



AGENDA

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, August 21, 2019 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Any person who requires a disability-related modification or accommodation, including auxiliary aids or services, in order to participate in the public meeting may request such modification, accommodation, aid or service by contacting the City Clerk's Office either in person at 6550 Miles Avenue, Huntington Park, California or by telephone at (323) 584-6230. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

NOTE: Any person who has a question concerning any agenda item may contact the Community Development Department at (323) 584-6210. Materials related to an item on this agenda are available for inspection in the office of the Community Development Department at 6550 Miles Avenue, Huntington Park, California during the hours of 7:00 a.m. to 5:30 p.m., Monday through Thursday.

Assembly Bill No. 2674 amended several provisions of the Ralph M. Brown Act (Section 54950 et seq. of the Government Code) effective January 1, 1987. This bill prohibits the legislative body from taking any action on any item, which did not appear on the agenda, which was posted 24 hours prior to the Planning Commission meeting. If action is necessary on subject matter, which the public presents, the matter should be presented in writing to the Planning Division for placement on the agenda by Thursday noon prior to the next Planning Commission meeting.

CALL TO ORDER

ROLL CALL

Chair Jonathan Sanabria
Vice Chair Irving Pacheco
Commissioner Angelica Montes
Commissioner Eduardo Carvajal
Commissioner VACANT

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

*For both open and closed session each speaker will be limited to three minutes per Huntington Park Municipal Code Section 2-1.207. Time limits may not be shared with other speakers and may not accumulate from one period of public comment to another or from one meeting to another. **This is the only opportunity for public input except for scheduled public hearing items.***

CONSENT ITEMS

All matters listed under the Consent Calendar are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items prior to the time the Commission votes on the motion unless members of the Commission, staff, or the public request specific items to be discussed and/or removed from the Consent Calendar for separate action.

1. Approval of Planning Commission Meeting Minutes:

- 1-1. Regular Meeting of June 19, 2019
- 1-2. Special Meeting of July 9, 2019

REGULAR AGENDA

PUBLIC HEARING

1. CASE NO. 2019-06 CUP/MCUP – CONDITIONAL USE PERMIT/MINOR CONDITIONAL USE PERMIT– A REQUEST FOR A CONDITIONAL USE PERMIT TO LEGALIZE AN EXPANSION OF A LAUNDROMAT BUSINESS AND A MINOR CONDITIONAL USE PERMIT TO ALLOW VENDING MACHINES WITHIN THE EXPANSION AREA ON PROPERTY LOCATED AT 2528 SLAUSON AVENUE WITHIN THE COMMERCIAL GENERAL (C-G) ZONE

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

- 1. Conduct a public hearing;
- 2. Take public testimony; and
- 3. Approval of PC Resolution No. 2019-06, approving a Conditional Use Permit and a Minor Conditional Use Permit in connection with property located at 2528 Slauson Avenue, within the Commercial General (C-G) zone.

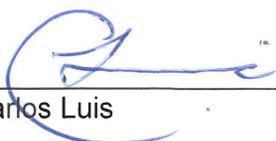
STAFF COMMENTS

PLANNING COMMISSION COMMENTS

ADJOURNMENT

The City of Huntington Park Planning Commission will adjourn to the Regular Meeting on Wednesday, September 18, 2019 at 6:30 p.m.

I, Carlos Luis, hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted at City of Huntington City Hall and made available at www.hpca.gov on the 15th of August 2019.



Carlos Luis



MINUTES

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, June 19, 2019 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chair Montes called the meeting to order at 6:30 p.m. PRESENT: Commissioner(s): Chair Jonathan Sanabria, Angelica Montes, and Vice Chair Irving Pacheco (VACANT) 1. ABSENT: Commissioner(s): Eduardo Carvajal.

STAFF PRESENT: Senior Planner Carlos Luis; Deputy City Attorney Vanessa Ibarra; Associate Planner Gabriel Diaz.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Chair Sanabria.

PUBLIC COMMENT – None.

CONSENT ITEMS –

1. Approval of Planning Commission Meeting Minutes:

- 1-1. Regular Meeting of February 20, 2019
- 1-2. Regular Meeting of March 20, 2019
- 1-3. Regular Meeting of May 15, 2019

Motion: Commissioner Montes motioned to approve the Consent Items including Regular Meeting of February 20, 2019, Regular Meeting of March 20, 2019, and Regular Meeting of May 15, 2019, seconded by Vice Chair Pacheco. Motion passed 3-0-1, by the following Vote:

ROLL CALL:

AYES:	Commissioner(s):	Vice Chair Pacheco, Montes, and Chair Sanabria
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Chair Carvajal

REGULAR AGENDA

1. **DANCE AND ENTERTAINMENT PERMIT NO. 2018-03** – A request for Planning Commission approval of a Dance and Entertainment Permit for an existing restaurant with on-sale of beer and wine for property located at 6103 Pacific Boulevard, within the Downtown Specific Plan, District A (Gateway) zone.

Senior Planner, Carlos Luis, announced the item and presented a staff report and a PowerPoint presentation.

Chair Sanabria opened public comment.

PUBLIC COMMENT

1. Applicant, Anibal Aguirre, spoke in support of the project.
2. Sergeant Moretti of Huntington Park Police Department, addressed the Planning Commission and expressed concerns with the following: 1) Disposal of trash outside facility during evening hours and the noise caused by the disposal, 2) Documented ABC violations involving three (3) incidents where sales to minors took place, and 3) A recommendation to maintain security 30 minutes after establishment closes if the Entertainment and Dance Permits are approved.
3. Applicant, Anibal Aguirre, spoke in support of the project and answered the Planning Commissioner's questions about the project and issues raised by Police Department.
4. Frederick Lopez, Manager of the Restaurant, spoke in support of the project.

Chair Sanabria closed public comment.

CONDITIONS OF APPROVAL

After community discussion, the Planning Commission requested the following additional conditions of approval:

Include conditional requirement that the item be brought back in one year for a status update; and

Patrons under twenty-one (21) years of age shall not be permitted to enter, or to remain on the premises, after 10 PM when dance and entertainment is provided. The permittee shall establish protocols that will prevent the consumption of alcohol by patrons who are not twenty-one (21) years of age; and

Speakers be reoriented away from any openings of the facility; and

Full restaurant menu be available during all hours of operation; and

One security guard shall be located at the entrance of the establishment to monitor the entry and exit of patrons to minimize any noise spillage onto the exterior of the building, street, and adjacent properties.

Motion: Commissioner Montes motioned to adopt a modified Dance and Entertainment Permit No. 2018-03 – A request for Planning Commission approval of a Dance and Entertainment schedule for Permit for an existing restaurant with on-sale of beer and wine for property located at 6103 Pacific Boulevard, within the Downtown Specific Plan, District A (Gateway) zone with amended Conditions of Approval, seconded by Vice Chair Pacheco. Motion passed 3-0-1, by the following Vote:

ROLL CALL:

AYES:	Commissioner(s):	Vice Chair Pacheco, Montes, and Chair Sanabria
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Chair Carvajal

PUBLIC HEARING

1. **CASE NO. 2019-05 ZOA – ZONING ORDINANCE AMENDMENT (Continued to the July 21, 2019 Planning Commission Meeting)** – A zoning ordinance amendment amending various sections of Huntington Park Municipal Code and the adoption of a Negative Declaration under the California Environmental Quality Act.

Senior Planner, Carlos Luis introduced the item and introduced Associate Planner, Gabriel Diaz who presented a staff report presentation.

Associate Planner, Gabriel Diaz, entered a written communication into the record from property owner, Andy Kaplan expressing his opposition for the proposed Zoning Ordinance Amendment.

Chair Sanabria opened public comment.

PUBLIC COMMENT

1. Property Owner, Andy Klapkin voiced his concern for the project.
2. Property Owner, Manuel Castillo, voiced his concern for the project.

Chair Sanabria closed public comment.

Motion: Chair Pacheco motioned to continue Case No. 2019-05 ZOA – Zoning Ordinance Amendment, a zoning ordinance amendment amending various sections of Huntington Park Municipal Code and the adoption of a Negative Declaration under the California Environmental Quality Act, seconded by Commissioner Montes. Motion passed 3-0-1, by the following Vote:

ROLL CALL:

AYES:	Commissioner(s):	Vice Chair Pacheco, Montes, and Chair Sanabria
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Chair Carvajal

STAFF COMMENTS

Senior Planner, Carlos Luis, thanked the Planning Commission for their hard work

PLANNING COMMISSION COMMENTS

Commissioner Pacheco thanked staff for their hard work.

Commissioner Montes thanked staff for their hard work.

Chair Sanabria thanked staff for their hard work.

ADJOURNMENT

At 8:34 pm Chair Sanabria adjourned the City of Huntington Park Planning Commission to a Regular Meeting on Wednesday, July 21, 2019 at 6:30 p.m.

Respectfully Submitted,

Carlos Luis
Secretary

DRAFT



MINUTES

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Special Meeting
Tuesday, July 9, 2019 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chair Sanabria called the meeting to order at 6:34 p.m. PRESENT: Commissioner(s): Chair Jonathan Sanabria, Angelica Montes, and Vice Chair Irving Pacheco (VACANT) 1. ABSENT: Commissioner(s): Eduardo Carvajal.

STAFF PRESENT: Senior Planner Carlos Luis; Deputy City Attorney Vanessa Ibarra; Associate Planner Gabriel Diaz.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Chair Sanabria.

PUBLIC COMMENT – None.

CONSENT ITEMS –

1. Approval of Planning Commission Meeting Minutes:

- 1-1. Regular Meeting of July 18, 2018
- 1-2. Regular Meeting of December 19, 2018
- 1-3. Special Meeting of April 30, 2019

Motion: Vice Chair Pacheco motioned to approve the Consent Items including Regular Meeting of July 18, 2018, Regular Meeting of December 19, 2018, and Special Meeting of April 30, 2019, seconded by Commissioner Montes. Motion passed 3-0-1, by the following Vote:

ROLL CALL:

AYES:	Commissioner(s):	Vice Chair Pacheco, Montes, and Chair Sanabria
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Chair Carvajal

PUBLIC HEARING

1. Continued from the Regular Planning Commission Meeting of June 19, 2019 - CASE NO. 2019-05 ZOA – ZONING ORDINANCE AMENDMENT – A zoning ordinance amendment amending various sections of Huntington Park Municipal Code and the adoption of a Negative Declaration under the California Environmental Quality Act.

Senior Planner, Carlos Luis introduced the item and introduced Associate Planner, Gabriel Diaz who presented a staff report presentation.

Chair Sanabria opened public comment.

PUBLIC COMMENT

1. Property Owner, Andy Kaplin, voiced his concern for the Zoning Changes and questioned why the Planning Commission called for a special meeting.
2. Property Owner, Miguel Castillo, voiced his concern for the Zoning Changes, felt the changes were rushed, and questioned the cities priorities.
3. Resident, Rodolfo Cruz, voiced his concern for the Zoning Changes.

Chair Sanabria closed public comment.

Motion 1: Chair Sanabria motioned to approve Case No. 2019-05 ZOA – Zoning Ordinance Amendment, a zoning ordinance amendment amending various sections of Huntington Park Municipal Code and the adoption of a Negative Declaration under the California Environmental Quality Act, with modifications to Section 9-2.101 to relocate various permit sections into table in code and Section 9-3.804 to change some language in Manufacturing Planned Development Use Table, seconded by Commissioner Montes. Motion did not pass with a 2-0-1-1, by the following Vote:

ROLL CALL:

AYES:	Commissioner(s):	Montes and Chair Sanabria
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Chair Carvajal
ABSTAIN:	Commissioner(s):	Vice Chair Pacheco

Commissioner Pacheco recommended city council appropriately notice and outreach for the Zone Ordinance Amendment.

Director of Community Development, Sergio Infanzon, noted the Zoning Ordinance Amendment Changes have been published and advertised on multiple occasions. He urged the Planning Commission to vote on the item at this meeting.

Motion 2: Chair Sanabria motioned to approve Case No. 2019-05 ZOA – Zoning Ordinance Amendment, a zoning ordinance amendment amending various sections of Huntington Park Municipal Code and the adoption of a Negative Declaration under the California Environmental Quality Act, with modifications with modifications to Section 9-2.101 to relocate various permit sections into table in code and Section 9-3.804 to change some language in Manufacturing Planned Development Use Table, seconded by Commissioner Montes. Motion passed 3-0-1, by the following Vote:

ROLL CALL:

AYES:	Commissioner(s):	Vice Chair Pacheco, Montes, and Chair Sanabria
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Chair Carvajal

STAFF COMMENTS

Senior Planner, Carlos Luis, thanked everyone for their hard work

PLANNING COMMISSION COMMENTS

Commissioner Pacheco thanked staff for their hard work.

Commissioner Montes thanked staff for their hard work.

Chair Sanabria thanked staff for their hard work and for the community for showing up.

ADJOURNMENT

At 8:00 pm Chair Sanabria adjourned the City of Huntington Park Planning Commission to a Regular Meeting on Wednesday, August 21, 2019 at 6:30 p.m.

Respectfully Submitted,

Carlos Luis
Secretary

DRAFT



CITY OF HUNTINGTON PARK

PLANNING DIVISION AGENDA REPORT

DATE: AUGUST 21, 2019

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTN: CARLOS LUIS, SENIOR PLANNER

FROM: SUSANA MARTINEZ, ASSISTANT PLANNER

SUBJECT: PLANNING COMMISSION CASE NO. 2019-06 CUP/MCUP
(CONDITIONAL USE PERMIT/MINOR CONDITIONAL USE PERMIT)

REQUEST: A REQUEST FOR A CONDITIONAL USE PERMIT TO LEGALIZE AN EXPANSION OF A LAUNDROMAT BUSINESS AND MINOR CONDITIONAL USE TO ALLOW VENDING MACHINES WITHIN THE EXPANSION AREA ON PROPERTY LOCATED AT 2528 SLAUSON AVENUE, WITHIN THE COMMERCIAL GENERAL (C-G) ZONE.

APPLICANT: Mr. Daniel Ko and Mrs. Janie Ko
3573 Mulford Avenue,
Lynwood, CA 90262

PROPERTY OWNER: Lee Mansick Trust

PROPERTY OWNER'S MAILING ADDRESS: 2528 Slauson Avenue,
Huntington Park, CA 90255

PROJECT LOCATION: 2528 Slauson Avenue

ASSESSOR'S PARCEL NUMBER: 6320-002-080

PRESENT USE: Laundromat

PROPOSED IMPROVEMENT: 599 square foot expansion

SITE SIZE: ±14,870

GENERAL PLAN: Commercial General (C-G)

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 2 of 16

ZONE: Commercial General (C-G)

**SURROUNDING
LAND USES:**

North: Commercial

West: Commercial

South: Residential

East: Commercial

**MUNICIPAL CODE
APPLICABILITY OF
REQUIREMENTS FOR
CONDITIONAL USE
PERMIT:**

In accordance with Chapter 4, Article 2, Section 9-4.202; laundromat (retail only) are allowable in the Commercial General Zone subject to the approval of a Conditional Use Permit.

**REQUIRED FINDINGS
FOR A CONDITIONAL
USE PERMIT:**

Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Commission may approve and/or modify a CUP application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 3 of 16

public interest, health, safety, convenience, or welfare of the City;

5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

**MUNICIPAL CODE
REQUIREMENTS FOR A
MINOR CONDITIONAL USE
PERMIT:**

In accordance with Chapter 4, Article 2, Section 9-4.203.K; interior vending machines are allowable in the Commercial General Zone subject to the approval of a Minor Conditional Use Permit.

**REQUIRED FINDINGS
FOR A MINOR CONDITIONAL
USE PERMIT:**

Pursuant to HMPC Section 9-2.806, a Minor Conditional Use Permit may be approved only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with the purpose/intent of this Code;
2. The proposed use is consistent with the intent of the General Plan;
3. The approval of the Minor Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety convenience or welfare of the City;

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 4 of 16

5. The subject site is physically suitable for the type and density/intensity of use being proposed;
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare; and

**ENVIRONMENTAL
REVIEW:**

Categorically exempt pursuant to Article 19, Class 1, Section 15301, Existing Facilities, Class 32 of the California Environmental Quality Act (CEQA) Guidelines.

**PROJECT
BACKGROUND:**

- ***Site Description***

The subject site measures approximately 14,870 square-feet. The subject site is currently developed with a multitenant commercial building that includes the laundromat, a vacant tenant space (expansion area), and a hair salon/barber shop. The subject site is located on the south side of Slauson Avenue between Malabar Street and Pacific Boulevard. The subject site is surrounded by commercial to the north, east, west, and residential to the south.

- ***Project Proposal***

The applicants, Janine and Daniel Ko, are proposing to legalize the expansion of an existing laundromat business. The existing laundromat measures approximately 2,834 square feet. The proposed expansion area measures approximately 559 square feet. The applicant proposes to provide four (4) vending machines within the expansion area. Lastly, the applicant will install one (1) video game machine within the expansion area.

- ***Business Operation***

The existing laundromat is operated as “Lugo’s Coin Laundry”, which has been in operation since March of 2015. The business was purchased by Mr. and Mrs. Ko in January of 2019. According to the business operation plan

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 5 of 16

submitted, the laundromat business is a coin operated laundromat with thirty-two (32) washing machines and forty-one (41) dryers. The existing laundromat operates from 6:00 am to 11:00 pm. The last wash is at 9:30 pm. The laundromat employs four (4) employees who oversee the day-to-day maintenance of the facility.

ANALYSIS:

- ***Project Proposal***

The project proposes to legalize the unpermitted expansion of the existing laundromat into the adjacent tenant space identified as 2526 Slauson Avenue. The expansion area was previously a flower and gift shop and has not had an active business license since 2014. The expansion area measures 559 square feet. The applicant is proposing the installation of four (4) vending machines within the expansions area. No additional washers or dryers are proposed within the expansion area. A condition of approval has been included that if any additional dryers or washers are proposed, a modification to the Conditional Use Permit shall be required.

The proposed project also will require the re-striping of portion of the parking lot. The parking stalls located south of the lot have faded parking stalls and cracks in the asphalt. Restriping portion of the lot will ensure the maintenance of the parking lot. In addition, it shall eliminate the “ghosting” of previous parking stalls. A condition of approval has been included that the applicant shall slurry seal and restripe the back portion of the lot. The applicant does not propose any additional square footage to the building. All modifications are within the existing buildings footprint. Lastly, no exterior alterations to the building are proposed.

- ***Vending Machines***

Pursuant to HPMC section 9-2.806 the approval of a Minor Conditional Use Permit is required for interior vending machines. The applicant is proposing four (4) vending machines within the expansion area. Per the applicant business operation plan the vending machines will provide water gallon fill up, soft drinks, snacks, and laundry items (e.g. detergent, softener, dryer sheets, etc.). The vending machines are proposed to be located along the south wall

of the expansion area (Exhibit E). The vending machines shall comply with all City development standards, which encourages for any proposed vending machines to be located within a fully enclosed building, not blocking any window or door access. In addition, the vending machines shall comply with all Health and Safety Code requirements. A condition of approval has been included to ensure all Health and Safety Code requirements.

- **Off-Street Parking and Loading**

Pursuant to the HPMC Section 9-3.804, the parking requirement for a coin operated laundromat facility is one (1) space per four-hundred (400) square feet of gross floor area. In accordance with the City’s parking standards, the total off-street number of parking required for the proposed laundromat is nine (9) parking spaces.

In addition, the site has an existing hair salon/barber shop on site. Pursuant to the HPMC, the parking requirement for a hair/barber salon is one (1) space per six-hundred (600) square-feet of gross floor area. The total off-street number of parking required for the hair salon is one (1) parking space.

The total number of off-street parking required for the entire site is ten (10) spaces. The existing parking lot has twenty-four (24) parking spaces. As a result, a surplus of fourteen (14) parking space will exist.

The parking calculations are summarized in the following table:

Off-Street Parking Requirement		
Parking Standards	Required	Provided
Laundromat	Ratio: 1/400 sf (3,393 sf/400 = 8.4= 9)	24
Hair Salon	Ratio: 1/600 sf (510 sf/600 = 0.85 = 1)	
Total	10	Surplus 14

The existing parking lot provides a total of twenty-four (24) parking stalls. The parking lot provides sixteen (16) standard parking stalls, four (4) compact parking stalls, and

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 7 of 16

four (4) ADA parking stalls. The existing parking lot does not provide existing loading stalls.

- ***Condition Use Permit Findings***

In granting a Conditional Use Permit to allow a new self-storage facility, the Planning Commission must make findings in connection with the Conditional Use Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Conditional Use Permit may be approved only if all of the following findings are made:

- 1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code.**

Finding: The proposed laundromat is conditionally permitted within the subject zoning district, pursuant to the Huntington Park Municipal Code, Section 9-4.202. The Commercial General zone is intended to provide for general retail, professional office, and service-oriented business activities serving a community-wide need under design standards that ensure compatibility and harmony with adjoining land uses. The proposed project will expand the existing laundromat into an adjacent existing tenant space and continue to provide laundry services to the community. The project will not add square footage to the existing foot print of the building. Additionally, the proposed project is in compliance with the requirements of the HPMC.

- 2. The proposed use is consistent with the General Plan.**

Finding: The proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 3.0; Policy 3.2 of the Land Use Element of the General Plan by promoting vigorous enforcement of City codes, including building, zoning, and health and safety, to promote property maintenance by providing all new infrastructure to meet development standards in the designated zone. The approval of a Conditional Use Permit will bring the property closer to compliance with current code requirements for a laundromat. In addition, it will be required that the

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 8 of 16

applicant slurry seal and restripe faded parking stalls, which will provide additional maintenance of the property.

- 3. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.**

Finding: An environmental assessment has been conducted for this project in compliance with the California Environmental Quality Act (CEQA). The project is Categorically exempt pursuant to Article 19, Class 1, Section 15301, Existing Facilities, Class 32 of the California Environmental Quality Act (CEQA) Guidelines.

- 4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City.**

Finding: The proposed project is located on a lot that measures approximately 14,870 square feet. The design location, size, and operating characteristic of the expansion of the laundromat facility is not expected to be detrimental to the public health, safety, and welfare of the City. The proposed project will be compatible to the surrounding area and existing commercial building. The existing laundromat is located near similar commercial uses that provide services to the community. The expansion of the laundromat will utilize the existing footprint of the building. No additional square footage is proposed to be added to the existing laundromat. Lastly, the laundromat has operated without any documented violations since 2016.

- 5. The subject site is physically suitable for the type and density/intensity of use being proposed;**

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 9 of 16

Finding: The project site measures approximately 14,870 square feet. The existing laundromat will expand into an adjacent existing tenant space. The project does not propose additional square footage to the existing building. In addition, the project complies with the HPMC parking standards and will have a surplus of parking. Lastly, the laundromat has operated without any documented violations since 2016.

- 6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed use would not be detrimental to public health, safety and general welfare.**

Finding: Vehicular and pedestrian access to the site is provided through Slauson Avenue and Rugby Avenue. The project will utilize existing infrastructure and public utilities. The surrounding area is completely developed with public access, water sanitation, and other public utilities. The expansion will not impeded the accessibility to public access, water, sanitation, or other public utilities and services. It is anticipated that the proposed expansion will not be detrimental to public health, safety and general welfare and will be required to comply with all building code requirements.

- ***Minor Conditional Use Permit Findings***

Pursuant to HMPC Section 9-2.1003, a Minor Conditional Use Permit is required for the approval of interior vending machines in the applicable zoning district;

In granting a Minor Conditional Use Permit, the Planning Commission must make findings in connection with the Minor Conditional Use Permit, as set forth in the Huntington Park Municipal Code. Pursuant to HMPC Section 9-2.806, a Minor Conditional Use Permit may be approved only if all of the following findings are made:

- 1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with the purpose/intent of this Code.**

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 10 of 16

Finding: The proposed laundromat is conditionally permitted within the subject zoning district, pursuant to the Huntington Park Municipal Code, Section 9-4.202. The Commercial General zone is intended to provide for general retail, professional office, and service-oriented business activities serving a community-wide need under design standards that ensure compatibility and harmony with adjoining land uses. The proposed project will expand the existing laundromat into an adjacent existing tenant space and continue to provide laundry services to the community. The project will not add square footage to the existing foot print of the building. Additionally, the proposed project is in compliance with the requirements of the HPMC.

2. The proposed use is consistent with the General Plan.

Finding: The proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 3.0; Policy 3.2 of the Land Use Element of the General Plan by promoting vigorous enforcement of City codes, including building, zoning, and health and safety, to promote property maintenance by providing all new infrastructure to meet development standards in the designated zone. The approval of a Conditional Use Permit will bring the property closer to compliance with current code requirements for a laundromat. In addition, it will be required that the applicant slurry seal and restripe faded parking stalls, which will provide additional maintenance of the property.

3. The approval of the Minor Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines

Finding: An environmental assessment has been conducted for this project in compliance with the California Environmental Quality Act (CEQA). The project is Categorically exempt pursuant to Article 19, Class 1, Section 15301, Existing Facilities, Class 32 of the California Environmental Quality Act (CEQA) Guidelines.

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 11 of 16

- 4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City**

Finding: The proposed project is located on a lot that measures approximately 14,870 square feet. The design location, size, and operating characteristic of the expansion of the laundromat facility is not expected to be detrimental to the public health, safety, and welfare of the City. The proposed project will be compatible to the surrounding area and existing commercial building. The existing laundromat is located near similar commercial uses that provide services to the community. The expansion of the laundromat will utilize the existing footprint of the building. No additional square footage is proposed to be added to the existing laundromat. Lastly, the laundromat has operated without any documented violations since 2016.

- 5. The subject site is physically suitable for the type and density/intensity of use being proposed.**

Finding: The project site measures approximately 14,870 square feet. The existing laundromat will expand into an adjacent existing tenant space. The project does not propose additional square footage to the existing building. In addition, the project complies with the HPMC parking standards and will have a surplus of parking. Lastly, the laundromat has operated without any documented violations since 2016.

- 6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare.**

Finding: Vehicular and pedestrian access to the site is provided through Slauson Avenue and Rugby Avenue. The project will utilize existing infrastructure and public

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 12 of 16

utilities. The surrounding area is completely developed with public access, water sanitation, and other public utilities. The expansion will not impeded the accessibility to public access, water, sanitation, or other public utilities and services. It is anticipated that the proposed expansion will not be detrimental to public health, safety and general welfare and will be required to comply with all building code requirements.

RECOMMENDATION:

Based on the evidence presented, it is the recommendation of Planning Division that the Planning Commission **approve Case No. 2019-06 CUP/MCUP**, subject to the following proposed conditions of approval and/or other conditions that the Planning Commission may wish to impose.

CONDITIONS OF APPROVAL:

PLANNING

1. The applicant/property owner and each successor in interest to the property which is the subject of this project shall defend, indemnify and hold harmless the City of Huntington Park and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, City Council, or Planning Commission. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. The proposed project shall comply with all applicable federal, state and local agency codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Zoning, and Business License Regulations of the City of Huntington Park.
4. The property be developed and maintained in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal Code.
5. All proposed on-site utilities, including electrical and equipment wiring, shall be installed underground and/or routed along the ground floor and shall be completely concealed from public view as required by the City prior to authorization to operate.

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 13 of 16

6. Any existing and/or future graffiti, as defined by the Huntington Park Municipal Code Section 5-27.02(d), shall be diligently removed within a reasonable time period.
7. The operator shall amend their City of Huntington Park Business License prior to commencing business operations.
8. This entitlement shall be subject to review for compliance with conditions of the approval at such intervals as the City Planning Commission shall deem appropriate.
9. The violation of any of the conditions of this entitlement may result in a citation(s) and/or the revocation of the entitlement.
10. This entitlement may be subject to additional conditions after its original issuance, upon a duly noticed public hearing item. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
11. The laundromat shall have a total of forty-one (41) dryers and thirty-two (32) washing machines. The installation or modifications resulting in additional dryers or washing machines shall require a modification to the Conditional Use Permit.
12. The laundromat shall have a total of four (4) vending machines. Installation of additional vending machines shall require a modification to the Minor Conditional Use Permit.
13. Vending machines shall not block any door way entrances, windows, or store front.
14. No vending machines, including, but not limited to, water, movie/DVD/Blue Ray, newspapers, candy, etc. shall be permitted on the exterior of the laundromat.
15. Prior to the installation of the vending machines, all vending machine companies shall apply and obtain a City business license for each vending machine.
16. No outside storage shall be permitted on the subject site.
17. No payphones shall be allowed on the subject site.
18. All new proposed signs on the site be installed in compliance with the City's sign regulations and that approval be obtained through a Sign Design Review prior to installation. All unpermitted signage on site shall be removed.
19. This entitlement shall expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 14 of 16

20. If the use ceases to operate for a period of six (6) months the entitlement shall be null and void.
21. The unmaintained parking located at the southern portion of the property shall be slurry sealed and re-stripped. Stripping plans shall be submitted to the Planning Division for review and approval.
22. All required off-street parking comply with the minimum dimensions as set forth within the Huntington Park Municipal Code prior to issuance of the Certificate of Occupancy.
23. If the operation of this establishment be granted, deemed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall be reviewed.
24. That the Applicant shall comply with all applicable property development standards including, but not limited to, outdoor storage, fumes and vapors, property maintenance, and noise.
25. The Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
26. That the business owner (Applicant) and property owner agree in writing to the above conditions.

BUILDING AND SAFETY

27. This conditional approval/acceptance is subject to the approvals from other departments including and may not be limited to Planning Division, Engineering, Code Enforcement, and Fire Department.
28. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
29. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
30. Provide plans and calculations to ascertain the existing structure/building is adequate to support the proposed expansion.
31. The CA registered architect or civil engineer shall wet stamp, sign, provide the license expiration date and the signing date on the calculations on every sheet of the plans.

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 15 of 16

32. Provide details and notes to show the storage room in the expansions area to be restored to its original permitted plan as an accessible restroom per 2016 CBC Chapter 11B.
33. Permeant ladders required by CMC 304.3.1.1 shall be constructed in accordance with:
 - a. Side railing shall extend not less than 30 inches above the roof.
 - b. Width shall not be less than 14 inches.
 - c. Rungs spacing shall not exceed 12 inches on center and each rung shall be capable of supporting a 300 pound load.
 - d. Toe space shall be no less than 6 inches.
34. All designs including plans, elevations, details, notes, and calculations shall be in compliance with 2016 CBC, 2016 CC, 2016 CMC and 2016 CFC.

CODE ENFORCEMENT

35. The applicant shall provide routine maintenance to eliminate any trash or litter around the perimeter of the property.
36. All trash originating from the business must be disposed in an approved trash container.
37. The applicant shall provide trash bins adjacent to the vending machine area.
38. The applicant shall install anti-graffiti window fill on all exterior store front windows.
39. All trash enclosures must remain locked and secured at all times.
40. All future temporary or permanent signage shall be approved by the City prior to installation, pursuant to the Huntington Park Municipal Code.
41. Window signage shall not exceed more than twenty-five percent of the window area.

Los Angeles County Department of Public Health

42. All requirements, as deemed necessary by the Los Angeles Department of Public Health during the Plan Check Process, shall be complied with.

Los Angeles County Department of Fire

43. All requirements, as deemed necessary by the Los Angeles Department of Fire during the Plan Check Process, shall be complied with.

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2019-06 CUP/MCUP- 2528 Slauson Avenue

August 21, 2019

Page 16 of 16

EXHIBITS:

- A: PC Resolution No. 2018-09 CUP/DP
- B: Vicinity Map
- C: Assessor's Parcel Map
- D: Site Plan
- E: Floor Plan
- F: Elevation
- G: Business Operation Plan

PC RESOLUTION NO. 2018-09 CUP/DP

EXHIBIT A

CASE NO. 2018-09 CUP/DP

1 **PC RESOLUTION NO. 2019-06**

2 **A REQUEST FOR A CONDITIONAL USE PERMIT TO LEGALIZE AN EXPANSION OF**
3 **A LAUNDROMAT BUSINESS AND MINOR CONDITIONAL USE TO ALLOW**
4 **VENDING MACHINES WITHIN THE EXPANSION AREA ON PROPERTY LOCATED**
5 **AT 2528 SLAUSON AVENUE, WITHIN THE COMMERCIAL GENERAL (C-G) ZONE.**

6 **WHEREAS**, a public hearing was held at City Hall, 6550 Miles Avenue, Huntington
7 Park, California on Wednesday, August 21, 2019 at 6:30 p.m. pursuant to the notice
8 published and posted as required by law in accordance with the provisions of the
9 Huntington Park Municipal Code, upon an application from Mr. Daniel Ko and Mrs.
10 Janine Ko, requesting approval of a Conditional Use Permit to legalize an expansion of a
11 laundromat business and Minor Conditional Use to allow vending machines within the
12 expansion area on property located at 2528 Slauson Avenue, within the Commercial
13 General (C-G) zone, described as:

14 Assessor's Parcel No. 6320-002-080, City of Huntington Park, County of Los
15 Angeles; and

16 **WHEREAS**, the Planning Division has reviewed the request and has found that all of
17 the findings for approval of a Conditional Use Permit and Minor Conditional Use Permit
18 can be made as required by the Municipal Code; and

19 **WHEREAS**, the Planning Commission has considered the environmental impact
20 information relative to the proposed request; and

21 **WHEREAS**, all persons appearing for or against the approval of the Conditional Use
22 Permit and Minor Conditional Use Permit were given the opportunity to be heard in
23 connection with said matter; and

24 **WHEREAS**, all written comments received prior to the hearing, and responses to
25 such comments, were reviewed by the Planning Commission; and

26 **WHEREAS**, the Planning Commission is required to announce its findings and
27 recommendations.

28 **NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF**
HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS

1 **FOLLOWS:**

2 **SECTION 1:** Based on the evidence within staff report and the Environmental
3 Assessment Questionnaire, the Planning Commission adopts the findings in said
4 Questionnaire and determines that the project, as proposed, will have no significant
5 adverse effect on the environment and adopts an Environmental Categorical Exemption
6 (CEQA Guidelines, Section 15301(1a), Existing Facilities).

7 **SECTION 2:** The Planning Commission hereby makes the following findings in
8 connection with the proposed Conditional Use Permit:

9 1. The proposed use is conditionally permitted within, and would not impair the
10 integrity and character of, the subject zoning district and complies with all of the
11 applicable provisions of this Code in that ***the proposed laundromat is***
12 ***conditionally permitted within the subject zoning district, pursuant to the***
13 ***Huntington Park Municipal Code, Section 9-4.202. The Commercial General***
14 ***zone is intended to provide for general retail, professional office, and***
15 ***service-oriented business activities serving a community-wide need under***
16 ***design standards that ensure compatibility and harmony with adjoining land***
17 ***uses. The proposed project will expand the existing laundromat into an***
18 ***adjacent existing tenant space and continue to provide laundry services to***
19 ***the community. The project will not add square footage to the existing foot***
20 ***print of the building. Additionally, the proposed project is in compliance with***
21 ***the requirements of the HPMC.***

22 2. The proposed use is consistent with the General Plan in that ***the proposed***
23 ***project is consistent with the General Plan, specifically, the proposed use is***
24 ***consistent with Goal 3.0; Policy 3.2 of the Land Use Element of the General***
25 ***Plan by promoting vigorous enforcement of City codes, including building,***
26 ***zoning, and health and safety, to promote property maintenance by***
27 ***providing all new infrastructure to meet development standards in the***
28 ***designated zone. The approval of a Conditional Use Permit will bring the***

1 **property closer to compliance with current code requirements for a**
2 **laundromat. In addition, it will be required that the applicant slurry seal and**
3 **restripe faded parking stalls, which will provide additional maintenance of**
4 **the property.**

5 3. The approval of the Conditional Use Permit for the proposed use is in compliance
6 with the requirements of the California Environmental Quality Act (CEQA) and the
7 City's Guidelines in that **An environmental assessment has been conducted for**
8 **this project in compliance with the California Environmental Quality Act**
9 **(CEQA). The project is Categorically exempt pursuant to Article 19, Class 1,**
10 **Section 15301, Existing Facilities, Class 32 of the California Environmental**
11 **Quality Act (CEQA) Guidelines.**

12 4. The design, location, size and operating characteristics of the proposed use are
13 compatible with the existing and planned future land uses within the general area in
14 which the proposed use is to be located and will not create significant noise, traffic
15 or other conditions or situations that may be objectionable or detrimental to other
16 permitted uses operating nearby or adverse to the public interest, health, safety,
17 convenience or welfare of the City in that **the proposed project is located on a lot**
18 **that measures approximately 14,870 square feet. The design location, size,**
19 **and operating characteristic of the expansion of the laundromat facility is not**
20 **expected to be detrimental to the public health, safety, and welfare of the City.**
21 **The proposed project will be compatible to the surrounding area and existing**
22 **commercial building. The existing laundromat is located near similar**
23 **commercial uses that provide services to the community. The expansion of**
24 **the laundromat will utilize the existing footprint of the building. No additional**
25 **square footage is proposed to be added to the existing laundromat. Lastly,**
26 **the laundromat has operated without any documented violations since 2016.**

27 5. The subject site is physically suitable for the type and density/intensity of use being
28 proposed in that **the project site measures approximately 14,870 square feet.**

1 ***The existing laundromat will expand into an adjacent existing tenant space.***
2 ***The project does not propose additional square footage to the existing***
3 ***building. In addition, the project complies with the HPMC parking standards***
4 ***and will have a surplus of parking. Lastly, the laundromat has operated***
5 ***without any documented violations since 2016.***

- 6 6. There are adequate provisions for public access, water, sanitation and public
7 utilities and services to ensure that the proposed use would not be detrimental to
8 public health, safety and general welfare in that ***vehicular and pedestrian access***
9 ***to the site is provided through Slauson Avenue and Rugby Avenue. The***
10 ***project will utilize existing infrastructure and public utilities. The surrounding***
11 ***area is completely developed with public access, water sanitation, and other***
12 ***public utilities. The expansion will not impeded the accessibility to public***
13 ***access, water, sanitation, or other public utilities and services. It is***
14 ***anticipated that the proposed expansion will not be detrimental to public***
15 ***health, safety and general welfare and will be required to comply with all***
16 ***building code requirements.***

17 **SECTION 3:** The Planning Commission hereby makes the following findings in
18 connection with the proposed Minor Conditional Use Permit:

- 19 1. The proposed development is conditionally permitted within, and would not impair
20 the integrity and character of, the subject zoning district and complies with the
21 purposed/intent of this Code ***the proposed laundromat is conditionally***
22 ***permitted within the subject zoning district, pursuant to the Huntington Park***
23 ***Municipal Code, Section 9-4.202. The Commercial General zone is intended***
24 ***to provide for general retail, professional office, and service-oriented***
25 ***business activities serving a community-wide need under design standards***
26 ***that ensure compatibility and harmony with adjoining land uses. The***
27 ***proposed project will expand the existing laundromat into an adjacent***
28 ***existing tenant space and continue to provide laundry services to the***

1 **community. The project will not add square footage to the existing foot print**
2 **of the building. Additionally, the proposed project is in compliance with the**
3 **requirements of the HPMC.**

4 2. The proposed development is consistent with the General Plan in that **the**
5 **proposed project is consistent with the General Plan, specifically, the**
6 **proposed use is consistent with Goal 3.0; Policy 3.2 of the Land Use Element**
7 **of the General Plan by promoting vigorous enforcement of City codes,**
8 **including building, zoning, and health and safety, to promote property**
9 **maintenance by providing all new infrastructure to meet development**
10 **standards in the designated zone. The approval of a Conditional Use Permit**
11 **will bring the property closer to compliance with current code requirements**
12 **for a laundromat. In addition, it will be required that the applicant slurry seal**
13 **and restripe faded parking stalls, which will provide additional maintenance**
14 **of the property.**

15 3. The approval of the Minor Conditional Use Permit for the proposed project is in
16 compliance with the requirements of the California Environmental Quality Act
17 (CEQA) and the City's Guidelines in that **an environmental assessment has**
18 **been conducted for this project in compliance with the California**
19 **Environmental Quality Act (CEQA). The project is Categorically exempt**
20 **pursuant to Article 19, Class 1, Section 15301, Existing Facilities, Class 32 of**
21 **the California Environmental Quality Act (CEQA) Guidelines.**

22 4. The design, location, size and operating characteristics of the proposed use are
23 compatible with the existing and planned future land uses within the general area
24 in which the proposed use is to be located and will not create significant noise,
25 traffic or other conditions or situations that may be objectionable or detrimental to
26 other permitted uses operating nearby or adverse to the public interest, health,
27 safety, convenience or welfare of the City in that **the proposed project is located**
28 **on a lot that measures approximately 14,870 square feet. The design**

1 *location, size, and operating characteristic of the expansion of the*
2 *laundromat facility is not expected to be detrimental to the public health,*
3 *safety, and welfare of the City. The proposed project will be compatible to*
4 *the surrounding area and existing commercial building. The existing*
5 *laundromat is located near similar commercial uses that provide services to*
6 *the community. The expansion of the laundromat will utilize the existing*
7 *footprint of the building. No additional square footage is proposed to be*
8 *added to the existing laundromat. Lastly, the laundromat has operated*
9 *without any documented violations since 2016.*

10 5. The subject site is physically suitable for the type and density/intensity of use being
11 proposed in that *the project site measures approximately 14,870 square feet.*
12 *The existing laundromat will expand into an adjacent existing tenant space.*
13 *The project does not propose additional square footage to the existing*
14 *building. In addition, the project complies with the HPMC parking standards*
15 *and will have a surplus of parking. Lastly, the laundromat has operated*
16 *without any documented violations since 2016.*

17 6. There are adequate provisions for public access, water, sanitation and public
18 utilities and services to ensure that the proposed development would not be
19 detrimental to public health, safety and general welfare in that *vehicular and*
20 *pedestrian access to the site is provided through Slauson Avenue and*
21 *Rugby Avenue. The project will utilize existing infrastructure and public*
22 *utilities. The surrounding area is completely developed with public access,*
23 *water sanitation, and other public utilities. The expansion will not impeded*
24 *the accessibility to public access, water, sanitation, or other public utilities*
25 *and services. It is anticipated that the proposed expansion will not be*
26 *detrimental to public health, safety and general welfare and will be required*
27 *to comply with all building code requirements.*

28 **SECTION 4:** The Planning Commission hereby approves Resolution No. 2019-06

1 CUP/MCUP, subject to the execution and fulfillment of the following conditions:

2 **PLANNING**

- 3 1. The applicant/property owner and each successor in interest to the property which
4 is the subject of this project shall defend, indemnify and hold harmless the City of
5 Huntington Park and its agents, officers, and employees from any claim, action or
6 proceedings, liability cost, including attorney's fees and costs against the City or its
7 agents, officers or employees, to attack, set aside, void or annul any approval of
8 the City, City Council, or Planning Commission. The City shall promptly notify the
9 applicant of any claim, action or proceeding and should cooperate fully in the
10 defense thereof.
- 11 2. Except as set forth in subsequent conditions, all-inclusive, and subject to
12 department corrections and conditions, the property shall be developed
13 substantially in accordance with the applications, environmental assessment, and
14 plans submitted.
- 15 3. The proposed project shall comply with all applicable federal, state and local
16 agency codes, laws, rules, and regulations, including Health, Building and Safety,
17 Fire, Zoning, and Business License Regulations of the City of Huntington Park.
- 18 4. The property be developed and maintained in a clean, neat, quiet, and orderly
19 manner at all times and comply with the property maintenance standards as set
20 forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal
21 Code.
- 22 5. All proposed on-site utilities, including electrical and equipment wiring, shall be
23 installed underground and/or routed along the ground floor and shall be completely
24 concealed from public view as required by the City prior to authorization to
25 operate.
- 26 6. Any existing and/or future graffiti, as defined by the Huntington Park Municipal
27 Code Section 5-27.02(d), shall be diligently removed within a reasonable time
28 period.
7. The operator shall amend their City of Huntington Park Business License prior to commencing business operations.
8. This entitlement shall be subject to review for compliance with conditions of the approval at such intervals as the City Planning Commission shall deem appropriate.
9. The violation of any of the conditions of this entitlement may result in a citation(s) and/or the revocation of the entitlement.
10. This entitlement may be subject to additional conditions after its original issuance, upon a duly noticed public hearing item. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land

1 use compatibility, operations, aesthetics, security, noise, safety, crime control, or to
2 promote the general welfare of the City.

3 11. The laundromat shall have a total of forty-one (41) dryers and thirty-two (32)
4 washing machines. The installation or modifications resulting in additional dryers or
5 washing machines shall require a modification to the Conditional Use Permit.

6 12. The laundromat shall have a total of four (4) vending machines. Installation of
7 additional vending machines shall require a modification to the Minor Conditional
8 Use Permit.

9 13. Vending machines shall not block any door way entrances, windows, or store front.

10 14. No vending machines, including, but not limited to, water, movie/DVD/Blue Ray,
11 newspapers, candy, etc. shall be permitted on the exterior of the laundromat.

12 15. Prior to the installation of the vending machines, all vending machine companies
13 shall apply and obtain a City business license for each vending machine.

14 16. No outside storage shall be permitted on the subject site.

15 17. No payphones shall be allowed on the subject site.

16 18. All new proposed signs on the site be installed in compliance with the City's sign
17 regulations and that approval be obtained through a Sign Design Review prior to
18 installation. All unpermitted signage on site shall be removed.

19 19. This entitlement shall expire in the event it is not exercised within one (1) year from
20 the date of approval, unless an extension has been granted by the Planning
21 Commission.

22 20. If the use ceases to operate for a period of six (6) months the entitlement shall be
23 null and void.

24 21. The unmaintained parking located at the southern portion of the property shall be
25 slurry sealed and re-stripped. Stripping plans shall be submitted to the Planning
26 Division for review and approval.

27 22. All required off-street parking comply with the minimum dimensions as set forth
28 within the Huntington Park Municipal Code prior to issuance of the Certificate of
Occupancy.

29 23. If the operation of this establishment be granted, deemed, conveyed, transferred,
or should a change in management or proprietorship occur at any time, this
Conditional Use Permit shall be reviewed.

1 24. That the Applicant shall comply with all applicable property development standards
2 including, but not limited to, outdoor storage, fumes and vapors, property
3 maintenance, and noise.

4 25. The Director of Community Development is authorized to make minor
5 modifications to the approved preliminary plans or any of the conditions if such
6 modifications shall achieve substantially the same results, as would strict
7 compliance with said plans and conditions.

8 26. That the business owner (Applicant) and property owner agree in writing to the
9 above conditions.

10 **BUILDING AND SAFETY**

11 27. This conditional approval/acceptance is subject to the approvals from other
12 departments including and may not be limited to Planning Division, Engineering,
13 Code Enforcement, and Fire Department.

14 28. The initial plan check fee will cover the initial plan check and one recheck only.
15 Additional review required beyond the first recheck shall be paid for on an hourly
16 basis in accordance with the current fee schedule.

17 29. The second sheet of building plans is to list all conditions of approval and to
18 include a copy of the Planning Commission Decision letter. This information shall
19 be incorporated into the plans prior to the first submittal for plan check.

20 30. Provide plans and calculations to ascertain the existing structure/building is
21 adequate to support the proposed expansion.

22 31. The CA registered architect or civil engineer shall wet stamp, sign, provide the
23 license expiration date and the signing date on the calculations on every sheet of
24 the plans.

25 32. Provide details and notes to show the storage room in the expansions area to be
26 restored to its original permitted plan as an accessible restroom per 2016 CBC
27 Chapter 11B.

28 33. Permeant ladders required by CMC 304.3.1.1 shall be constructed in accordance
with:

- a. Side railing shall extend not less than 30 inches above the roof.
- b. Width shall not be less than 14 inches.
- c. Rungs spacing shall not exceed 12 inches on center and each rung shall be capable of supporting a 300 pound load.
- d. Toe space shall be no less than 6 inches.

34. All designs including plans, elevations, details, notes, and calculations shall be
in compliance with 2016 CBC, 2016 CC, 2016 CMC and 2016 CFC.

1
2 **CODE ENFORCEMENT**

- 3 35. The applicant shall provide routine maintenance to eliminate any trash or litter
4 around the perimeter of the property.
- 5 36. All trash originating from the business must be disposed in an approved trash
6 container.
- 7 37. The applicant shall provide trash bins adjacent to the vending machine area.
- 8 38. The applicant shall install anti-graffiti window film on all exterior store front windows.
- 9 39. All trash enclosures must remain locked and secured at all times.
- 10 40. All future temporary or permanent signage shall be approved by the City prior to
11 installation, pursuant to the Huntington Park Municipal Code.
- 12 41. Window signage shall not exceed more than twenty-five percent of the window
13 area.

14 **Los Angeles County Department of Public Health**

- 15 42. All requirements, as deemed necessary by the Los Angeles Department of Public
16 Health during the Plan Check Process, shall be complied with.

17 **Los Angeles County Department of Fire**

- 18 43. All requirements, as deemed necessary by the Los Angeles Department of Fire
19 during the Plan Check Process, shall be complied with.

20 **SECTION 5:** This resolution shall not become effective until 15 days after the date
21 of decision rendered by the Planning Commission, unless within that period of time it is
22 appealed to the City Council. The decision of the Planning Commission shall be stayed
23 until final determination of the appeal has been effected by the City Council.

24 **SECTION 6:** The Secretary of the Planning Commission shall certify to the adoption
25 of this resolution and a copy thereof shall be filed with the City Clerk.
26
27
28

1 **PASSED, APPROVED, AND ADOPTED** this 21st August, 2019 by the following vote:

2 AYES:

3 NOES:

4 ABSENT:

5 ABSTAIN:

6 HUNTINGTON PARK PLANNING COMMISSION

7

8

9

10 Jonathan Sanabria, Chairperson

11 ATTEST:

12

13

14

15 Carlos Luis, Secretary

16

17

18

19

20

21

22

23

24

25

26

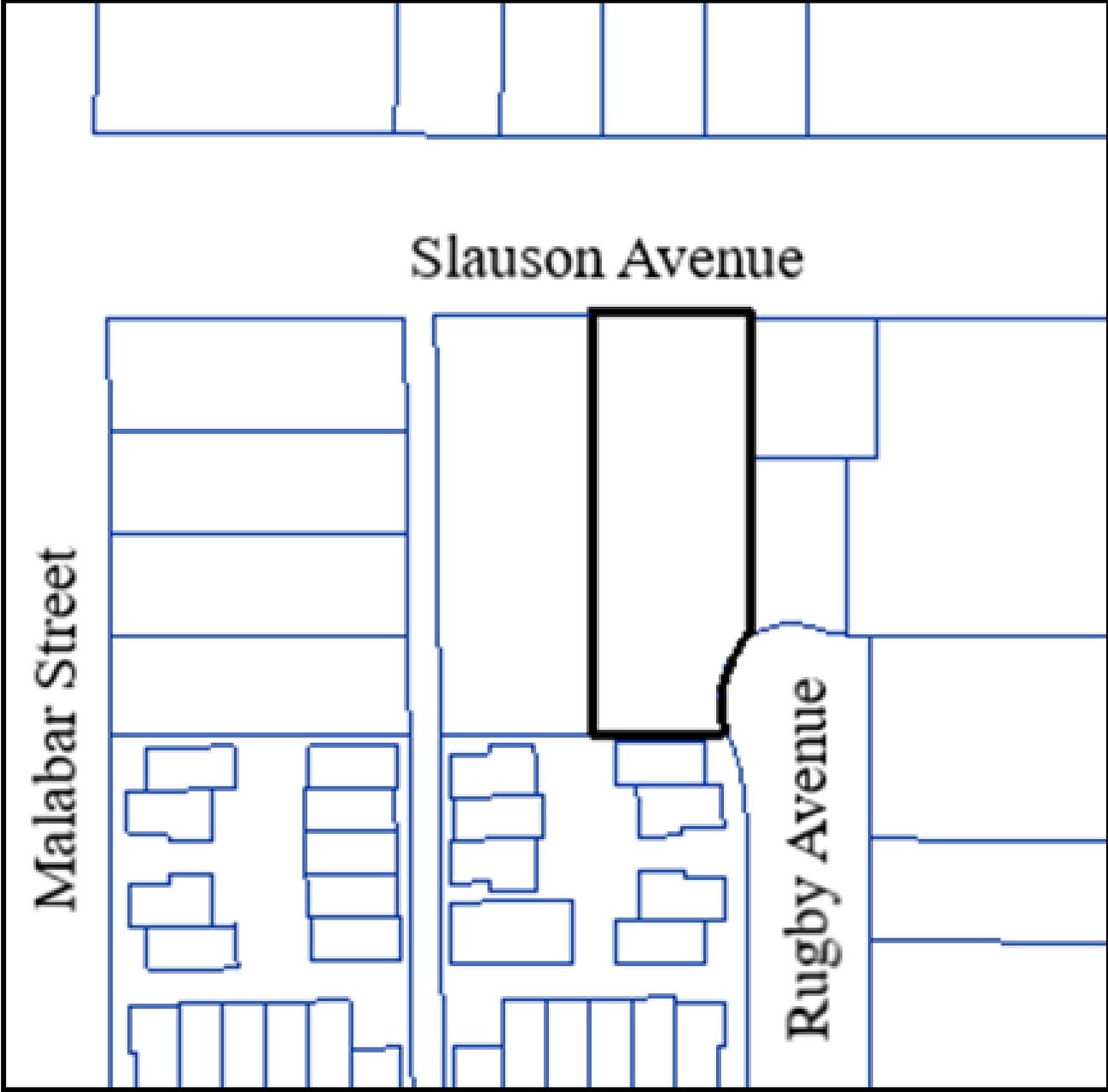
27

28

VICINITY MAP

EXHIBIT B

CASE NO. 2019-06 CUP/MCUP



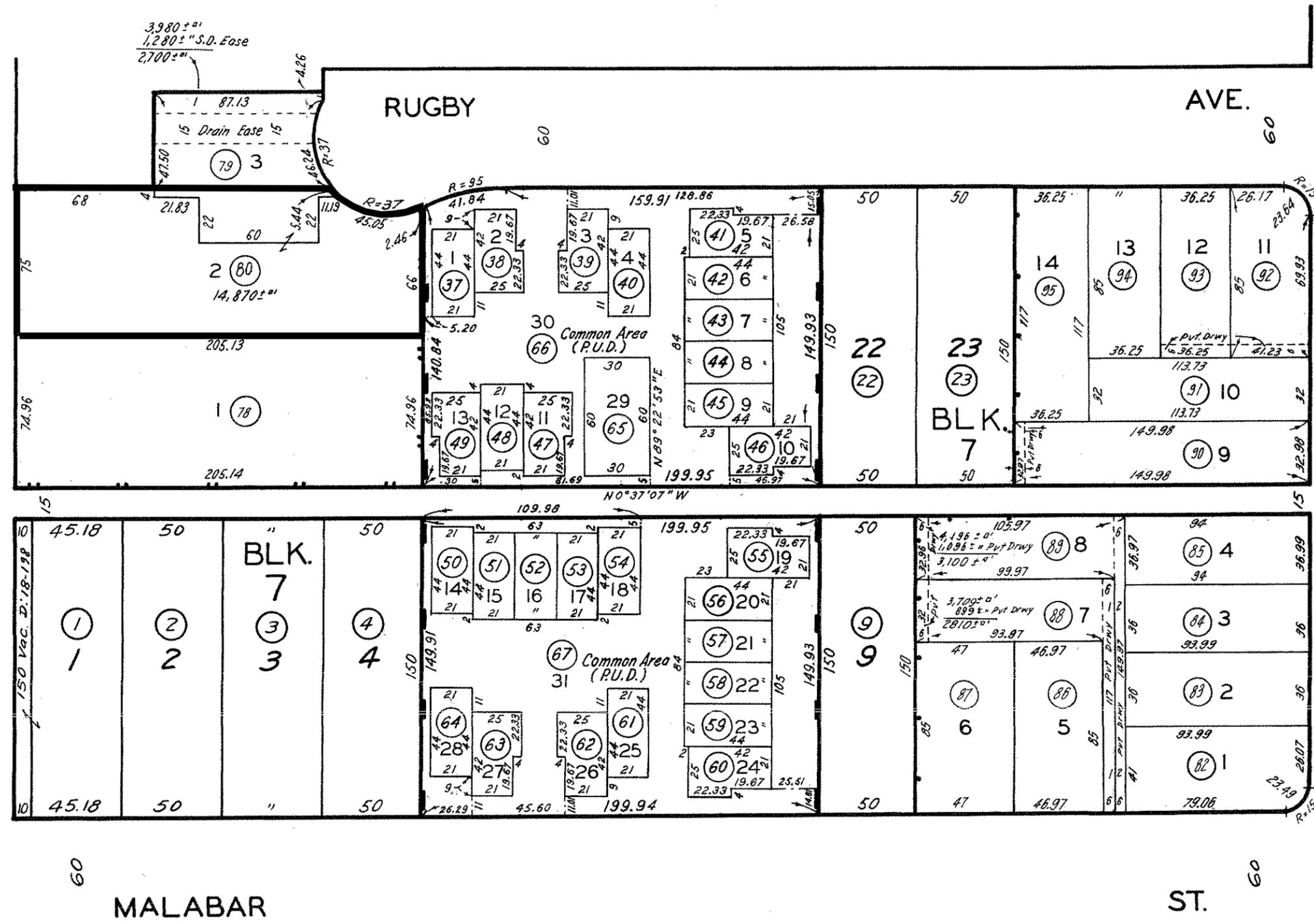
ASSESOR'S PARCEL MAP

EXHIBIT C

CASE NO. 2019-06 CUP/MCUP

8-20-66 REVISED 3-29-62
681031500
801018
820329403
820810305
830613608-84
840224103-84
850326401-85
860508814-87
860527083-87
861081635-87
86112801-87
870121602-87
87062304008001
87102903001007
88011908015003
88021008004001
89011703025002

SLAUSON AVE.
C.S. 8100



CODE 594

PARCEL MAP
P. M. 199-63-64

TRACT NO 33988
M. B. 1047-77-79
HUNTINGTON PARK
M. B. 3-91

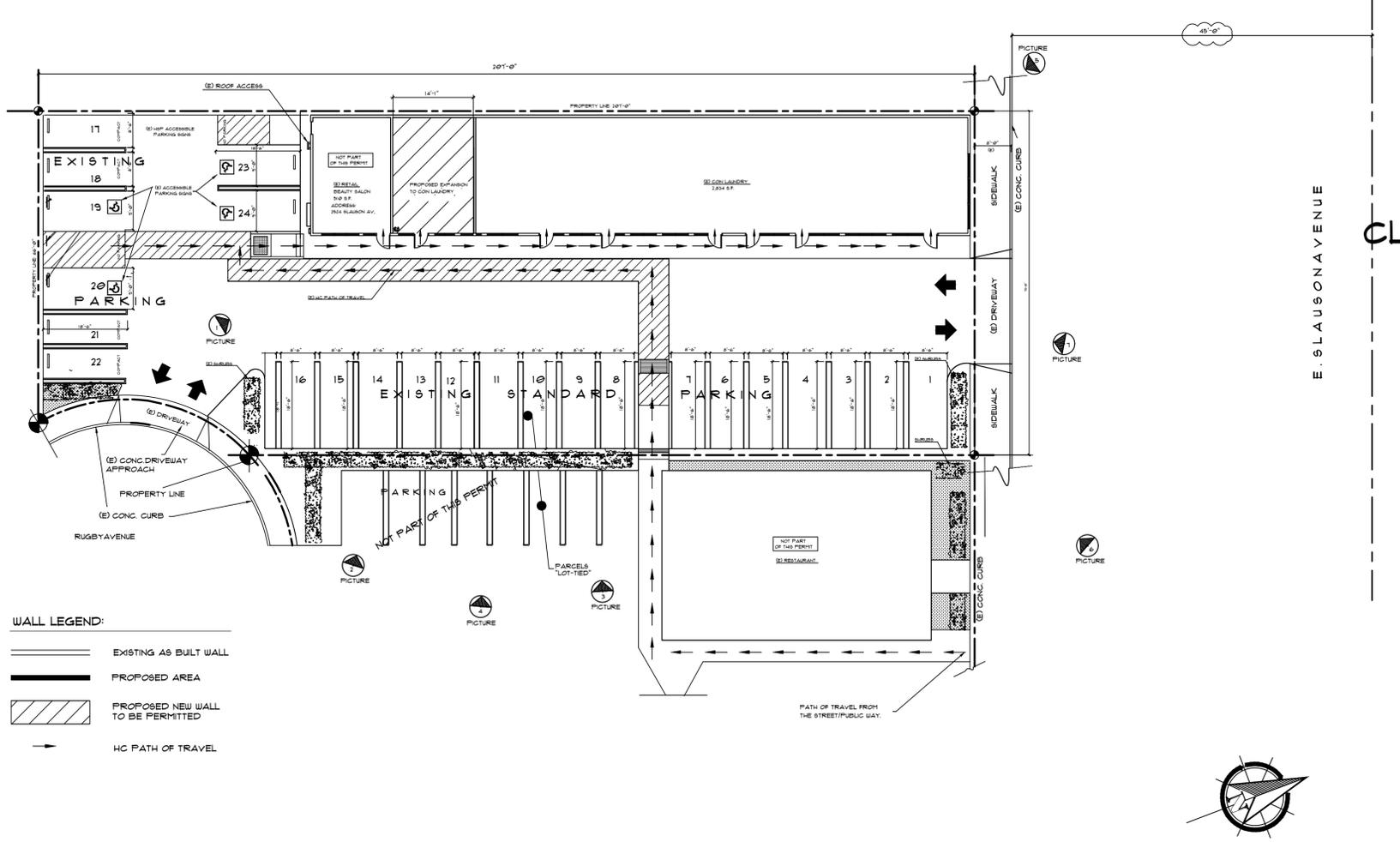
TRACT NO 45814
M. B. 1110-74-75

FOR PREV. ASSMT. SEE:
6320-2

SITE PLAN

EXHIBIT D

CASE NO. 2019-06 CUP/MCUP



- WALL LEGEND:**
- EXISTING AS BUILT WALL
 - PROPOSED AREA
 - PROPOSED NEW WALL TO BE PERMITTED
 - HC PATH OF TRAVEL

SITE PLAN W / (E) LANDSCAPING

SCALE: 1/16" = 1'-0"

INTENSITY OF THE LAND DESCRIPTION

PROJECT SCOPE:	TENANT IMPROVEMENT
DESCRIPTION OF USE:	CON LAUNDRY
ASSESSOR'S NUMBER:	6320-002-000
OCCUPANCY GROUP:	B
(E) CONSTRUCTION TYPE:	TYPE V-B (NON-SPRINKLERED) ONE STORY
PROP. EXPANSION:	559 S.F.
EXITS EXISTING:	FOUR
REQUIRED:	TWO

- CODES:**
- 2016 CALIFORNIA ADMINISTRATIVE CODE
 - 2016 CALIFORNIA BUILDING CODE
 - 2016 CALIFORNIA ELECTRICAL CODE
 - 2016 CALIFORNIA MECHANICAL CODE
 - 2016 CALIFORNIA PLUMBING CODE
 - 2016 CALIFORNIA ENERGY CODE
 - 2016 LOS ANGELES COUNTY FIRE CODE
 - 2016 CALIFORNIA EXISTING BUILDING CODE
 - 2016 CALIFORNIA GREEN BUILDING CODE
 - 2016 CALIFORNIA REFERENCED STANDARD CODE
 - 2016 CALIFORNIA COMMERCIAL CODE, BASED ON 2012 INTERNATIONAL BUILDING CODE

PROJECT DATA

LAUNDRY MAT REQ'D PARKING STALLS:
 (1) SPACE PER 400 S.F.
 LAUNDRY MAT: 2,834 S.F. = 1.0 = 1 SPACES REQ'D.
 W/ EXPANSION 2834 + 559 = 3,393 / 400 = 8.4
 TOTAL PARKING REQ'D FOR LAUNDRY MAT: 8.4 SPACES
 BEAUTY SALON PARKING REQUIRED:
 910 S.F. / 600 S.F. = 1.5 SPACES REQUIRED.
 EXISTING STANDARD PARKING STALLS: 16 SP
 EXISTING COMPACT PARKING STALLS: 4 SP
 EXISTING ADA PARKING STALLS: 4 SP
 TOTAL EXISTING STALLS: 24 SP

PARKING TABLE

(E) 2,834 S.F.
(E) 559 S.F.
3,393 SQ.FT. / 400 = 8.4

SCOPE OF WORK

LEGALIZED UN-PERMITTED EXPANSION SPACE OF 355.9 S. FT. AND MERGE IT AS PART OF THE COIN LAUNDRY BUSINESS. \$

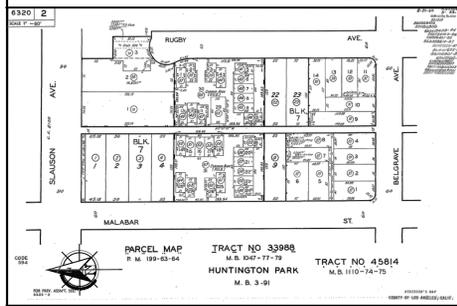
RETURN H.C. BATHROOM (USED AS STORAGE) TO ITS ORIGINAL PLAN.



VICINITY MAP

PROPERTY BOUNDARY DESCRIPTION
 P M 199-63-64 LOT 2
BUILDING IMPROVEMENT I
 SQUARE FOOTAGE: 3,144
 YEAR BUILT / EFFECTIVE YEAR BUILT: 1989 / 1989
 UNITS: 6

PROPERTY DATA



ASSESSORS MAP

SHEET INDEX

A-0	SITE PLAN
A-1	FLOOR PLAN
A-2	PROPOSED FLOOR PLAN
A-3	EXTERIOR ELEVATIONS
A-4	REST ROOM PLAN & INT-ELEV.

General Notes

SITE PLAN
 PROJECT DATA
 PROJECT SCOPE
 PARKING TABLE

PROPOSED FOR:
MR. DANIEL & JANIE KO.
PROJ. LOC.: 2528 SLAUSON AVE
HUNTINGTON PARK, CA. 90255
B. OWNER(S): (562) 480-1554

No.	Revision/Issue	Date

Firm Name and Address
9DS DESIGN CONCEPTS.
 BY: O.P.
 3573 MULFORD AVE,
 LYNWOOD CA. 90262
 CELL: (562) 440-3265

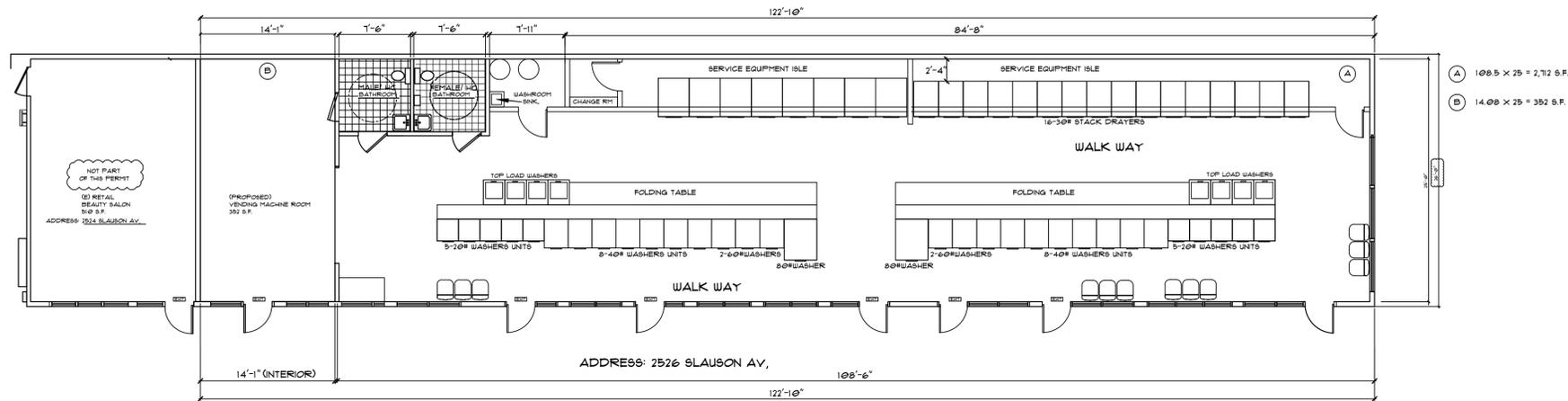
Project Name and Address
PROPOSED FOR:
MR. DANIEL & JANIE KO.
PROJ. LOC.: 2528 SLAUSON AVE
HUNTINGTON PARK, CA. 90255
B. OWNER(S): (562) 480-1554

Project	Sheet
Le035-19	A-0
Date	
07/25/2019	
Scale	AS NOTED

FLOOR PLAN

EXHIBIT E

CASE NO. 2019-06 CUP/MCUP



FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND:

-  EXISTING AS BUILT WALL
-  PROPOSED NEW WALL
-  PROPOSED NEW AREA TO BE PERMITTED

General Notes

FLOOR PLAN

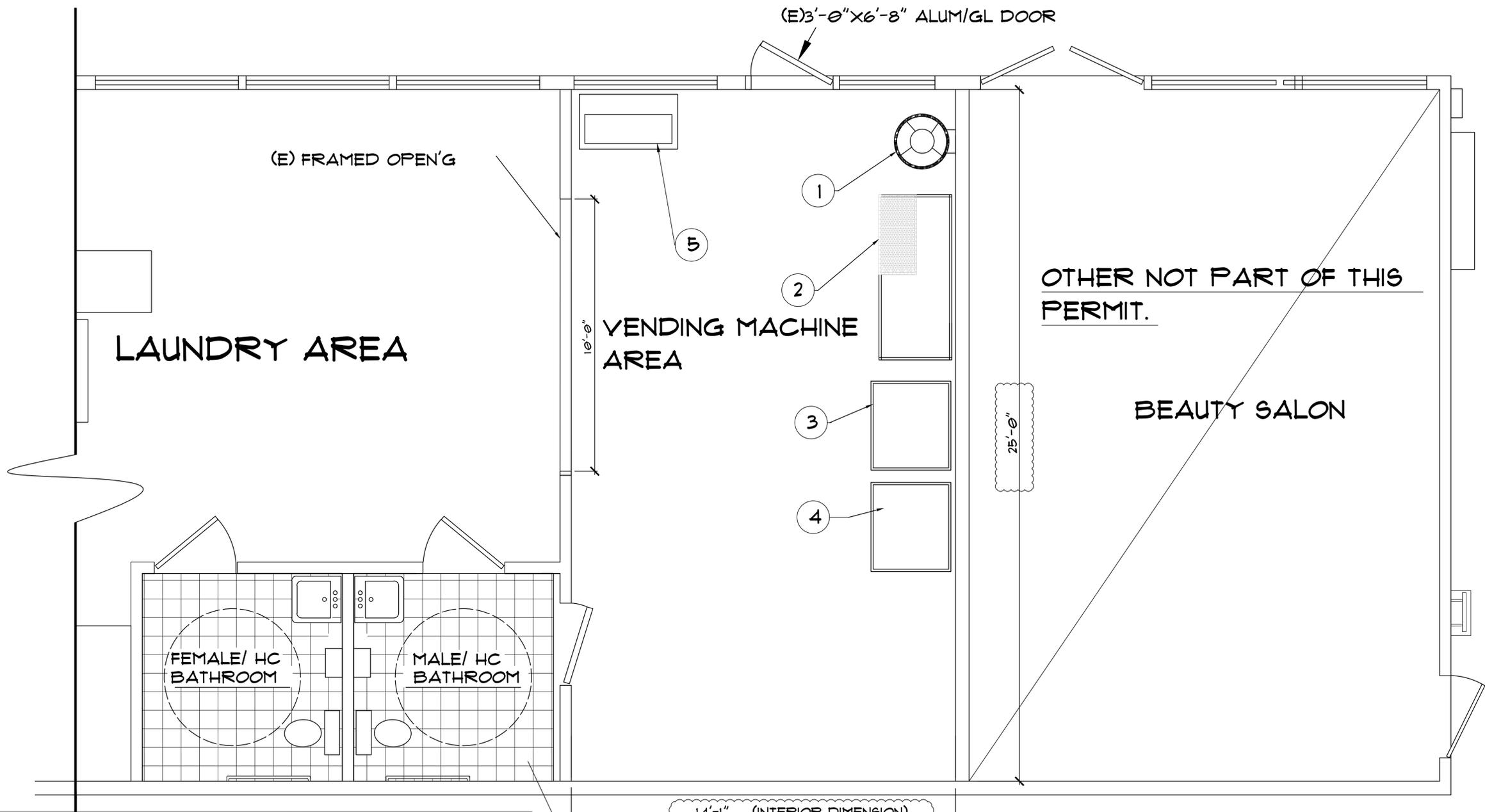
PROPOSED FOR:
 MR. DANIEL & JANIE KO.
 PROJ. LOC.: 2526 SLAUSON AVE
 HUNTINGTON PARK, CA. 90255
 B. OWNER(S): (562) 480-1554

No.	Revision/Issue	Date

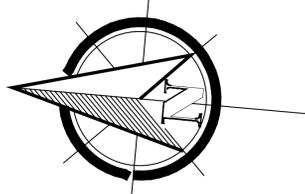
Firm Name and Address
 9DS DESIGN CONCEPTS
 BY: O.P.
 3513 MULFORD AVE,
 LYNNWOOD CA. 90262
 CELL: (562) 440-3265

Project Name and Address
 PROPOSED FOR:
 MR. DANIEL & JANIE KO.
 PROJ. LOC.: 2526 SLAUSON AVE
 HUNTINGTON PARK, CA. 90255
 B. OWNER(S): (562) 480-1554

Project L0035-13	Sheet A-1
Date 07/25/2013	
Scale AS NOTED	



BATH ROOM NOTE:
 EXISTING BATHROOM WAS APPROVED
 AND PERMITTED. IF REQUIRED,
 ALL PLUMBING FURNITURE WILL BE
 INSTALLED & RE-CONNECTED AS IT WAS
 APPROVED ORIGINALLY. SEE SHEET: A-



NEW EQUIPMENT SCHEDULE

NO	EQUIPMENT	QTY	REMARK
1	WATER TANK	1	24" DIA.
2	WATER DISPENSER	1	WIDTH 14" HEIGHT 14" DEPTH 32" "WATER ONE"
3	SOFTDRINK MACHINE	1	(STANDARD)
4	"SNACKS" VENDING MACHINE	1	(ONE-STANDARD)
5	VIDEO GAME	1	
6			

PROPOSED FLOOR PLAN

SCALE: 1/2" = 1'-0"

General Notes

PROPOSED FOR:
 MR. DANIEL & JANIE KO.
 PROJ. LOC.: 2528 S LAUSON AVE
 HUNTINGTON PARK, CA. 90255
 B. OWNER(S): (562) 480-1554

No.	Revision/Issue	Date

Firm Name and Address

SDS DESIGN CONCEPTS
 BY: O.P
 3513 MULFORD AVE,
 LYNNWOOD CA. 90262
 CELL: (562) 440-3265

Project Name and Address

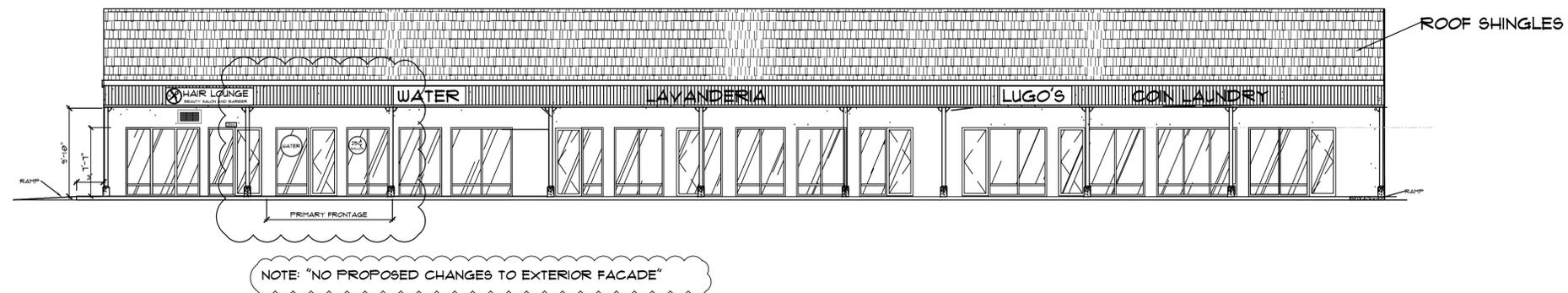
PROPOSED FOR:
 MR. DANIEL & JANIE KO.
 PROJ. LOC.: 2528 S LAUSON AVE
 HUNTINGTON PARK, CA. 90255
 B. OWNER(S): (562) 480-1554

Project	Sheet
LE035-13	A-2
Date	
07/25/2013	
Scale	
AS NOTED	

ELEVATION

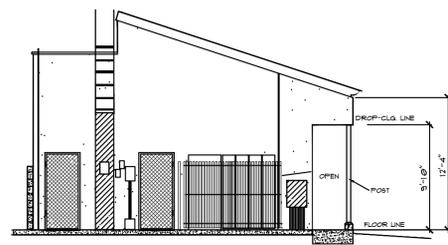
EXHIBIT F

CASE NO. 2019-06 CUP/MCUP



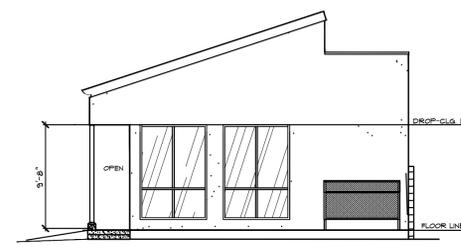
(EXISTING) EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



(EXISTING) SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



(EXISTING) NORTH SIDE EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

General Notes

PROPOSED FOR:
 MR. DANIEL & JANIE KO.
 PROJ. LOC.: 2528 S LAUSON AVE
 HUNTINGTON PARK, CA. 90255
 B. OWNER(S): (562) 480-1554

No.	Revision/Issue	Date

Firm Name and Address

SDS DESIGN CONCEPTS
 BY: O.P
 3573 MULFORD AVE,
 LYNWOOD CA. 90262
 CELL: (562) 440-3265

Project Name and Address

PROPOSED FOR:
 MR. DANIEL & JANIE KO.
 PROJ. LOC.: 2528 S LAUSON AVE
 HUNTINGTON PARK, CA. 90255
 B. OWNER(S): (562) 480-1554

Project L0035-19	Sheet A-3
Date 07/25/2019	
Scale AS NOTED	

BUSINESS OPERATION PLAN

EXHIBIT G

CASE NO. 2019-06 CUP/MCUP

Business Plan for Lugo's Coin Laundry: 2528 E. Slauson Ave, Huntington Park, CA 90255

1) Drinking Water Vending Machine.

Brand : American Clear Water System 3000. Serial # 120

Dimensions : Width 74", Depth 32", Height 74", The water tank is 24' in diameter.

Certification Agency : NAMA

- 2) Soda Can Vending Machine (similar to Dixie Narco Bubble Front 440-8, depending on what the vendor has in stock)
- 3) Snack Vending Machine, (Chips, Cookies, etc) (similar to Selectivend WS 4000, depending on what the vendor has in stock)
- 4) Soap Vending Machine (similar to Vendrite Vision Soap Vendor, depending on what the vendor has in stock)

Since we are not allowed to bring in the machines before the permit is issued, we have listed similar machines, as mentioned above.

These machines will be available to customers of the laundry and non laundry.

No Alcohol will be sold at any time, in the machines.

The machines will be available to use during the hours of 6:00 AM to 9:30 PM.

The machines will accept money and be fully automated. No need for an employee present.

The machines will be free-standing.

ADDENDUM to Lugo's Coin Laundry Business Plan CUP

In addition to the additional vending area:

Our original coin operated laundry facility will have coin operated washers and dryers. 41 dryers and 32 washing machines. They are coin operated. We have 4 quarter change machines for our customers. It will change any bill to quarters. Our hours of operation are 6:00 AM to last wash being at 9:30 PM. We will close the facility at 11:00 PM. We will have employees (currently 4) to clean the facility and assist customers who need help. We have 1 public restroom for customer use ONLY.

We have extended the original coin laundry to add the additional area where we will extend the use for our laundry customers. We will use the additional area to store vending machines so that our laundry customers will be able to use the water, drinks and snacks and soaps vending machine. Our coin laundry is still running as a coin operated laundry facility with washing machines and dryers.

There will be 2 tables and 8 chairs for our laundry customers to use while waiting for their wash to finish.

We may need to change employee numbers or vending numbers as needed.