1 3/4"	IV	LO	FF	FF	SC	TL/HM			03	WAITING, EXIT	(8A)(13A) 100
101A	3'-0"	7'-0"	1 3/4"	III	LO	FF	FF	SC	TL/HM			04	RECEPTION	(8A) 101
102A	3'-0"	7'-0"	1 3/4"	III	W				HM			05	EXAM #1	102
103A	3'-0"	7'-0"	1 3/4"	V	LO	FF	FF	SC	TL/HM			06	PUBLIC RESTROOM 1	(8A) 103
104A	3'-0"	7'-0"	1 3/4"	V	LO	FF	FF	SC	TL/HM			06	PUBLIC RESTROOM 2	(8A) 104
106A	3'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM			09	BUSINESS RECORD	106
108A	3'-0"	7'-0"	1 3/4"	IV	AL/GL	FF	FF	SC	TL/HM			10	ISOLATION	108
109A	3'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM		20MIN.	11	SOILED / LAB	109
110A	3'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM			11	CLEAN	110
111A	3'-0"	7'-0"	1 3/4"	III	W				HM			05	BREAK ROOM	111
112A	3'-0"	7'-0"	1 3/4"	V	LO	FF	FF	SC	TL/HM			12	STAFF MEN RESTROOM	112
113A	3'-0"	7'-0"	1 3/4"	V	LO	FF	FF	SC	TL/HM			12	STAFF WOMEN RESTROOM	113
114A	3'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM			14	REPAIR	114
115A	4'-0"	7'-0"	-	II	HM	FF	FF	-	HM			03	R.O. ROOM	115
116A	3'-0"	7'-0"	1 3/4"	II	HM	FF	FF	-	TL/HM			14	STORAGE	(8A)(3A)(4A)(6A)(7A) 116
116B	4'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM		20MIN.	14	STORAGE	(8A)(3A)(4A)(6A)(7A) 116
117A	3'-0" + 3'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM		20MIN.	15	MED WASTE	117
118A	3'-0"	7'-0"	1 3/4"	V	LO	FF	FF	SC	TL/HM			06	PATIENT RESTROOM	(8A) 120
119A	3'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM			07	DIETICIAN/S.W.	119
120A	3'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM			09	JANITOR	118
122A	3'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM			04	HALLWAY 2	122
123A	3'-0"	7'-0"	1 3/4"	II	LO	FF	FF	SC	TL/HM			04	HALLWAY 3	122
124A	4'-0"	7'-0"	1 3/4"	II	HM	FF	FF	-	HM			01	HALLWAY 4	124 EXIT, TO MATCH EXISTING, PANIC HDWR

NO.	DESCRIPTION	SHGC	U-VALUE WINT. SUM.	SHADING COEF.	REMARKS
1	(E) DUAL INSULATED LOW E GLASS	(E)	(E)	(E)	TO MATCH EXISTING VERIFY IN FIELD
2	1/2" CLEAR TEMP. GLASS	0.90	1.02	0.93	PPG STARTPHIRE GLASS
3	1/2" CLEAR TEMP. GLASS	0.88	0.98	0.89	PPG STARTPHIRE GLASS



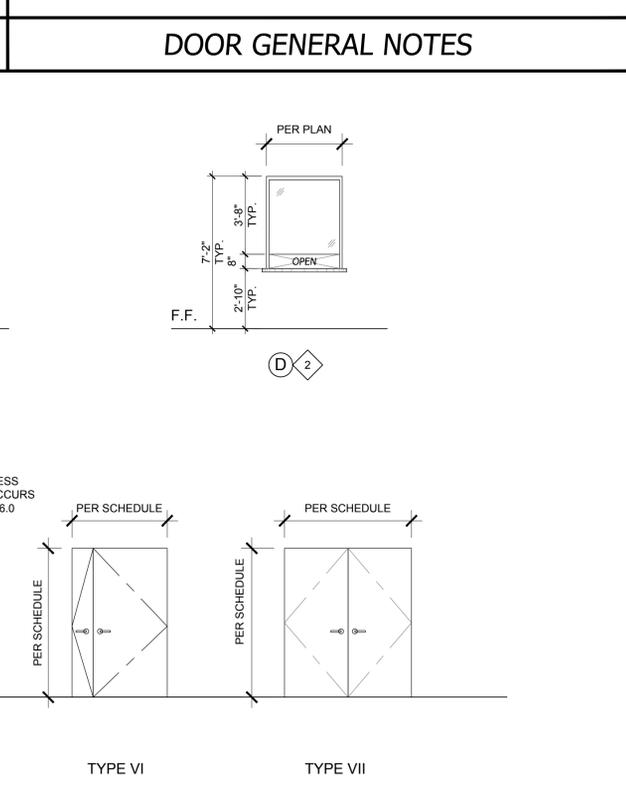
TYPE	DESCRIPTION	SHGC	U-VALUE WINT. SUM.	SHADING COEF.	REMARKS
1	(E) DUAL INSULATED LOW E GLASS	(E)	(E)	(E)	TO MATCH EXISTING VERIFY IN FIELD
2	1/2" CLEAR TEMP. GLASS	0.90	1.02	0.93	PPG STARTPHIRE GLASS
3	1/2" CLEAR TEMP. GLASS	0.88	0.98	0.89	PPG STARTPHIRE GLASS

- NOTES:**
- REFER TO ARCHITECTURAL SPECIFICATIONS FOR SPECIFIC HARDWARE SET INFORMATION.
  - REFER TO A6.1 FOR FINISH AND MATERIAL SCHEDULE SPECIFICATIONS.
  - PROVIDE PANIC HARDWARE AT ALL EXITS.
- DOOR NOTES:**
- DOOR JAMBS COLOR ICI #122 ZANZIBAR COAST 10YR 10/174.
  - PROVIDE DISABLED ACCESS SIGNAGE ON RESTROOM DOORS PER NOTES ON SHEETS FA1, FA2.
  - "T" DENOTES TEMPERED GLASS. PROVIDE SAFETY GLASS WITHIN 24" FROM ANY DOOR SWING.
  - ALL INTERIOR DOORS & FRAMES ARE TIMELY LEGACY OAK BROWN.



Room No.	Room Name	FLOOR BASE	WALLS				CEILING
			N	E	S	W	FIN.
100	WAITING	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
101	RECEPTION	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
102	EXAM	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
103	PUBLIC R.R. 1	SV-1	SV-2	P-1	P-1	P-1	P-2
104	PUBLIC R.R. 2	SV-1	SV-2	P-1	P-1	P-1	P-2
105	NURSE	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
106	BUSINESS / RECORD	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
107	TREATMENT AREA	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
108	ISOLATION	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
109	SOILED / LAB	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
110	CLEAN	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
111	BREAK ROOM	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
112	STAFF MEN'S R.R.	SV-1	SV-2	P-1	P-1	P-1	P-2
113	STAFF WOMEN'S R.R.	SV-1	SV-2	P-1	P-1	P-1	P-2
114	REPAIR	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
115	R.O. ROOM	EPOXY	RF-2	PLW/FRP	PLW/FRP	PLW/FRP	P-2
116	STORAGE	EPOXY	RF-2	P-1	P-1	P-1	ACT-1
117	MED WASTE	EPOXY	RF-2	P-1	P-1	P-1	P-2
118	PATIENT R.R.	SV-1	SV-2	P-1	P-1	P-1	P-2
119	DIETICIAN / S.W.	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
120	JANITOR	SV-1	SV-2	P-1	P-1	P-1	P-2
121	HALLWAY #1	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
122	HALLWAY #2	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
123	HALLWAY #3	VCT-1	RB-1	P-1	P-1	P-1	ACT-1
124	HALLWAY #4	VCT-1	RB-1	P-1	P-1	P-1	ACT-1

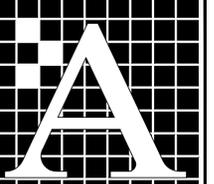
- ### INTERIOR FINISHES
- ALL REQUIRED EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
  - ALL REQUIRED SHALL BE SIZED NOT LESS THAN 3'-0" WIDE AND NOT LESS 6'-8" HIGH, CAPABLE OF OPENING 90° AND MOUNTED SO THAT HE CLEAR WIDTH OF THE EXIT WAY IS A MINIMUM 32" MAX.
  - EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR AND INTERIOR DOORS. WHERE FIRE DOORS ARE REQUIRED, MAX. EFFORT SHALL NOT EXCEED 15 LBS. SEC 113B2.5.
  - LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN THE PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, BY PANIC BARS, PUSH/PULL ACTIVATED BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
  - PANIC HARDWARE DEVICES SHALL BE PROVIDED ON EXIT DOORS SERVING AN OCCUPANT LOAD OF 50 OR MORE.
  - PROVIDE WALL MOUNTED OR FLOOR MOUNTED DOOR STOPS FOR ALL DOORS.
  - INTERIOR AND EXTERIOR THRESHOLDS SHOULD BE < 1/2" MAX. ABOVE THE FLOOR LEVEL. EXPOSED EDGE SHALL BE SLOPED OR BEVELED TO MAX. 45° WITH MAXIMUM 1/4" CHANGE IN VERTICAL ELEVATION.
  - THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENING BY A WHEELCHAIR FOOTREST.
  - ALL REQ. EXIT DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL.
  - DOORS IN CORRIDORS SHALL HAVE SMOKE & DRAFT GASKETS AT HEAD AND JAMBS.
  - PROVIDE NON-REMOVABLE PINS ON ALL HINGES, WHICH ARE ACCESSIBLE FROM THE EXTERIOR.
  - PROVIDE CYLINDER GUARD ON ALL MORTISED OR RIM TYPE CYLINDER LOCKS, WHICH PROJECT BEYOND THE FACE OF DOOR.
  - PROVIDE STRAIGHT DEAD BOLTS WITH A MIN. THROW OF 1" AND MIN. EMBED. OF 5/8" INTO THE HOLDING DEVICE RECEIVING THE DEAD BOLT AT EXT. DOORS.
  - DOOR SIGNAGE FOR HANDICAPPED RESTROOMS: PROVIDE A SIGN AT APPROPRIATE TOILET DOOR INDICATING THAT HANDICAP TOILET FACILITY ONLY IS LOCATED BEYOND A SPECIFIC DOOR. MENS: PROVIDE 1/4" THK. EQUILATERAL TRIANGLE W/12" LONG SIDES AND VERTEX POINTING UPWARD. WOMENS: PROVIDE 1/4" THK. 12" DIA. CIRCLE. NOTE: CENTER THE SYMBOLS ON THE DOOR AT A HEIGHT OF 60" OFF THE FINISH FLOOR. SYMBOLS ARE TO BE DISTINCTLY DIFFERENT IN COLOR & CONTRAST.
  - ALL HARDWARE TO HAVE A STAINLESS STEEL SATIN FINISH.
  - THE RESTROOM DOORS SHALL BE TIGHT FITTING AND EQUIPPED WITH SELF CLOSING DEVICES.
  - PROVIDE LEVER HARDWARE FOR ALL DOORS



<b>DOOR SIGNAGE DETAILS/NOTES</b>	SCALE: 3"=1'-0"	1
-----------------------------------	-----------------	---

<b>DOOR AND WINDOW TYPE</b>	
-----------------------------	--

<b>DOOR GENERAL NOTES</b>	
---------------------------	--



**ARCHITECTONIX, INC.**  
250 N. GOLDEN CIRCLE DR., SUITE 204  
SANTA ANA, CA 92705 714-836-0702

SIGNIFICANT DATES	
DATE	DESCRIPTION
02-11-2020	PLANNING DEPARTMENT
04-01-2020	PLANNING DEPARTMENT
06-02-2020	PLANNING DEPARTMENT
06-18-2020	PLANNING DEPARTMENT

All ideas, drawings, and specifications shown hereon are the property of Architectonix, Inc. and shall not be used, copied, reproduced, or disclosed to any person, firm, or corporation, without the written consent of Architectonix, Inc. Any infringement will be subject to legal action. Contractors shall verify and be responsible for all dimensions and conditions on the job and notify this office of any variations from dimensions and conditions shown herewith. Written dimensions take precedence over scaled dimensions.

**CENTRO DE CUIDADO RENAL, LLC.**  
5949 STATE STREET  
HUNTINGTON PARK, CA 90255  
DIALYSIS CENTER

<b>INTERIOR FINISH DOOR SCHEDULES AND DETAILS</b>
DRAWN: JMR
SCALE: PER PLAN
JOB NO.: 432-03
DATE: 06-18-2020
RELEASE DATE:
CAD NAME: 42401A60
SHEET NO.:

A6.0

# **SITE PHOTOS**

**EXHIBIT F**

**CASE NO.** 2020-03 DP

Centro De Cuidado Renal, LLC.

5949 State Street  
Huntington Park, CA 90255

DEVELOPMENT PERMIT APPLICATION  
# 2020-01

## SITE PHOTOS

May 2020





AERIAL PHOTO OF SURROUNDING NEIGHBORHOOD

The subject property, addressed as 5949 State Street (also referred to as Boyle Avenue), is located at the western end of Building 2 of the Belstate Shopping Center. The center is located at the NWC of Belgrave Avenue and State St. and is part of the Home Depot Center with both of the center entrances from State Street serving as access to/from the Home Depot Center. In addition to Home Depot/Staples to the immediate West and North, the subject property is bounded by a major warehouse/distribution center across State Street to the East and automotive repair facilities to the South across Belgrave Avenue. There is an apartment complex also located immediately to the Southwest also across Belgrave Avenue.



1. VIEW OF BELSTATE SHOPPING CENTER FROM STATE ST. LOOKING SW



2. VIEW OF BUILDING #2 (SUBJECT PROPERTY) FROM STATE ST. LOOKING SW. BLDG #1 AT RIGHT



3. VIEW FROM STATE ST. LOOKING WEST DOWN BELGRAVE AVE. AUTOMOTIVE IS ON LEFT & SITE IS ON THE RIGHT. NOTE APARTMENTS ON LEFT FURTHER DOWN BELGRAVE AVE.



4. VIEW OF APARTMENTS SW OF SITE LOOKING SW ACROSS BELGRAVE AVE.



5. VIEW OF WAREHOUSE/DISTRIBUTION FACILITY ACROSS STATE ST. TO THE EAST OF THE SUBJECT SITE FROM INTERSECTION OF SLAUSON & STATE LOOKING SE



6. VIEW OF STAPLES IMMEDIATELY NORTH OF CENTER FROM STATE ST. LOOKING SW



7. VIEW OF SUBJECT SITE (BLDG #2) FROM INTERSECTION OF STATE ST. & BELGRAVE AVE. LOOKING NW



8. VIEW OF REAR (SOUTH ELEVATION) OF SUBJECT SITE (BLDG #2). REAR DOOR OF SUBJECT LEASEHOLD (TO BE RELOCATED) SHOWN IN FOREGROUND



9. EXISTING TRASH ENCLOSURE & PARKING BEHIND BLDG #1

**APPLICATION AND ENVIORNMENTAL  
ASSESSMENT CHECKLIST**

**EXHIBIT G**

**CASE NO.** 2020-03 DP



**CITY OF HUNTINGTON PARK**

Community Development Dept. • Planning Division  
6550 Miles Avenue, Huntington Park, CA 90255  
Tel. (323) 584-6210 • planning@hpca.gov

RECEIVED  
JUN 24 2020

**DEVELOPMENT PERMIT APPLICATION**

**FOR OFFICE USE ONLY**

Date Filed: 6/30/20 File No.: 2020-03 DP Fee/Receipt No.: \$1,875.00 Initials: G.D.

**PROJECT INFORMATION**

Project Address: 5949 State Street  
General Location: NWC State Street & Belgrave Avenue  
Assessor's Parcel Number (APN): 6310-018-015

**APPLICANT'S INFORMATION**

Applicant: Centro De Ciudad Renal, LLC  
Mailing Address: 25276 Via Entrada, Laguna Niguel, CA 96277  
Phone 1: (714) 654-0465 Phone 2: \_\_\_\_\_ Email: \_\_\_\_\_

**PROPERTY OWNER'S INFORMATION**

Property Owner: Chun Jong & Kyong Ja Park, Trustees of the 2004 Park Family Trust - Michele Ju Owner's Rep.  
Mailing Address: 4311 Wilshire Boulevard #508 Los Angeles, CA 90010  
Phone 1: (213) 276-2345 Phone 2: \_\_\_\_\_ Email: michelleju100@yahoo.com

**PROJECT DESCRIPTION (Check as Appropriate):**

Interior Improvement(s) Only       Addition to Existing Structure       New Structure  
Other Improvements (Describe): Interior tenant improvements along with replacement of a trash enclosure & site striping to create 2 loading zones  
Describe in detail the proposed development: \_\_\_\_\_  
Proposed conversion of 5,099 sf of retail space (formerly occupied by a child learning center) for a medical treatment facility providing dialysis. Along with the TI, the applicant will be adding a loading zone & replacing trash enclosure as well as restriping the entire center.

**TYPE OF USE (Check as Appropriate):**

Residential       Retail/Office       Commercial       Restaurant       Industrial/ Manufacturing  
Other (Describe): Medical - Medical Clinic

Square Footage of New Development/Addition: -0-  
Total Square Footage: 5,099  
Lot Coverage: N/A      Off-Street Parking Spaces Provided: 65      No. of Floors: 1

**CERTIFICATE AND AFFIDAVIT OF APPLICANT:** I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.

[Signature]  
Signature of Applicant

6-17-20  
Date



**CITY OF HUNTINGTON PARK**  
 Community Development Dept. • Planning Division  
 6550 Miles Avenue, Huntington Park, CA 90255  
 Tel. (323) 584-6210 • [planning@huntingtonpark.org](mailto:planning@huntingtonpark.org)

# ENVIRONMENTAL INFORMATION FORM

**FOR OFFICE USE ONLY**

Date Filed: \_\_\_\_\_ File No.: \_\_\_\_\_ Fee/Receipt No.: \_\_\_\_\_ Initials: \_\_\_\_\_

1. **Applicant** (please circle whether Owner, Leasee, Purchaser or Representative):

Name: Centro De Ciudad Renal, LLC  
 Address: 25276 Via Entrada, Laguna Niguel, CA 92677  
 Telephone: (714) 654-0465 Fax: (866) 735-9057

2. **Contact Person concerning this project:**

Name: John Rix / Scott Duffner | jrix@architectronix.com | sfduffner@gmail.com  
 Address: 250 North Golden Circle Drive Suite 250 Santa Ana, CA 92705  
 Telephone: (714) 836-0702 Fax: \_\_\_\_\_

3. **Address of project:** 5949 State Street / Boyle Avenue Huntington Park, CA

4. **Assessor's Parcel Number (APN):** 6310-018-015

5. **Indicate type of permit application(s)** (i.e. Conditional Use Permit, Development Permit, Variance, etc.) **for the project to which this form pertains:**

Development Permit

6. **List any other permits and/or other public agency approvals required for this project, including those required by City, County, State and/or Federal agencies:**

City Building Permits (Building, Mechanical, Electrical, Plumbing & Fire) & County Industrial Waste & Health

7. **Existing Zone:** CG - Commercial General

8. **Proposed use of site:** Retail Strip Center

9. **Site size** (lot dimensions and square footage):  
 (326.60' x 159.24'x 326.43'x 166.81') 53,244 Sq.Ft. or 1.22 Ac.  
 \_\_\_\_\_  
 \_\_\_\_\_
10. **Project size:**  
 Square feet to be added/constructed to structure(s):  
 Area of existing leasehold is 5,099 Sq.Ft. - No square footage is to be added to the structure  
 \_\_\_\_\_  
 Total square footage of structure(s): Bldg #1 - 10,180 Sq.Ft. Bldg #2 - 7,351 Sq.Ft.  
 \_\_\_\_\_
11. **Number of floors of construction:**  
 Existing: One (1) Floor  
 Proposed: One (1) Floor  
 \_\_\_\_\_
12. **Parking:**  
 Amount required: Sixty Two (62) Spaces  
 Amount provided: Sixty Five (65) Spaces (+ 1 Motorcycle Stall)  
 \_\_\_\_\_
13. **Anticipated time scheduling of project:** To start construction in early 3rd quarter for opening before end of year  
 \_\_\_\_\_
14. **Proposed phasing of development:** No Phasing is proposed  
 \_\_\_\_\_  
 \_\_\_\_\_
15. **If residential, include number of units, schedule of unit sizes, range of sale/rent prices, and type of household size expected:**  
 \_\_\_\_\_  
 N/A  
 \_\_\_\_\_  
 \_\_\_\_\_
16. **If commercial, indicate the type of commercial use, estimated employment per shift, proposed hours of operations, indicate whether neighborhood, City or Regionally oriented, square footage of sales area, and loading locations:**  
 \_\_\_\_\_  
 See attached Operating Plan for details regarding proposed employment, shifts & hours of operation.  
 \_\_\_\_\_  
 The facility is anticipated to serve patients predominantly located within a 3-5 mile radius. Loading & trash removal are expected to take place at the service entry located at the NWC of the building.  
 \_\_\_\_\_

17. If industrial, indicate type of industrial or manufacturing use, estimated employment per shift, proposed hours of operations, and loading locations:

N/A

---

---

---

---

18. If institutional, indicate type of institutional use, estimated employment per shift, proposed hours of operations, estimated occupancy, loading locations, and community benefits to be derived from the project:

N/A

---

---

---

---

Please complete numbers 19 through 33 by marking "A" through "D" and briefly discuss any items marked "A" "B" or "C" (attach additional sheets as necessary). Items marked "D" do not need discussion.

A) Potentially Significant Impact

B) Potentially Significant Impact Unless Mitigation Incorporated

C) Less than Significant Impact

D) No Impact

**AESTHETICS**

19. Would the proposed project:

- a. Affect a scenic vista? D
- b. Have a demonstrable negative aesthetic effect? D
- c. Create light or glare? D

**AIR QUALITY**

20. Would the proposed project:

- a. Affect air quality or contribute to an existing or projected air quality violation? D
- b. Create or cause smoke, ash, or fumes in the vicinity? D
- c. Create objectionable odors? D

**BIOLOGICAL RESOURCES**

**21. Would the proposed project:**

- a. Remove of any existing trees or landscaping? D

**CULTURAL RESOURCES:**

**22. Would the proposed project:**

- a. Affect historical resources? D
- b. Have the potential to cause a significant physical change which would affect unique ethnic cultural values? D

**GEOLOGY AND SOILS**

**23. Would the proposed project:**

- a. Result in erosion, changes in topography or unstable soil conditions from excavation, grading or fill? D
- b. Be located on expansive soils? D
- c. Result in unique geologic or physical features? D

**HAZARDS**

**24. Would the proposed project:**

- a. Create a risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)? D
- b. The use or disposal of potentially hazardous materials (i.e. toxic or flammable substances)? D
- c. The creation of any health hazard or potential health hazard? D
- d. Exposure of people to existing sources of potential health hazards? D

**HYDROLOGY AND WATER QUALITY**

**25. Would the proposed project:**

- a. Change water drainage patterns? D
- b. Change the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capabilities? D

- c. Impact groundwater quality? D
- d. Substantially reduce the amount of groundwater otherwise available for public water supplies? D

**LAND USE AND PLANNING**

**26. Would the proposed project:**

- a. Conflict with the Zoning or General Plan designation? D
- b. Be incompatible with existing land use in the vicinity? D
- c. Disrupt or divide the physical arrangement of an established community? D

**MINERAL AND ENERGY RESOURCES**

**27. Would the proposed project:**

- a. Conflict with the conservation of water? D
- b. Use non-renewable resources in a wasteful and/or inefficient manner? D
- c. Substantially increase energy consumption (i.e. electricity, oil, natural gas, etc.)? D

**NOISE**

**28. Would the proposed project result in:**

- a. Increase to existing noise levels? D
- b. Exposure of people to severe noise levels? D

**POPULATION AND HOUSING**

**29. Would the proposed project:**

- a. Induce substantial growth in an area either directly or indirectly (i.e. through population growth or infrastructure use)? D
- b. Displace existing housing, especially affordable housing? D

**PUBLIC SERVICES**

**30. Would the proposal result in a need for new or altered government services for any of the following public services:**

- a. Fire protection? D

- b. Police protection? D
- c. Schools? D
- d. Maintenance of public facilities, including roads? D
- e. Other governmental services? D

**RECREATION**

**31. Would the proposed project:**

- a. Increase the demand for neighborhood or regional parks or other recreational facilities? D
- b. Affect existing recreational opportunities? D

**TRANSPORTATION AND TRAFFIC**

**32. Would the proposed project:**

- a. Increase vehicle trips or traffic congestion? D
- b. Increase hazards to safety from design features (i.e. sharp curves or dangerous intersections)? D
- c. Inadequate access to nearby uses? D
- d. Insufficient on-site parking capacity? D
- e. Hazards or barriers for pedestrians or bicyclists? D

**UTILITIES AND SERVICE SYSTEMS**

**33. Would the proposed project result in a need for new systems or supplies, or alterations to the following utilities:**

- a. Power or natural gas? D
- b. Communications systems? D
- c. Local or regional water treatment or distribution facilities? D
- d. Sewer or septic tanks? D
- e. Storm water drainage? D
- f. Solid waste disposal? D
- g. Local or regional water supplies? D

**34. Describe the project site as it exists before the project, including any existing structures on the site, and the use of the structures (i.e. residential, commercial, industrial, etc.) Attach photographs of the site and of the surrounding land uses.**

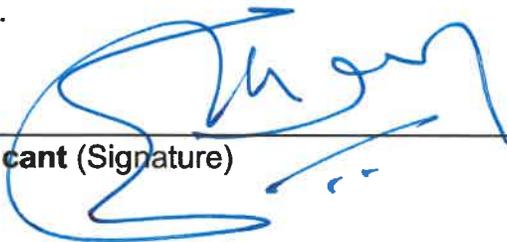
The site is currently a vacant space within the Belstate Plaza Shopping Center comprised of Two (2) rectangular shaped retail strip storefronts comprised of retail, restaurant, convenience store & small insurance office. Bldg 1 has approximately 10,180 sq. ft. of area while Bldg 2 approximately 7,351. The subject use is going into a long vacant space located in Bldg 2. The center is situated at the SEC of the Home Depot Site where it shares access to State St./Boyle Ave.

**35. Describe the intensity of land use (i.e. single-family, apartment dwellings, shopping center, etc.), and specifications of development (i.e. height, primary frontage, secondary frontage, setbacks, rear yard, etc.).**

The immediate area is fully developed as retail/industrial use with the closest residential being apartments located to the west & across Belgrave Avenue. The subject property does not have any access to Belgrave Ave. Given the proposed use is entirely internal most patients utilize 3rd party transportation, no impacts such as noise, traffic or overt demand for parking are anticipated. The proposed site improvements to trash & loading facilities should actually improve land use on site.

**CERTIFICATION:** I hereby certify that the statements furnished above and in the attached plans present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.

Applicant (Signature)



Date

6-17-20