



AGENDA

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, January 16, 2019 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Any person who requires a disability-related modification or accommodation, including auxiliary aids or services, in order to participate in the public meeting may request such modification, accommodation, aid or service by contacting the City Clerk's Office either in person at 6550 Miles Avenue, Huntington Park, California or by telephone at (323) 584-6230. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

NOTE: Any person who has a question concerning any agenda item may contact the Community Development Department at (323) 584-6210. Materials related to an item on this agenda are available for inspection in the office of the Community Development Department at 6550 Miles Avenue, Huntington Park, California during the hours of 7:00 a.m. to 5:30 p.m., Monday through Thursday.

Assembly Bill No. 2674 amended several provisions of the Ralph M. Brown Act (Section 54950 et seq. of the Government Code) effective January 1, 1987. This bill prohibits the legislative body from taking any action on any item, which did not appear on the agenda, which was posted 24 hours prior to the Planning Commission meeting. If action is necessary on subject matter, which the public presents, the matter should be presented in writing to the Planning Division for placement on the agenda by Thursday noon prior to the next Planning Commission meeting.

CALL TO ORDER

ROLL CALL

Chair Angelica Montes
Vice Chair Luz Gomez
Commissioner Eduardo Carvajal
Commissioner Irving Pacheco
Commissioner Vacant

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

*For both open and closed session each speaker will be limited to three minutes per Huntington Park Municipal Code Section 2-1.207. Time limits may not be shared with other speakers and may not accumulate from one period of public comment to another or from one meeting to another. **This is the only opportunity for public input except for scheduled public hearing items.***

CONSENT ITEMS

All matters listed under the Consent Calendar are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items prior to the time the Commission votes on the motion unless members of the Commission, staff, or the public request specific items to be discussed and/or removed from the Consent Calendar for separate action.

1. Approval of Planning Commission Meeting Minutes:
 - 1-1. Regular Meeting of September 19, 2018
 - 1-2. Special Meeting of September 26, 2018
 - 1-3. Regular Meeting of October 17, 2018
 - 1-4. Regular Meeting of November 21, 2018

REGULAR AGENDA

PUBLIC HEARING

1. **CASE NO. 2017-07 CUP/DP – CONDITIONAL USE PERMIT / DEVELOPMENT PERMIT** – A request for a Conditional Use Permit and a Development Permit to install an unmanned wireless communication facility on the roof top of an existing building located at 2960 Florence Avenue, within the Commercial General (C-G) zone.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing;
2. Take public testimony; and
3. Approval of Resolution No. 2017-07, approving a Conditional Use Permit and a Development Permit in connection with property located at 2960 Florence Avenue within the Commercial General (C-G) zone.

2. **CASE NO. 2018-11 CONDITIONAL USE PERMIT / DEVELOPMENT PERMIT (CUP/DP)** – A request for a Conditional Use Permit and a Development Permit to allow an interior remodel to an existing restaurant with a type 47 alcohol license (on-sale general) and type 58 alcohol license (catering) within the District A (Gateway) of the Downtown Huntington Park Specific Plan (DTSP), on property located at 7111 Pacific Boulevard.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing;
2. Take a public testimony; and
3. Approval of Resolution No. 2018-11, approving a Conditional Use Permit and a Development permit in connection with property located at 7111 Pacific Boulevard within District A (Gateway) of the Downtown Huntington Park Specific Plan (DTSP).

STAFF COMMENTS

PLANNING COMMISSION COMMENTS

ADJOURNMENT

The City of Huntington Park Planning Commission will adjourn to the Regular Meeting on Wednesday, February 20, 2019 at 6:30 p.m.

I, Carlos Luis, hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted at City of Huntington City Hall and made available at www.hpca.gov on the 12th of January 2019.



Carlos Luis



MINUTES

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, September 19, 2018 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chair Montes called the meeting to order at 6:32 p.m. PRESENT: Commissioner(s): Chair Angelica Montes and Irving Pacheco, (VACANCY): 1. ABSENT: Vice Chair Luz Gomez and Eduardo Carvajal.

Due to lack of quorum, Chair Montes continued all items to a Special Meeting on September 26, 2018.

STAFF PRESENT: Senior Planner Carlos Luis; Vanessa Ibarra, Legal, Jordan Martinez, Graduate Management Intern, Debra Martinez, Planning Technician, Susana Martinez, Assistant Planner, Ashley Munoz, Volunteer Planning Intern.

PUBLIC COMMENT – None.

CONSENT ITEMS

Senior Planner, Carlos Luis, stated that there were no consent items scheduled.

REGULAR AGENDA

- 1. PUBLIC VISIBLE ART** – A request for approval of public visible art on property located at 6901 South Alameda Street, within the Manufacturing Planned Development (MPD) Zone.
- 2. DETERMINATION OF SIMILARITY** – A request to determine if a prototype company that produces models made from clay, foam, and 3D printing service is either a permitted, conditionally permitted use within the Manufacturing Planned Development (MDP) Zone.

PUBLIC HEARING

- 1. CASE NO. 2018-06 CUP – CONDITIONAL USE PERMIT** – A request to modify Conditional Use Permit Case Number 1553-CUP, which allowed for on-sale of general alcohol in conjunction with an establishment of public dining, dance hall, and private party rental on the second floor by gallizing unpermitted modifications to the floor plan layout for property located at 6901 Pacific Boulevard within the Downtown Specific Plan, District B zone.
- 2. CASE NO. 2018-10 GPA – GENERAL PLAN AMENDMENT** – Planning Commission approval of a resolution recommending to the City Council the adoption of the 2030 City of Huntington Park General Plan and the adoption of an Environmental Impact Report under the California Environmental Quality Act (CEQA).

STAFF COMMENTS

PLANNING COMMISSION COMMENTS

ADJOURNMENT

The City of Huntington Park Planning Commission will adjourn to a Special Meeting on Wednesday, September 26, 2018 at 6:30 p.m.

Respectfully submitted,

Carlos Luis
Secretary



MINUTES

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Special Meeting
Wednesday, September 26, 2018 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chair Angelica Montes called the meeting to order at 6:30 p.m. PRESENT: Commissioner(s): Irving Pacheco, Eduardo Carvajal, Luz Gomez, and Angelica Montes. ABSENT: Commissioner(s): None. VACANT: Commissioner(s): 1.

STAFF PRESENT: Senior Planner Carlos Luis; Vanessa Ibarra, Deputy City Attorney; Assistant Planner Susanna Martinez; Planning Technician Debra Martinez; Graduate Management Intern Jordan Martinez.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Commissioner Eduardo Carvajal.

PUBLIC COMMENT – None.

CONSENT ITEMS

Motion: Chair Angelica Montes moved to approve consent items, seconded by Commissioner Eduardo Carvajal. Motion passed 4-0-0, by the following vote:

ROLL CALL:

AYES:	Commissioner(s):	Pacheco, Carvajal, Vice Chair Gomez and Chair Montes
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	None

1. Approved Planning Commission Meeting Minutes:

1-1. Regular Meeting of September 19, 2018.

REGULAR AGENDA

1. **Continued from the Regular Planning Commission Meeting of September 19, 2018 - PUBLIC VISIBLE ART** - A request for approval of public visible art on property located at 6901 South Alameda Street, within the Manufacturing Planned Development (MPD) Zone.

Senior Planner Carlos Luis announced the item and introduced Graduate Management Intern Jordan Martinez who presented a staff report.

Chair Montes opened the item up for public comment.

Nathaniel Smith, Artist on project, expressed his support for the art display.

Chair Montes closed public comment.

Motion: Commissioner Carvajal motioned to approve the applicant's proposed request for approval of public visible art on property located at 6901 South Alameda Street, within the Manufacturing Planned Development (MPD) Zone, seconded by Commissioner Gomez. Motion passed 4-0-0, by the following Vote:

ROLL CALL:

AYES:	Commissioner(s):	Carvajal, Vice Chair Gomez, Pacheco and Chair Montes
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	None

- 2. Continued from the Regular Planning Commission Meeting of September 19, 2018 - DETERMINATION OF SIMILARITY** – A request to determine if a prototype company that produces models made from clay, foam, and 3D printing service is either a permitted, conditionally permitted use within the Manufacturing Planned Development (MPD) Zone.

Senior Planner Carlos Luis announced the item and introduced Planning Technician Debra Martinez who presented the staff report.

Chair Montes opened the item up for public comment.

Steven Osorio, applicant, spoke in support of the proposed project.

Chair Montes closed public comment.

Motion: Commissioner Pacheco motioned to adopt PC Resolution No. 2018-05, approving a Development Permit in connection with real property located at 2934 Florence Avenue, Huntington Park, California, seconded by Commissioner Gomez. Motion passed 4-0-0, by the following vote:

ROLL CALL:

AYES:	Commissioner(s):	Pacheco, Carvajal, Vice Chair Gomez and Chair Montes
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	None

PUBLIC HEARING

- 1. Continued from the Regular Planning Commission Meeting of September 19, 2018 - CASE NO. 2018-10 GPA – GENERAL PLAN AMENDMENT** – Planning Commission approval of a resolution recommending to the City Council the adoption of the 2030 City of Huntington Park General Plan and the adoption of an Environmental Impact Report under the California Environmental Quality Act (CEQA).

Senior Planner, Carlos Luis, suggested that this item be continued to the Regular Planning Commission meeting on October 17, 2018.

Chair Montes opened the Public Hearing item up for Public Comment.

PUBLIC COMMENT – None.

Chair Montes closed public comment.

Motion: Commissioner Gomez moved to continue the item to the Regular Planning Commission meeting on October 17, 2018, seconded by Commissioner Pacheco. Motion passed 4-0-0, by the following vote:

ROLL CALL:

AYES:	Commissioner(s):	Pacheco, Carvajal, Vice Chair Gomez and Chair Montes
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	None

- 2. Continued from the Regular Planning Commission Meeting of September 19, 2018 - CASE NO. 2018-06 CUP – CONDITIONAL USE PERMIT** – A request to modify Conditional Use Permit Case Number 1553-CUP, which allowed for on-sale of general alcohol in conjunction with an establishment of public dining, dance hall, and private party rental on the second floor by legalizing unpermitted modifications to the floor plan layout for property located at 6901 Pacific Boulevard within the Downtown Specific Plan, District B zone.

Senior Planner Carlos Luis announced the item and introduced Assistant Planner Susanna Martinez who presented the staff report.

Chair Montes opened the Public Hearing item up for public comment.

PUBLIC COMMENT

1. Lieutenant Martinez, Huntington Park Police Department, spoke in concern of safety after club closes. After hours send 25% of staff every weekend. Expressed there is no hurry to exit the area after the nightclub has closed. Also expressed concern that rideshare pickup/drop off area too close to intersection.
2. Lieutenant Kraut, Huntington Park Police Department, spoke on issues related to safety and valet parking.
3. Jesus Gallegos, Applicant, spoke in support of the proposed project and addressed issues of safety and security.
4. Rafael Mendoza, Floor Manager, spoke in support of the proposed project.
5. Raul Garcia, General Manager, spoke in support of the proposed project.
6. Sergio Infanzon, Director of Community Development, addressed concerns of fire exits and safety concerns.
7. Cosme Conzano, Huntington Park Chief of Police, spoke of safety inspection and safety concerns.

Chair Montes made changes to conditions of approval as follows:

Revised security plan be submitted to the Huntington Park Police Department which clearly outlines security patrol routes after club closing.

Require valet personnel to wear reflective gear.

Relocate designation valet drop off/ pick up to be moved 4 parking spaces south.

Clearly identify designated ride share/pickup/drop off location.

Maintain permanent security guards throughout and after business hours.

Agreed upon reconvening in 6 months from October 2018 to assess security and safety concerns.

Chair Montes closed public comment.

Motion: Chair Montes motioned to adopt CUP Resolution No. 2018-06 approving a request to modify Conditional Use Permit Case Number 1553-CUP, which allowed for on-sale of general alcohol in conjunction with an establishment of public dining, dance hall, and private party rental on the second floor by gallizing unpermitted modifications to the floor plan layout for property located at 6901 Pacific Boulevard within the Downtown Specific Plan, District B, as amended, seconded by Commissioner Pacheco. Motion passed 4-0-0 by the following vote:

ROLL CALL:

AYES:	Commissioner(s):	Chair Montes, Pacheco, Carvajal, and Vice Chair Gomez
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	None

STAFF COMMENTS

City Attorney, Vanessa Ibarra, thanked everyone for their hard work.

Senior Planner, Carlos Luis, announced City Clerk, Donna Schwartz, will no longer be attending Planning Commission meetings. Additionally, he thanked the Planning Commission and his staff for their hard work.

PLANNING COMMISSION COMMENTS

Commissioner Pacheco thanked the staff for all their hard work.

Commissioner Carvajal thanked the staff for all their hard work and efforts.

Vice Chair Gomez thanked the staff for all their hard work.

Chair Montes thanked the staff for all their hard work.

ADJOURNMENT

At 9:50 p.m. Chair Montes adjourned the City of Huntington Park Planning Commission Special Meeting to a Regular Meeting on Wednesday, October 17, 2018 at 6:30 p.m.

Respectfully Submitted

Carlos Luis
Secretary

DRAFT



MINUTES

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, October 17, 2018 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chair Angelica Montes called the meeting to order at 6:35 p.m. PRESENT: Commissioner(s): Eduardo Carvajal, Vice Chair Gomez, and Chair Montes (VACANT) 1. ABSENT: Commissioner(s): Irving Pacheco.

STAFF PRESENT: Senior Planner Carlos Luis; Assistant Planner Susanna Martinez; Planning Technician Debra Martinez; Graduate Management Intern Jordan Martinez.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Chair Montes.

PUBLIC COMMENT – None.

CONSENT ITEMS – Senior Planner, Carlos Luis, announced that there were no consent items.

REGULAR AGENDA - Senior Planner, Carlos Luis, announced that there were no items.

PUBLIC HEARING

1. (Continued from the September 19, 2018 Planning Commission Meeting and the September 26, 2018 Special Planning Commission Meetings) CASE NO. 2018-10 GPA – GENERAL PLAN AMENDMENT – Planning Commission approval of a resolution recommending to the City Council the adoption of the 2030 City of Huntington Park General Plan and the adoption of an Environmental Impact Report under the California Environmental Quality Act (CEQA).

Senior Planner, Carlos Luis, announced the item and introduced Tierra West staff, Jason Chang and John Yonai, to present a slideshow presentation.

Chair Montes opened the Public Hearing item up for Public Comment.

PUBLIC COMMENT – None.

Chair Montes closed public comment.

Motion: Vice Chair Gomez motioned to approve the applicant's proposed request for approval of a resolution recommending to the City Council the adoption of the 2030 City of Huntington Park General Plan and the adoption of an Environmental Impact Report under the California Environmental Quality Act (CEQA), seconded by Commissioner Carvajal. Motion passed 3-0-1, by the following Vote:

ROLL CALL:

AYES:	Commissioner(s):	Carvajal, Vice Chair Gomez, and Chair Montes
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Pacheco

2. CASE NO. 2017-05 CONDITIONAL USE PERMIT / DEVELOPMENT PERMIT (CUP/DP) – A request for a Conditional Use Permit and a Development Permit to install and mount wireless communication antennas on an existing water tower located at 3714 Florence Avenue, within the Commercial General (CG) Zone.

Senior Planner, Carlos Luis, announced the item and introduced Assistant Planner, Susanna Martinez, to present a staff report.

Chair Montes opened the Public Hearing item up for Public Comment.

PUBLIC COMMENT

1. Applicant, Tim Byus, was present to answer any questions and to voice his support for the project.
2. Per a discussion between Chair Montes and Senior Planner, Carlos Luis, the project is subject to amended conditions of approval which is outline as follows: “this entitlement is subject to additional conditions after it original issuance after a duly noticed public hearing”.

Chair Montes closed public comment.

Motion: Commissioner Carvajal motioned Case No. 2017-05 Conditional Use Permit/Development Permit (CUP/DP) approving a request with amended conditions for approval, for a Conditional Use Permit and a Development Permit to install and mount wireless communication antennas on an existing water tower located 3714 Florence Avenue, within the Commercial General (C-G) zone, seconded by Vice Chair Gomez. Motion was passed 3-0-1, by the following vote:

ROLL CALL:

AYES:	Commissioner(s):	Carvajal, Vice Chair Gomez and Chair Montes
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Pacheco

3. CASE NO. 2018-07 DP/MCUP - DEVELOPMENT PERMIT (DP) / MINOR CONDITIONAL USE PERMIT (MCUP) – A request for a Development Permit and a Minor Conditional Use Permit to legalize unpermitted construction and outdoor seating area to an existing restaurant on property located at 3340 Gage Avenue within the Commercial General (CG) Zone.

Senior Planner, Carlos Luis, requests that this item be continued to the next regular meeting on November 21, 2018.

Chair Montes opened the Public Hearing item up for Public Comment.

PUBLIC COMMENT – None.

Chair Montes closed public comment.

Motion: Chair Montes motioned Case No. 2018-07 DP/MCUP – Development Permit (DP) / Minor Conditional Use Permit (MCUP) to be continued to the November 21, 2018 Planning Commission meeting, seconded by Vice Chair Gomez. Motion was passed 3-0-1, by the following vote:

ROLL CALL:

AYES:	Commissioner(s):	Carvajal, Vice Chair Gomez and Chair Montes
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Pacheco

4. CASE NO. 2018-08 CONDITIONAL USE PERMIT / DEVELOPMENT PERMIT (CUP/DP) – A request for a Conditional Use Permit and a Development Permit allow the construction of a new industrial building for art fabrication on property located at 2547 57th Street, within the Manufacturing Planned Development (MPD) Zone.

Senior Planner, Carlos Luis, stated that the item is not cleared for a public hearing because the Fire Department indicated significant changes need to be made. Therefore the Planning Staff recommends continuing the item.

Chair Montes opened the Public Hearing item up for Public Comment.

PUBLIC COMMENT – None.

Chair Montes closed public comment.

Motion: Chair Montes motioned Case No. 2018-08 Conditional Use Permit / Development Permit (Cup/DP) to be continued to the November 21, 2018 Planning Commission meeting, seconded by Commissioner Carvajal. Motion was passed 3-0-1, by the following vote:

ROLL CALL:

AYES:	Commissioner(s):	Carvajal, Vice Chair Gomez and Chair Montes
NOES:	Commissioner(s):	None
ABSENT:	Commissioner(s):	Pacheco

STAFF COMMENTS

Senior Planner, Carlos Luis thanked everyone for their hard work and announced that he and another staff member attended the Annual Planning Conference in San Diego and is eager to implement what they learned.

PLANNING COMMISSION COMMENTS

Vice Chair Gomez thanked the staff for their hard work.

Chair Montes thanked the staff for their hard work and thanked Tierra West for prioritizing the communities input to the vision of the General Plan.

Commissioner Carvajal thanked everyone for their hard work.

ADJOURNMENT

At 7:34 p.m. Chair Montes adjourned the City of Huntington Park Planning Commission to a Regular Meeting on Wednesday, November 21, 2018 at 6:30 p.m.

Respectfully Submitted

Carlos Luis
Secretary

DRAFT



MINUTES

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, November 21, 2018 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

The Regular Meeting of November 21, 2018 was cancelled and all Public Hearing items were continued to the December 19, 2018 Planning Commission Meeting.

PRESENT: Commissioner(s): None. VACANCY: Commissioner(s): 1. ABSENT: Commissioner Irving Pacheco, Commissioner Eduardo Carvajal, Vice Chair Luz Gomez, Chair Angelica Montes.

STAFF PRESENT: None.

PUBLIC HEARING

1. **(Continued from the October 17, 2018 Planning Commission Meeting) CASE NO. 2018-07 CUP/DP/MCUP – CONDITIONAL USE PERMIT / DEVELOPMENT PERMIT (DP) / MINOR CONDITIONAL USE PERMIT (MCUP)** – A request for a Conditional Use Permit, a Development Permit, and a Minor Conditional Use Permit to legalize permitted construction and outdoor seating area to an existing restaurant with a drive-thru facility on property located at 3340 Gage Avenue within the Commercial General (CG) Zone.
2. **(Continued from the October 17, 2018 Planning Commission Meeting) CASE NO. 2018-08 CONDITIONAL USE PERMIT / DEVELOPMENT PERMIT (CUP/DP)** – A request for a Conditional Use Permit and a Development Permit to allow construction of a new industrial building for art fabrication on property located at 2547 57th Street, within the Manufacturing Planned Development (MPD) Zone.

ADJOURNMENT

The City of Huntington Park Planning Commission will adjourn to a Regular Meeting on Wednesday, December 19, 2018 at 6:30 p.m.

Respectfully submitted,

Carlos Luis
Secretary



CITY OF HUNTINGTON PARK

PLANNING DIVISION AGENDA REPORT

DATE: JANUARY 16, 2019

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTN: CARLOS LUIS, SENIOR PLANNER

FROM: SUSANA MARTINEZ, ASSISTANT PLANNER

SUBJECT: **PLANNING COMMISSION CASE NO. 2017-07 CUP/DP
(CONDITIONAL USE PERMIT/DEVELOPMENT PERMIT)**

REQUEST: A REQUEST FOR A CONDITIONAL USE PERMIT AND A DEVELOPMENT PERMIT TO INSTALL AN UNMANNED WIRELESS COMMUNICATION FACILITY ON THE ROOF TOP OF AN EXISTING BUILDING LOCATED AT 2960 FLORENCE AVENUE, WITHIN THE COMMERCIAL GENERAL (C-G) ZONE.

APPLICANT: Verizon Wireless
15505 Sand Canyon Avenue,
Irvine, CA 92618

PROPERTY OWNER: Venice Union Properties, LP
2960 E Florence Avenue,
Huntington Park, CA 90255

PROJECT LOCATION: 2960 E Florence Avenue

**ASSESSOR'S
PARCEL NUMBER:** 6212-002-008

PRESENT USE: Two-Story Commercial Building

PROPOSED IMPROVEMENT: No change to building size

SITE SIZE: 5,868.5 sq. ft.

GENERAL PLAN: General Commercial (C-G)

ZONE: Commercial General (C-G)

**SURROUNDING
LAND USES:**

North: Commercial
West: Commercial
South: Residential
East: Commercial

**MUNICIPAL CODE
APPLICABILITY OF
REQUIREMENTS FOR
MINOR CONDITIONAL
PERMIT:**

In accordance with Chapter 4, Article 2, Section 9-4.202; wireless communication facility is allowable in the General Commercial Zone subject to the approval of a Conditional Use Permit.

**REQUIRED FINDINGS
FOR A CONDITIONAL
USE PERMIT:**

Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Commission may approve and/or modify a CUP application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;

5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

**MUNICIPAL CODE
REQUIREMENTS FOR A
DEVELOPMENT PERMIT:**

Pursuant to HMPC Section 9-2.1003, a Development Permit is required when a new structure or use listed as subject to a "Development Permit" (D) in the applicable zoning district;

**REQUIRED FINDINGS
FOR A DEVELOPMENT
PERMIT:**

Pursuant to HMPC Section 9-2.1007, a Development Permit may be approved only if all of the following findings are made:

1. The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards;
2. The proposed development is consistent with the General Plan;
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property;
4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
5. The subject site is physically suitable for the type and density/intensity of use being proposed;
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that

the proposed development would not be detrimental to public health, safety and general welfare; and

7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.

**ENVIRONMENTAL
REVIEW:**

Categorically Exempt pursuant to Article 19, Section 15332, In-Fill Development Projects, Class 32 of the California Environmental Quality Act (CEQA) Guidelines.

**PROJECT
BACKGROUND:**

- ***Project Proposal***

Verizon Wireless is requesting to install a new unmanned communication wireless facility on the roof top of an existing two-story commercial building located at 2960 E Florence Avenue within the Commercial General (C-G) zone. The lot measures 5,868 square feet. The applicant is proposing twelve (12) new antennas on the roof top screened by an enclosure that is architecturally compatible with the design of the existing commercial building. All accessory equipment (cabinets, electric panel, etc.) is proposed to be located within an existing equipment room, which is on the second floor of the existing commercial building.

- ***Site Description***

The subject site, is located on the south side of Florence Avenue between Mountain View Street and State Street. The subject site is currently developed with a two-story commercial building. The property is surrounded by residentially zoned properties to the south and commercially zoned properties to the north, east, and west.

The subject site is identified as parcel number 6212-002-008. The subject site shares a common driveway with the neighboring parcel identified as 6212-002-007. The common driveway is shared with the neighboring parcel to the west identified as 6212-002-006. All three parcels are owned by the same property owner.

ANALYSIS:

- ***Project Proposal***

The proposed wireless communication facility will be located on the roof of the existing commercial building. All twelve (12) antennas will be located on the north part of the building. The proposed antennas will be 8 feet in height. The antennas will improve the wireless reception in the City, as indicated on the coverage maps (Exhibit F) submitted by the applicant. All twelve (12) antennas are proposed to be screened by a new enclosure that will be architecturally compatible with the existing building. The antenna's accessory equipment will be installed in an existing equipment room on the second floor of the building. The applicant is also proposing to remove and replace the existing exterior roof access ladder along the westerly portion of the building.

The subject site has an existing stair way, balcony, and roof access ladder that encroaches into the neighboring parcel west of the property, identified as parcel 6212-002-007. Parcel 6212-002-007 is a common driveway for the subject site (6212-002-008) and the neighboring building to the west (6212-002-006). In order to eliminate the encroachment a condition has been included that a lot line adjustment will be required prior to issuance of any permits. The lot line adjustment will merge the three parcels. The lot line adjustment is possible due the fact that all three properties are under the same ownership.

Other improvements to the site include removal of any unmaintained vegetation and replaced with new landscaping. A condition has been included to provide a landscape plan prepared by a license landscape architect. In addition, during a site inspection, graffiti was noted on the building. A condition is included requiring all graffiti to be removed and the building shall be kept free and clean from graffiti.

The proposed project has been reviewed by various departments and agencies (e.g. Building and Safety, Public Works, Los Angeles County Fire Department, Huntington Park Police Department, etc.) and conditions of approval have been included in the staff report and resolution.

- ***Condition Use Permit Findings***

In granting a Conditional Use Permit to allow a new wireless communication facility, the Planning Commission must make findings in connection with the Conditional Use Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Conditional Use Permit may be approved only if all of the following findings are made:

- 1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code.**

Finding: The proposed wireless telecommunication facility is conditionally permitted within the subject zoning district, pursuant to the Huntington Park Municipal Code, Section 9-4.202. The Commercial General zone is intended to provide for general retail, professional office, and service-oriented business activities serving a community-wide need under design standards that ensure compatibility and harmony with adjoining land uses. The addition of the wireless communication facility will provide additional telecommunication services to the residents of Huntington Park and will be compatible with the adjoining land uses. Additionally, the proposed project is in compliance with the requirements of the HPMC.

- 2. The proposed use is consistent with the General Plan.**

Finding: The proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 2.0; Policy 2.2 of the Land Use Element of the General Plan by requiring that commercial development provide adequate buffers at the designated boundaries with adjacent residential uses so as to prevent impacts on residences due to noise, traffic, parking light and glare, and differences in scale; to ensure privacy; and to provide visual architecturally compactible with the existing commercial building and will be compatible with the surrounding area.

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2017-07 CUP/DP- 2960 Florence Avenue

January 16, 2019

Page 7 of 15

The proposed project is also consistent with Goal 3.0; Policy 3.2 of the Land Use Element of the General Plan by promoting vigorous enforcement of City codes, including building, zoning, and health and safety, to promote property maintenance by providing all new infrastructure to meet development standards in the designated zone. Applicant will provide new improvements and additional maintenance to the subject property, in form of up new landscaping and the improvements to the existing roof access stairs.

3. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.

Finding: An environmental assessment has been conducted for this project in compliance with the California Environmental Quality Act (CEQA). The project is Categorically exempt pursuant to Article 19, Section 15332, In-Fill Development Projects, Class 32 of the California Environmental Quality Act (CEQA) Guidelines.

4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City.

Finding: The proposed project is located on a lot that measures approximately 5,868 square feet. The design, location, size, and operating characteristics of the proposed telecommunication facility is not expected to be detrimental to the public health, safety, and welfare of the City due to the fact that the proposed project is in compliance with all Federal Communication Commission (FCC) requirements. The proposed project will be compatible to the surrounding area and existing commercial building. The proposed enclosure shall be

architecturally compatible with the existing commercial building. A condition has been included.

5. The subject site is physically suitable for the type and density/intensity of use being proposed;

Finding: The proposed project site measures approximately 5,868 square feet. The proposed project will be installed on the existing roof top of the commercial building. The twelve (12) antennas will be fully screened by a new enclosure that will match the façade of the existing building. The antennas accessory equipment will be located in an existing equipment room located on the second floor of the commercial building. The proposed project also complies with all development standards of the Huntington Park Municipal Code.

6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed use would not be detrimental to public health, safety and general welfare.

Finding: Vehicular and pedestrian access to the site will be provided through Florence Boulevard. The project will not significantly intensify public access, water, sanitation, and other public utilities due to the fact that the proposed project will not generate additional demand on these infrastructures or require any types of modifications. In addition, the proposed wireless communication facility will not impede the accessibility to public access, due to the fact that all antennas will be located on the roof top of the building and all accessory equipment will be located within the existing building.

• ***Development Permit Findings***

Pursuant to HMPC Section 9-2.1003, a Development Permit is required when a new structure or use listed as subject to a “Development Permit” (D) in the applicable zoning district;

In granting a Development Permit, the Planning Commission must make findings in connection with the

Development Permit, as set forth in the Huntington Park Municipal Code. Pursuant to HMPC Section 9-2.1007, a Development Permit may be approved only if all of the following findings are made:

1. The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards.

Finding: The proposed wireless telecommunication facility is conditionally permitted within the subject zoning district, pursuant to the Huntington Park Municipal Code, Section 9-4.202. The Commercial General zone is intended to provide for general retail, professional office, and service-oriented business activities serving a community-wide need under design standards that ensure compatibility and harmony with adjoining land uses. The addition of the wireless communication facility will provide additional telecommunication services to the residents of Huntington Park and will be compatible with the adjoining land uses. Additionally, the proposed project is in compliance with the requirements of the HPMC.

2. The proposed development is consistent with the General Plan.

Finding: The proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 2.0; Policy 2.2 of the Land Use Element of the General Plan by requiring that commercial development provide adequate buffers at the designated boundaries with adjacent residential uses so as to prevent impacts on residences due to noise, traffic, parking light and glare, and differences in scale; to ensure privacy; and to provide visual architectural compatibility with the existing commercial building and will be compatible with the surrounding area.

The proposed project is also consistent with Goal 3.0; Policy 3.2 of the Land Use Element of the General Plan by promoting vigorous enforcement of City codes, including building, zoning, and health and safety, to promote property maintenance by providing all new

infrastructure to meet development standards in the designated zone. Applicant will provide new improvements and additional maintenance to the subject property, in form of up new landscaping and the improvements to the existing roof access stairs.

- 3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property.**

Finding: The proposed project is located on a lot that measures approximately 5,868 square feet. The design, location, size, and operating characteristics of the proposed telecommunication facility is not expected to be detrimental to the public health, safety, and welfare of the City due to the fact that the proposed project is in compliance with all Federal Communication Commission (FCC) requirements. The proposed project will be compatible to the surrounding area and existing commercial building. The proposed enclosure shall be architecturally compatible with the existing commercial building. A condition has been included.

- 4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.**

Finding: An environmental assessment has been conducted for this project in compliance with the California Environmental Quality Act (CEQA). The project is Categorically exempt pursuant to Article 19, Section 15332, In-Fill Development Projects, Class 32 of the California Environmental Quality Act (CEQA) Guidelines.

- 5. The subject site is physically suitable for the type and density/intensity of use being proposed.**

Finding: The proposed project site measures approximately 5,868 square feet. The proposed project will be installed on the existing roof top of the commercial building. The twelve (12) antennas will be fully screened by a new enclosure that will match the

façade of the existing building. The antennas accessory equipment will be located in an existing equipment room located on the second floor of the commercial building. The proposed project also complies with all development standards of the Huntington Park Municipal Code.

- 6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare.**

Finding: Vehicular and pedestrian access to the site will be provided through Florence Boulevard. The project will not significantly intensify public access, water, sanitation, and other public utilities due to the fact that the proposed project will not generate additional demand on these infrastructures or require any types of modifications. In addition, the proposed wireless communication facility will not impede the accessibility to public access, due to the fact that all antennas will be located on the roof top of the building and all accessory equipment will be located within the existing building.

- 7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.**

Finding: The proposed project has been reviewed by various departments (i.e. Building and Safety, Public Works, LA County Fire, Huntington Park Police Department, etc.) and conditions of approval have been included to ensure that project does not create any issues of concern that would be detrimental to the public health, safety, or welfare of the City.

RECOMMENDATION:

Based on the evidence presented, it is the recommendation of Planning Division Staff that the Planning Commission **approve Case No. 2017-07 CUP/DP**, subject to the following proposed conditions of approval and/or other conditions that the Planning Commission may wish to impose.

CONDITIONS OF APPROVAL:

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2017-07 CUP/DP- 2960 Florence Avenue

January 16, 2019

Page 12 of 15

PLANNING

1. That the applicant/property owner and each successor in interest to the property which is the subject of this project shall defend, indemnify and hold harmless the City of Huntington Park and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, City Council, or Planning Commission. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. The proposed project shall comply with all applicable federal, state and local agency codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Zoning, and Business License Regulations of the City of Huntington Park.
4. The property be developed and maintained in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal Code.
5. All proposed on-site utilities, including electrical and equipment wiring, shall be installed underground and/or routed along the ground floor and shall be completely concealed from public view as required by the City prior to authorization to operate.
6. That the wireless communication facility be operated in compliance with the City of Huntington Park Noise Ordinance.
7. That any existing and/or future graffiti, as defined by the Huntington Park Municipal Code Section 5-27.02(d), shall be diligently removed within a reasonable time period.
8. That all unmaintained landscaping material shall be replaced with new landscape materials. The applicant shall submit a landscape plan prepared by a license landscape architect.
9. That there shall be a maximum of twelve (12) antennas installed at the subject site. If additional antennas are to be proposed, a modification to the Conditional Use Permit shall be required.
10. That the antennas enclosure shall be architecturally compatible with the existing commercial building.

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2017-07 CUP/DP- 2960 Florence Avenue

January 16, 2019

Page 13 of 15

11. That the operator shall obtain/amend its City of Huntington Park Business License proper to commencing business operations.
12. That the Applicants comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The Applicants shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) requirements.
13. That this entitlement shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
14. That the violation of any of the conditions of this entitlement may result in a citation(s) and/or the revocation of the entitlement.
15. That this entitlement may be subject to additional conditions after its original issuance, upon a duly noticed public hearing item. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
16. That the Applicant be required to apply for a new entitlement if any alteration, modification, or expansion would result in an increase to equipment and/or antennas.
17. That this entitlement shall expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
18. That if the use ceases to operate for a period of six (6) months the entitlement shall be null and void.
19. That should the operation of this establishment be granted, deemed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall be reviewed.
20. That the Applicant shall comply with all applicable property development standards including, but not limited to, outdoor storage, fumes and vapors, property maintenance, and noise.
21. The Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.

PLANNING COMMISSION AGENDA REPORT

CASE NO. 2017-07 CUP/DP- 2960 Florence Avenue

January 16, 2019

Page 14 of 15

22. That the business owner (Applicant) and property owner agree in writing to the above conditions.

BUILDING AND SAFETY

23. This conditional approval/acceptance is subject to the approvals from other departments including and may not be limited to Planning Division, Engineering, Code Enforcement and Fire Department.
24. This review shall not be construed as Plan Check Approval due to the lack of construction details and calculations.
25. Provide the following Risk Category Certification on the cover sheet "I certify that none of the antennas are dedicated to emergency response organizations (i.e. police, fire, hospitals, emergency operations centers for governments, etc.) or are used to receive or transmit their organizations' communications.
26. Provide plans and structural calculations to ascertain the existing structure/building is adequate to support the additional loads due to the telecommunication wireless facility.
27. The Civil or Structural Engineer -of-record shall wet stamp, sign, provide the license expiration date and the signing date on the calculations and every sheet of the plans.
28. Provide details and notes to show the standby generator is properly grounded and vented. The electrical drawings must be wet stamped, signed, provided the license expiration date and the signing date by a CA licensed Electrical Engineer on the calculations and every sheet of the electrical plans.
29. The roof access hatch shall be a permanent or foldaway inside stairway or ladder, terminating in an enclosure, scuttle, or trap door; and shall not be less than 22 inches by 24 inches and shall open easily and safely under all conditions, and shall be constructed so as to permit access from the roof side unless deliberately locked on the inside. Not less than 6 feet of clearance shall be between the access opening and the edge of the roof, or else rigidly fixed rails or guards not less than 42 inches in height shall be provided on the exposed side. When parapets are utilized in lieu of guards or rails, they shall be not less than 42 inches in height. (CMC 304.3.1.1) .
30. Permanent ladders required by CMC 304.3.1.1 shall be constructed in accordance with the following:
- a. Side railing shall extend not less than 30 inches above the roof.
 - b. Width shall not be less than 14 inches.
 - c. Rungs spacing shall not exceed 12 inches on center and each rung shall be capable of supporting a 300 pound load.
 - d. Toe space shall be no less than 6 inches.

PUBLIC WORKS

31. Prior to building permit issuance, a lot line merger to consolidate the three existing parcels (6212-002-006, 6212-002-007, 6212-002-008) shall be filed, reviewed, approved, and recorded with the Los Angeles County Recorder's office.

LOS ANGELES COUNTY FIRE DEPARTMENT

32. Review and approval by the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit will be required for this project prior to building permit issuance. Contact the County of Los Angeles Fire Department Fire Prevention Engineering Section Plan Check Office for specific review and submittal requirements.

EXHIBITS:

- A: PC Resolution No. 2017-07 CUP/DP Application
- B: Vicinity Map
- C: Assessor's Parcel Map
- D: Site Plan
- E: Elevation
- F: Coverage Maps

PC RESOLUTION NO. 2017-07 CUP/DP

EXHIBIT A

CASE NO. 2017-07 CUP/DP

1 **PC RESOLUTION NO. 2017-07**

2 **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON**
3 **PARK, STATE OF CALIFORNIA, APPROVING A REQUES FOR CONDITIONAL USE**
4 **PERMIT AND A DEVELOPMENT PERMIT TO INSTALL AN UNMANNED WIRELESS**
5 **COMMUNICATION FACILITY ON THE ROOF TOP OF AN EXISTING BUILDING**
6 **LOCATED AT 2960 FLORENCE AVENUE, WITHIN THE COMMERCIAL GENERAL**
7 **(C-G) ZONE.**

8 **WHEREAS**, a public hearing was held at City Hall, 6550 Miles Avenue, Huntington
9 Park, California on Wednesday, January 16, 2019 at 6:30 p.m. pursuant to the notice
10 published and posted as required by law in accordance with the provisions of the
11 Huntington Park Municipal Code, upon an application from Verizon Wireless, requesting
12 approval of a Conditional Use Permit and a Development Permit to install an unmanned
13 wireless facility on the roof top of an existing building located at 2960 Florence Avenue,
14 within the commercial general (CG) zone, described as:

15 Assessor's Parcel No. 6212-002-008, City of Huntington Park, County of Los
16 Angeles; and

17 **WHEREAS**, the Planning Division has reviewed the request and has found that all of
18 the findings for approval of a Conditional Use Permit can be made as required by the
19 Municipal Code; and

20 **WHEREAS**, the Planning Commission has considered the environmental impact
21 information relative to the proposed request; and

22 **WHEREAS**, all persons appearing for or against the approval of the Conditional Use
23 Permit were given the opportunity to be heard in connection with said matter; and

24 **WHEREAS**, all written comments received prior to the hearing, and responses to
25 such comments, were reviewed by the Planning Commission; and

26 **WHEREAS**, the Planning Commission is required to announce its findings and
27 recommendations.

28 //

//

1 NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF
2 HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS
3 FOLLOWS:

4 **SECTION 1:** Based on the evidence within staff report and the Environmental
5 Assessment Questionnaire, the Planning Commission adopts the findings in said
6 Questionnaire and determines that the project, as proposed, will have no significant
7 adverse effect on the environment and adopts an Environmental Categorical Exemption
8 (CEQA Guidelines, Section 15332(32), In-Fill Development).

9 **SECTION 2:** The Planning Commission hereby makes the following findings in
10 connection with the proposed Conditional Use Permit:

11 1. The proposed use is conditionally permitted within, and would not impair the
12 integrity and character of, the subject zoning district and complies with all of the
13 applicable provisions of this Code in ***that the proposed wireless***
14 ***telecommunication facility is conditionally permitted within the subject***
15 ***zoning district, pursuant to the Huntington Park Municipal Code, Section 9-***
16 ***4.202. The Commercial General zone is intended to provide for general retail,***
17 ***professional office, and service-oriented business activities serving a***
18 ***community-wide need under design standards that ensure compatibility and***
19 ***harmony with adjoining land uses. The addition of the wireless***
20 ***communication facility will provide additional telecommunication services to***
21 ***the residents of Huntington Park and will be compatible with the adjoining***
22 ***land uses. Additionally, the proposed project is in compliance with the***
23 ***requirements of the HPMC.***

24 2. The proposed use is consistent with the General Plan in that ***The proposed***
25 ***project is consistent with the General Plan, specifically, the proposed use is***
26 ***consistent with Goal 2.0; Policy 2.2 of the Land Use Element of the General***
27 ***Plan by requiring that commercial development provide adequate buffers at***
28 ***the designated boundaries with adjacent residential uses so as to prevent***

1 *impacts on residences due to noise, traffic, parking light and glare, and*
2 *differences in scale; to ensure privacy; and to provide visual architecturally*
3 *compactible with the existing commercial building and will be compatible*
4 *with the surrounding area.*

5 *The proposed project is also consistent with Goal 3.0; Policy 3.2 of the Land*
6 *Use Element of the General Plan by promoting vigorous enforcement of City*
7 *codes, including building, zoning, and health and safety, to promote property*
8 *maintenance by providing all new infrastructure to meet development*
9 *standards in the designated zone. Applicant will provide new improvements*
10 *and additional maintenance to the subject property, in form of up new*
11 *landscaping and the improvements to the existing roof access stairs.*

12 3. The approval of the Conditional Use Permit for the proposed use is in compliance
13 with the requirements of the California Environmental Quality Act (CEQA) and the
14 City's Guidelines in that *an environmental assessment has been conducted for*
15 *this project in compliance with the California Environmental Quality Act*
16 *(CEQA). The project is Categorically exempt pursuant to Article 19, Section*
17 *15332, In-Fill Development Projects, Class 32 of the California Environmental*
18 *Quality Act (CEQA) Guidelines.*

19 4. The design, location, size and operating characteristics of the proposed use are
20 compatible with the existing and planned future land uses within the general area in
21 which the proposed use is to be located and will not create significant noise, traffic
22 or other conditions or situations that may be objectionable or detrimental to other
23 permitted uses operating nearby or adverse to the public interest, health, safety,
24 convenience or welfare of the City in that *the proposed project is located on a lot*
25 *that measures approximately 5,868 square feet. The design, location, size,*
26 *and operating characteristics of the proposed telecommunication facility is*
27 *not expected to be detrimental to the public health, safety, and welfare of the*
28 *City due to the fact that the proposed project is in compliance with all Federal*

1 **Communication Commission (FCC) requirements. The proposed project will**
2 **be compatible to the surrounding area and existing commercial building. The**
3 **proposed enclosure shall be architecturally compatible with the existing**
4 **commercial building. A condition has been included.**

5 5. The subject site is physically suitable for the type and density/intensity of use being
6 proposed in that **the proposed project site measures approximately 5,868**
7 **square feet. The proposed project will be installed on the existing roof top of**
8 **the commercial building. The twelve (12) antennas will be fully screened by a**
9 **new enclosure that will match the façade of the existing building. The**
10 **antennas accessory equipment will be located in an existing equipment room**
11 **located on the second floor of the commercial building. The proposed project**
12 **also complies with all development standards of the Huntington Park**
13 **Municipal Code.**

14 6. There are adequate provisions for public access, water, sanitation and public
15 utilities and services to ensure that the proposed use would not be detrimental to
16 public health, safety and general welfare in that **vehicular and pedestrian access**
17 **to the site will be provided through Florence Boulevard. The project will not**
18 **significantly intensify public access, water, sanitation, and other public**
19 **utilities due to the fact that the proposed project will not generate additional**
20 **demand on these infrastructures or require any types of modifications. In**
21 **addition, the proposed wireless communication facility will not impede the**
22 **accessibility to public access, due to the fact that all antennas will be located**
23 **on the roof top of the building and all accessory equipment will be located**
24 **within the existing building.**

25 **SECTION 3:** The Planning Commission hereby makes the following findings in
26 connection with the proposed Development Permit:

27 1. The proposed development is one permitted within the subject zoning district and
28 complies with all of the applicable provisions of this Code, including prescribed

1 development/site standards in that ***the proposed wireless telecommunication***
2 ***facility is conditionally permitted within the subject zoning district, pursuant***
3 ***to the Huntington Park Municipal Code, Section 9-4.202. The Commercial***
4 ***General zone is intended to provide for general retail, professional office,***
5 ***and service-oriented business activities serving a community-wide need***
6 ***under design standards that ensure compatibility and harmony with***
7 ***adjoining land uses. The addition of the wireless communication facility will***
8 ***provide additional telecommunication services to the residents of***
9 ***Huntington Park and will be compatible with the adjoining land uses.***
10 ***Additionally, the proposed project is in compliance with the requirements of***
11 ***the HPMC.***

- 12 2. The proposed development is consistent with the General Plan in that ***The***
13 ***proposed project is consistent with the General Plan, specifically, the***
14 ***proposed use is consistent with Goal 2.0; Policy 2.2 of the Land Use Element***
15 ***of the General Plan by requiring that commercial development provide***
16 ***adequate buffers at the designated boundaries with adjacent residential uses***
17 ***so as to prevent impacts on residences due to noise, traffic, parking light***
18 ***and glare, and differences in scale; to ensure privacy; and to provide visual***
19 ***architecturally compactible with the existing commercial building and will be***
20 ***compatible with the surrounding area.***

21 ***The proposed project is also consistent with Goal 3.0; Policy 3.2 of the Land***
22 ***Use Element of the General Plan by promoting vigorous enforcement of City***
23 ***codes, including building, zoning, and health and safety, to promote property***
24 ***maintenance by providing all new infrastructure to meet development***
25 ***standards in the designated zone. Applicant will provide new improvements***
26 ***and additional maintenance to the subject property, in form of up new***
27 ***landscaping and the improvements to the existing roof access stairs.***
28

- 1 3. The proposed development would be harmonious and compatible with existing and
2 planned future developments within the zoning district and general area, as well as
3 with the land uses presently on the subject property in that ***the proposed project***
4 ***is located on a lot that measures approximately 5,868 square feet. The***
5 ***design, location, size, and operating characteristics of the proposed***
6 ***telecommunication facility is not expected to be detrimental to the public***
7 ***health, safety, and welfare of the City due to the fact that the proposed***
8 ***project is in compliance with all Federal Communication Commission (FCC)***
9 ***requirements. The proposed project will be compatible to the surrounding***
10 ***area and existing commercial building. The proposed enclosure shall be***
11 ***architecturally compatible with the existing commercial building. A condition***
12 ***has been included.***
- 13 4. The approval of the Development Permit for the proposed project is in compliance
14 with the requirements of the California Environmental Quality Act (CEQA) and the
15 City's Guidelines in that ***an environmental assessment has been conducted for***
16 ***this project in compliance with the California Environmental Quality Act***
17 ***(CEQA). The project is Categorically exempt pursuant to Article 19, Section***
18 ***15332, In-Fill Development Projects, Class 32 of the California Environmental***
19 ***Quality Act (CEQA) Guidelines.***
- 20 5. The subject site is physically suitable for the type and density/intensity of use being
21 proposed in that ***the proposed project site measures approximately 5,868***
22 ***square feet. The proposed project will be installed on the existing roof top of***
23 ***the commercial building. The twelve (12) antennas will be fully screened by a***
24 ***new enclosure that will match the façade of the existing building. The***
25 ***antennas accessory equipment will be located in an existing equipment***
26 ***room located on the second floor of the commercial building. The proposed***
27 ***project also complies with all development standards of the Huntington Park***
28 ***Municipal Code.***

1 6. There are adequate provisions for public access, water, sanitation and public
2 utilities and services to ensure that the proposed development would not be
3 detrimental to public health, safety and general welfare in that ***vehicular and***
4 ***pedestrian access to the site will be provided through Florence Boulevard.***
5 ***The project will not significantly intensify public access, water, sanitation,***
6 ***and other public utilities due to the fact that the proposed project will not***
7 ***generate additional demand on these infrastructures or require any types of***
8 ***modifications. In addition, the proposed wireless communication facility will***
9 ***not impede the accessibility to public access, due to the fact that all***
10 ***antennas will be located on the roof top of the building and all accessory***
11 ***equipment will be located within the existing building.***

12 7. The design, location, size and operating characteristics of the proposed
13 development would not be detrimental to the public health, safety, or welfare of the
14 City in that ***the proposed project has been reviewed by various departments***
15 ***(i.e. Building and Safety, Public Works, LA County Fire, Huntington Park***
16 ***Police Department, etc.) and conditions of approval have been included to***
17 ***ensure that project does not create any issues of concern that would be***
18 ***detrimental to the public health, safety, or welfare of the City.***

19
20 **SECTION 4:** The Planning Commission hereby approves Resolution No. 2017-07
21 CUP/DP, subject to the execution and fulfillment of the following conditions:

22 **PLANNING**

23 1. That the applicant/property owner and each successor in interest to the property
24 which is the subject of this project shall defend, indemnify and hold harmless the
25 City of Huntington Park and its agents, officers, and employees from any claim,
26 action or proceedings, liability cost, including attorney's fees and costs against the
27 City or its agents, officers or employees, to attack, set aside, void or annul any
28 approval of the City, City Council, or Planning Commission. The City shall
promptly notify the applicant of any claim, action or proceeding and should
cooperate fully in the defense thereof.

- 1 2. Except as set forth in subsequent conditions, all-inclusive, and subject to
2 department corrections and conditions, the property shall be developed
3 substantially in accordance with the applications, environmental assessment, and
4 plans submitted.
- 4 3. The proposed project shall comply with all applicable federal, state and local
5 agency codes, laws, rules, and regulations, including Health, Building and Safety,
6 Fire, Zoning, and Business License Regulations of the City of Huntington Park.
- 6 4. The property be developed and maintained in a clean, neat, quiet, and orderly
7 manner at all times and comply with the property maintenance standards as set
8 forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal
9 Code.
- 9 5. All proposed on-site utilities, including electrical and equipment wiring, shall be
10 installed underground and/or routed along the ground floor and shall be completely
11 concealed from public view as required by the City prior to authorization to
12 operate.
- 12 6. That the wireless communication facility be operated in compliance with the City of
13 Huntington Park Noise Ordinance.
- 14 7. That any existing and/or future graffiti, as defined by the Huntington Park Municipal
15 Code Section 5-27.02(d), shall be diligently removed within a reasonable time
16 period.
- 16 8. That all unmaintained landscaping material shall be replaced with new landscape
17 materials. The applicant shall submit a landscape plan prepared by a license
18 landscape architect.
- 18 9. That there shall be a maximum of twelve (12) antennas installed at the subject site.
19 If additional antennas are to be proposed, a modification to the Conditional Use
20 Permit shall be required.
- 20 10. That the antennas enclosure shall be architecturally compatible with the existing
21 commercial building.
- 22 11. That the operator shall obtain/amend its City of Huntington Park Business License
23 proper to commencing business operations.
- 24 12. That the Applicants comply with all of the provisions of Title 7, Chapter 9 of the
25 Huntington Park Municipal Code relating to Storm Water Management. The
26 Applicants shall also comply with all requirements of the National Pollutant
27 Discharge Elimination System (NPDES), Model Programs, developed by the
28 County of Los Angeles Regional Water Quality Board. This includes compliance
29 with the City's Low Impact Development (LID) requirements.

- 1 13. That this entitlement shall be subject to review for compliance with conditions of
2 the issuance at such intervals as the City Planning Commission shall deem
3 appropriate.
- 4 14. That the violation of any of the conditions of this entitlement may result in a
5 citation(s) and/or the revocation of the entitlement.
- 6 15. That this entitlement may be subject to additional conditions after its original
7 issuance, upon a duly noticed public hearing item. Such conditions shall be
8 imposed by the City Planning Commission as deemed appropriate to address
9 problems of land use compatibility, operations, aesthetics, security, noise, safety,
10 crime control, or to promote the general welfare of the City.
- 11 16. That the Applicant be required to apply for a new entitlement if any alteration,
12 modification, or expansion would result in an increase to equipment and/or
13 antennas.
- 14 17. That this entitlement shall expire in the event it is not exercised within one (1) year
15 from the date of approval, unless an extension has been granted by the Planning
16 Commission.
- 17 18. That if the use ceases to operate for a period of six (6) months the entitlement
18 shall be null and void.
- 19 19. That should the operation of this establishment be granted, deemed, conveyed,
20 transferred, or should a change in management or proprietorship occur at any
21 time, this Conditional Use Permit shall be reviewed.
- 22 20. That the Applicant shall comply with all applicable property development standards
23 including, but not limited to, outdoor storage, fumes and vapors, property
24 maintenance, and noise.
- 25 21. The Director of Community Development is authorized to make minor
26 modifications to the approved preliminary plans or any of the conditions if such
27 modifications shall achieve substantially the same results, as would strict
28 compliance with said plans and conditions.
22. That the business owner (Applicant) and property owner agree in writing to the
above conditions.

BUILDING AND SAFETY

23. This conditional approval/acceptance is subject to the approvals from other
departments including and may not be limited to Planning Division, Engineering,
Code Enforcement and Fire Department.
24. This review shall not be construed as Plan Check Approval due to the lack of
construction details and calculations.

- 1
- 2 25. Provide the following Risk Category Certification on the cover sheet "I certify that
- 3 none of the antennas are dedicated to emergency response organizations (i.e.
- 4 police, fire, hospitals, emergency operations centers for governments, etc.) or are
- 5 used to receive or transmit their organizations' communications.
- 6
- 7 26. Provide plans and structural calculations to ascertain the existing structure/building
- 8 is adequate to support the additional loads due to the telecommunication wireless
- 9 facility.
- 10
- 11 27. The Civil or Structural Engineer -of-record shall wet stamp, sign, provide the
- 12 license expiration date and the signing date on the calculations and every sheet of
- 13 the plans.
- 14
- 15 28. Provide details and notes to show the standby generator is properly grounded and
- 16 vented. The electrical drawings must be wet stamped, signed, provided the license
- 17 expiration date and the signing date by a CA licensed Electrical Engineer on the
- 18 calculations and every sheet of the electrical plans.
- 19
- 20 29. The roof access hatch shall be a permanent or foldaway inside stairway or ladder,
- 21 terminating in an enclosure, scuttle, or trap door; and shall not be less than 22
- 22 inches by 24 inches and shall open easily and safely under all conditions, and shall
- 23 be constructed so as to permit access from the roof side unless deliberately locked
- 24 on the inside. Not less than 6 feet of clearance shall be between the access
- 25 opening and the edge of the roof, or else rigidly fixed rails or guards not less than
- 26 42 inches in height shall be provided on the exposed side. When parapets are
- 27 utilized in lieu of guards or rails, they shall be not less than 42 inches in height.
- 28 (CMC 304.3.1.1).
30. Permanent ladders required by CMC 304.3.1.1 shall be constructed in accordance
- with the following:
- a. Side railing shall extend not less than 30 inches above the roof.
 - b. Width shall not be less than 14 inches.
 - c. Rungs spacing shall not exceed 12 inches on center and each rung shall be capable of supporting a 300 pound load.
 - d. Toe space shall be no less than 6 inches.

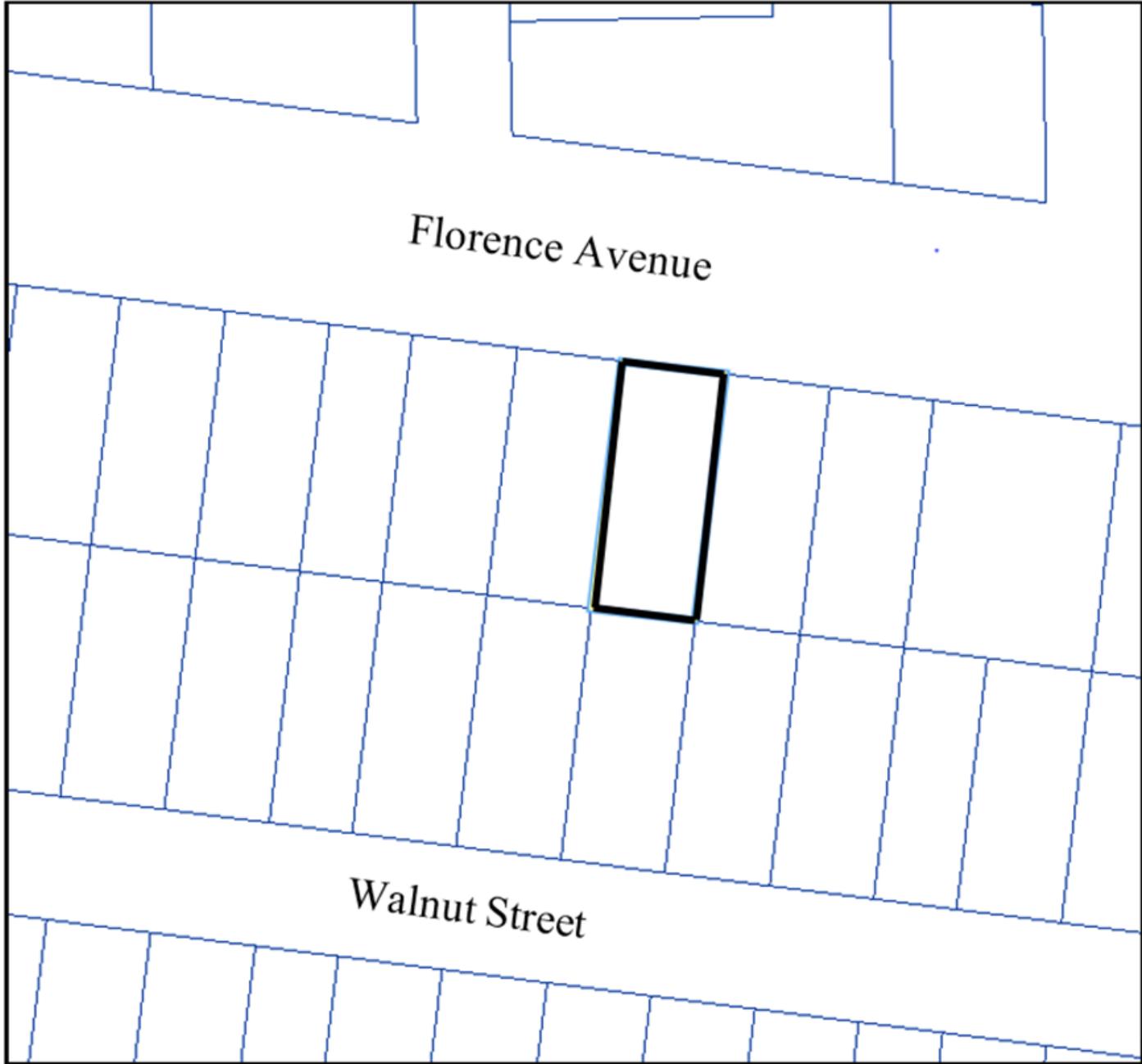
PUBLIC WORKS

31. Prior to building permit issuance, a lot line merger to consolidate the three existing parcels (6212-002-006, 6212-002-007, 6212-002-008) shall be filed, reviewed, approved, and recorded with the Los Angeles County Recorder's office.

VICINITY MAP

EXHIBIT B

CASE NO. 2017-07 CUP/DP



Florence Avenue

Walnut Street

ASSESSOR'S PARCEL MAP

EXHIBIT C

CASE NO. 2017-07 CUP/DP

2018



MAPPING AND GIS SERVICES SCALE 1" = 100'



SITE PLAN

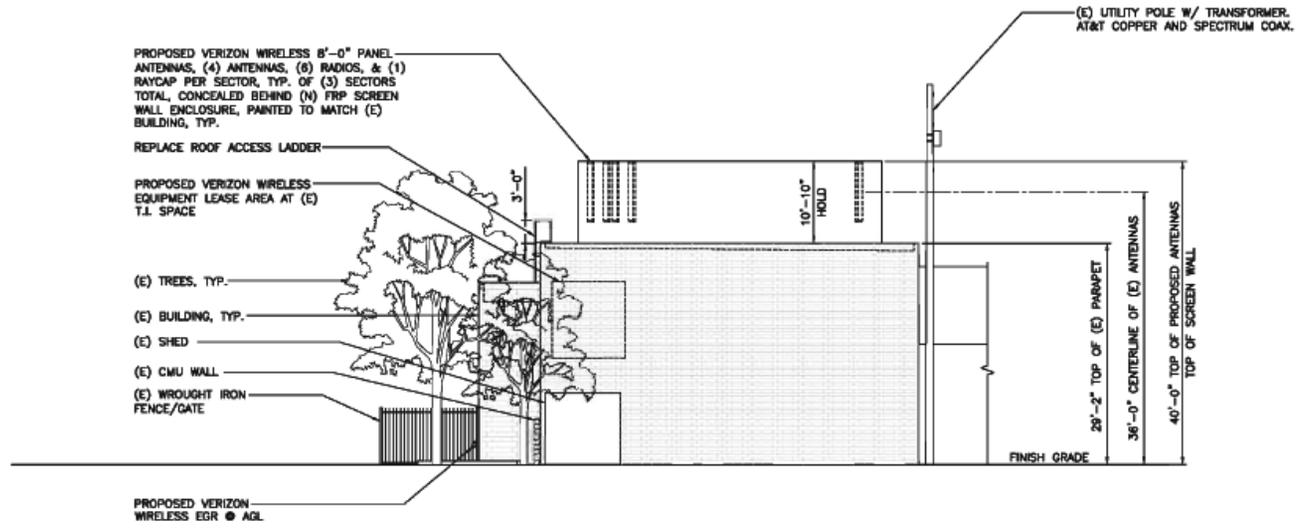
EXHIBIT D

CASE NO. 2017-07 CUP/DP

ELEVATION PLAN

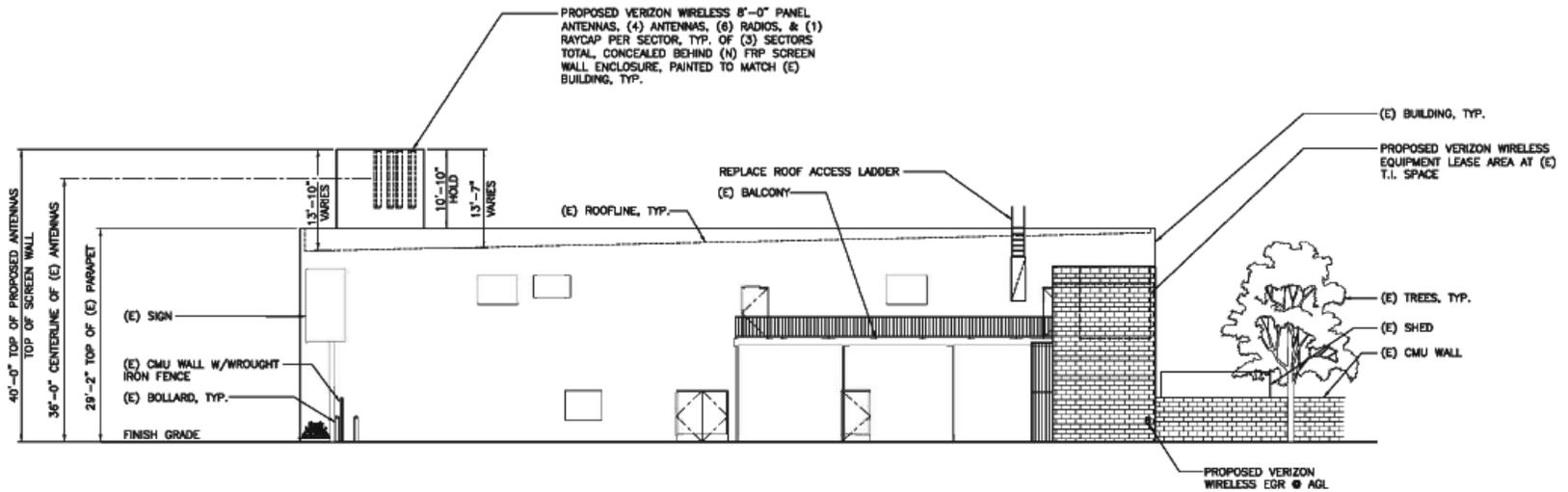
EXHIBIT E

CASE NO. 2017-07 CUP/DP



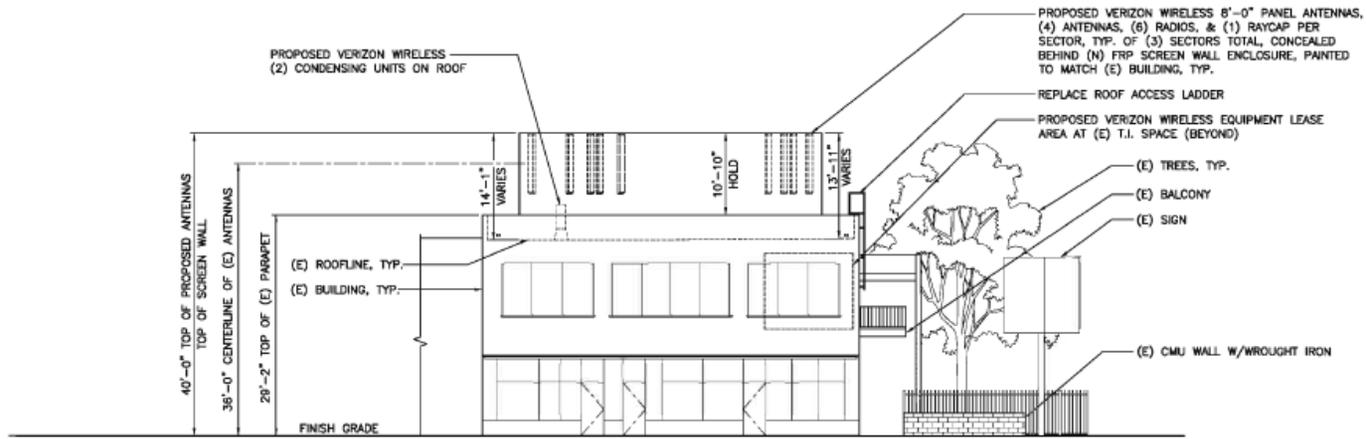
SOUTH ELEVATION

SCALE: 1/8" = 1'-0" 1



WEST ELEVATION

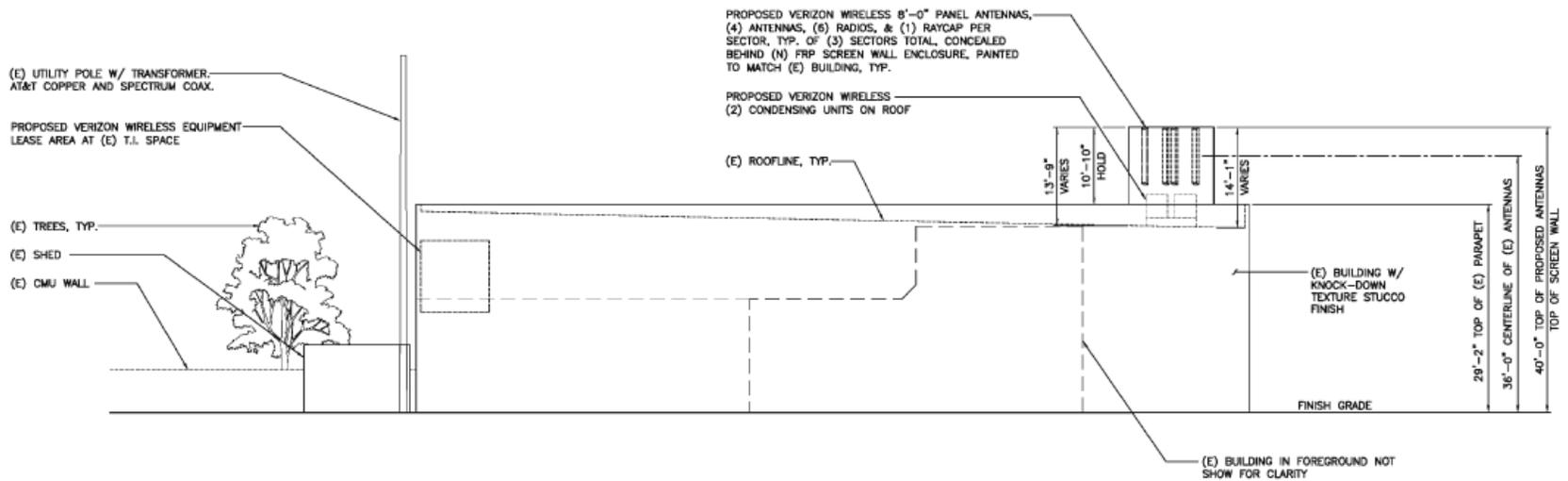
SCALE: 1/8" = 1'-0" 2



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

1



EAST ELEVATION

SCALE: 1/8" = 1'-0"

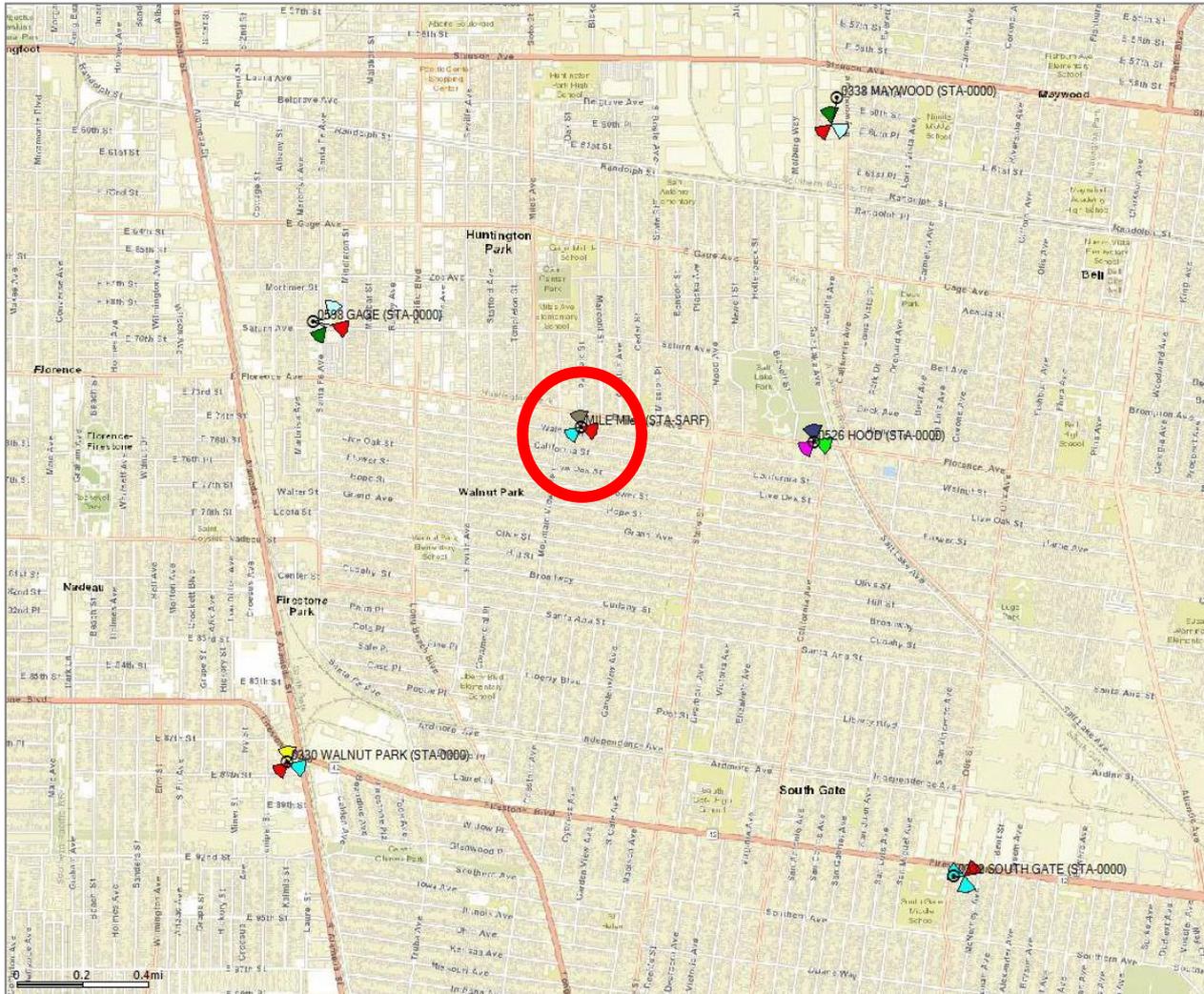
2

COVERAGE MAPS

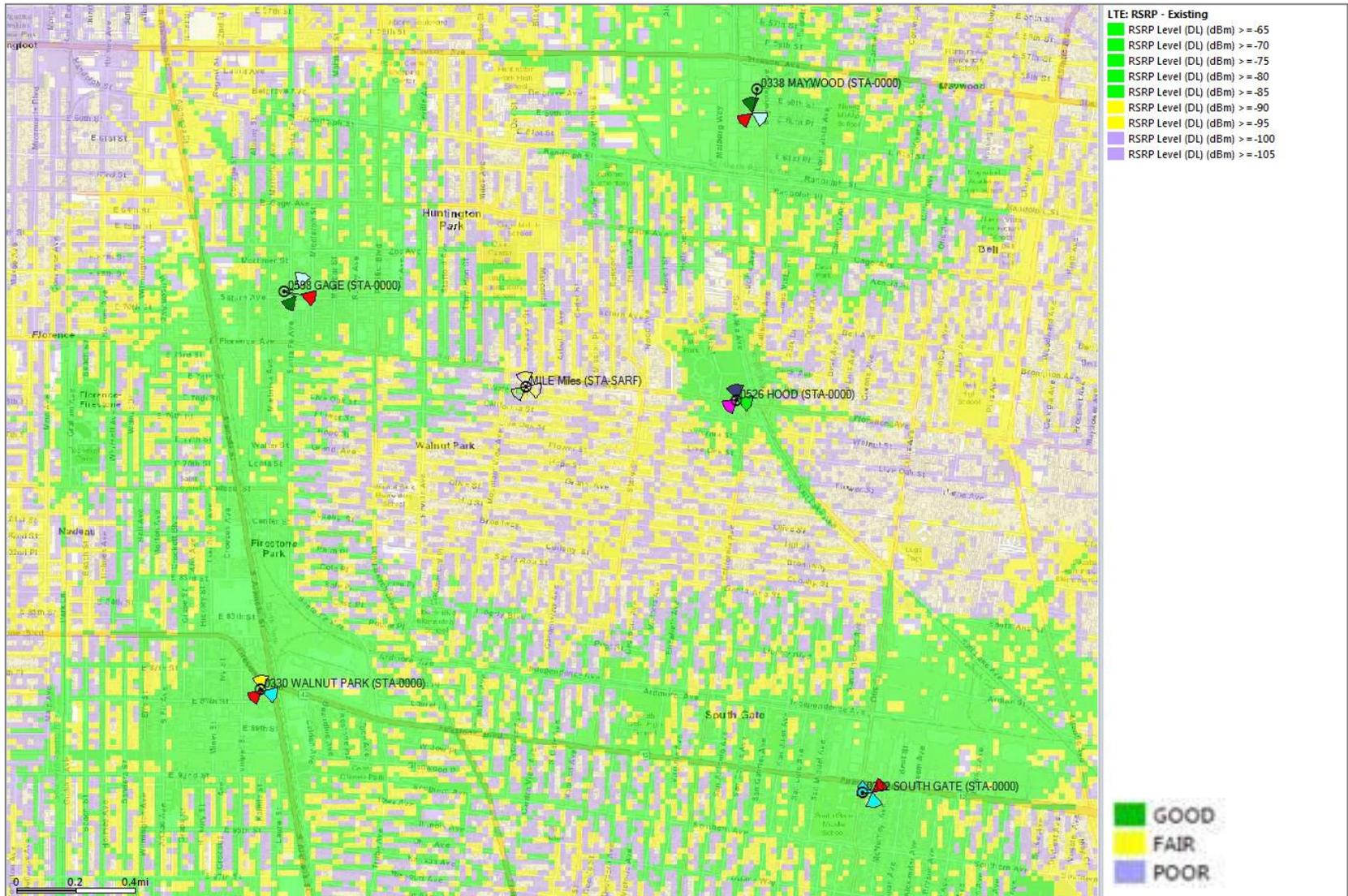
EXHIBIT F

CASE NO. 2017-07 CUP/DP

Overview Map



Verizon Coverage without Miles

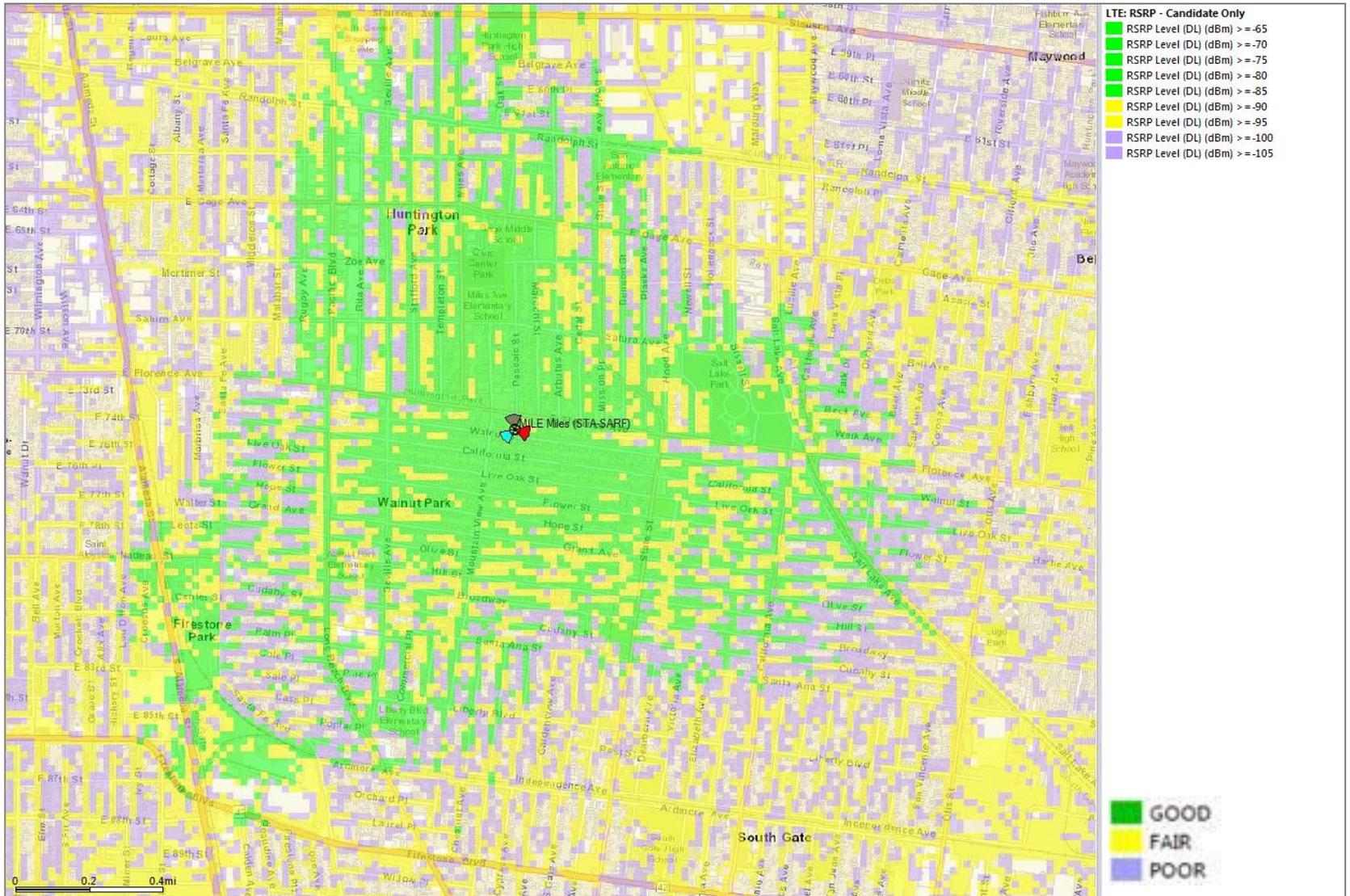


Verizon Coverage with Miles



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

Miles Coverage





CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: JANUARY 16, 2019

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: CARLOS LUIS, SENIOR PLANNER

FROM: DEBRA MARTINEZ, PLANNING TECHNICIAN

SUBJECT: **PLANNING COMMISSION CASE NO. 2018-11 CUP/DP
(CONDITIONAL USE PERMIT / DEVELOPMENT PERMIT)**

REQUEST: A REQUEST FOR A CONDITIONAL USE PERMIT AND A DEVELOPMENT PERMIT TO ALLOW AN INTERIOR REMODEL TO AN EXISTING RESTAURANT WITH A TYPE 47 ALCOHOL LICENSE (ON-SALE GENERAL) AND TYPE 58 ALCOHOL LICENSE (CATERING) WITHIN THE DISTRICT A (GATEWAY) OF THE DOWNTOWN HUNTINGTON PARK SPECIFIC PLAN (DTSP), ON PROPERTY LOCATED AT 7111 PACIFIC BOULEVARD.

APPLICANT: Albert Oquendo
9519 California Ave
South Gate, CA 90255

PROPERTY OWNER: Manuel Simental
7111 Pacific Boulevard
Huntington Park, CA 90010

PROJECT LOCATION: 7111 Pacific Blvd

**ASSESSOR'S
PARCEL NUMBER:** 6322-023-024

PRESENT USE: District A, Festival

PROJECT SIZE: 1,980 sq. ft. of dining area
96 sq. ft. of waiting area
182 sq. ft. of dance area
137 sq. ft. of stage area

250 sq. ft. of bar area
2,645 sq. ft. of restaurant area to be remodeled.

BUILDING SIZE: 4,705 sq. ft.
SITE SIZE: 7,350 sq. ft.
GENERAL PLAN: Downtown Huntington Park Specific Plan (DTSP)
ZONE: District A (Gateway) of the DTSP
SURROUNDING LAND USES: North: Commercial (District B, Festival) of the DTSP
West: Commercial (District A, Getaway) of the DTSP
South: Commercial (District A, Getaway) of the DTSP
East: Commercial (District B, Festival) of the DTSP

MUNICIPAL CODE REQUIREMENTS FOR A CONDITIONAL USE PERMIT: Pursuant to the HPMC Section 9-4.203, a restaurant with on sale of alcohol within the DTSP District A (Festival) is permitted in the DTSP District A provided a Conditional Use (CUP) has been granted by the Planning Commission.

REQUIRED FINDINGS FOR A CONDITIONAL USE PERMIT: Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Commission may approve and/or modify a CUP application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;

4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;
5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

**MUNICIPAL CODE
REQUIREMENTS FOR A
DEVELOPMENT PERMIT:**

Pursuant to HMPC Section 9-2.1003, a Development Permit is required for alterations to existing structure or use, affecting or involving a minimum of twenty-five (25) percent of the total gross floor area of the structure.

**REQUIRED FINDINGS
FOR A DEVELOPMENT
PERMIT:**

Pursuant to HMPC Section 9-2.1007, a Development Permit may be approved only if all of the following findings are made:

1. The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards;
2. The proposed development is consistent with the General Plan;
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property;

4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
5. The subject site is physically suitable for the type and density/intensity of use being proposed;
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare; and
7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.

**ENVIRONMENTAL
REVIEW:**

Categorically Exempt pursuant to Article 19, Section 156301, Existing Facilities, Class 1 (a) of the California Environmental Quality Act (CEQA) Guidelines.

**PROJECT
BACKGROUND:**

- ***Site Description***

The subject site is located on the west side of Pacific Boulevard north of Florence Avenue. The subject site measures approximately 7,350 square feet and is currently developed with a 6,541 square foot restaurant and parking lot. The first floor is utilized as a restaurant and the second floor is utilized as storage and office for the restaurant.

- ***Project Proposal***

The applicant is proposing to remodel the existing first floor which is utilized as a restaurant. The proposed remodel includes relocating the existing bar area, stage, dance floor, seating area, waiting area, raising a portion of the existing ceiling, and building a new trash enclosure.

- ***Business Operation***

The existing restaurant, El Chamizal, has been in operation since September of 1996. The restaurant provides traditional Mexican cuisine and seafood that include grilled dishes, fajitas, shrimp cocktails, and lobster. Soft drinks and alcoholic beverages are offered as well. Alcohol sales are from 10:00 am to 1:00 am. According to the business description submitted by the applicant the restaurant is open Monday through Sunday from 8:00 am to 1:30 am.

The restaurant also offers live entertainment, which operates Monday through Sunday from 8:00 pm to 1:30 am. The live entertainment consists of a live band playing “Ranchera” music. The proposed interior remodel does not change the current use and will continue to operate as a restaurant with live entertainment.

**PROJECT
ANALYSIS:**

- ***Business Operation***

According to the business description, alcohol is served Monday through Sunday from 10:00 am to 1:00 am. The remodel does not affect the occupancy or occupancy load of the restaurant as determined by the city’s Building Official. On the weekends and during the hours of 6:00 pm to 1:30 am, the restaurant is staffed with 30 employees consisting of one restaurant manager, one kitchen manger, three cooks, two prep cooks, one tortilla maker, one dishwasher, one cashier/hostess, one head waiter, four waiters, five busser, five bartenders, and five bar backs. From 8:00 am to 6:00 pm the restaurant is staffed with 12 employees, consisting of one restaurant manager, one kitchen manager, two cooks, one prep cook, one tortilla maker, one dishwasher, one cashier/ hostess, one head waiter, one waiter, and two busser. The restaurant is not exclusively rented to private such as private parties.

- ***CALIFORNIA DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL (ABC)***

The existing restaurant has two active alcohol licenses on file with ABC. The restaurant has a type 47 general sale

alcohol license for a bona fide eating place. The restaurant also has a type 58 alcohol license for catering. As noted, alcohol is served during normal business hours. The existing 250 square foot bar located on the southeast corner of the building will be relocated to the northeast corner of the existing building. There will be no change in square footage to the bar area. The California Department of ABC does not have any comments or concerns regarding the proposed interior remodel.

- ***Dance and Entertainment***

As noted, the restaurant has a dance and entertainment permit allowing live entertainment. According to the business description, the live entertainment takes place Monday through Sunday from 8:00 pm to 1:30 am. The hours of entertainment are consistent with the Dance and Entertainment permit requirements. The live entertainment is booked by El Chamizal staff and the music genre is “Ranchera” music. A condition of approval has been included prohibiting third party promotions and events. A condition of approval has also been included requiring two security guards on Fridays, Saturdays, and Sundays during the hours of entertainment. Security guards will be required to start at least half an hour prior to the live entertainment start time and shall not leave until the last employee has left the subject site. A security plan will be required to be submitted for review and approval from the Planning Division and the Police Department.

The restaurant has an existing dance floor measuring approximately 182 square feet on the southeast portion of the building. The dance floor will be relocated to the southeast portion of the building. The square footage of the dance floor will not be altered. The restaurant also has an existing stage and DJ booth that measures approximately 137 square feet. The stage and DJ booth will be relocated to the northwest portion of the building. No change to the square footage is being proposed.

- ***Floor Plan***

The existing restaurant has a building footprint of 4,705 square feet. The second floor measures approximately

1,836 square feet. The existing bar is located on the southeast corner of the building measures approximately 250 square feet. The bar area will be relocated to the northeast portion of the building. As indicated the dance floor is located on the south west of the building with 182 square feet and will be relocated to the northeast of the building. No change to square footage to the dance floor. The stage is currently located on the southwest portion of the building. The stage measures approximately 137 square feet and will be relocated to the northeast with no change to the square footage. The existing waiting area is located at the northwest corner approximately measuring 96 square feet and will be relocated to the southeast corner of the restaurant with no change to the square footage. The hostess booth counter is currently located on the north of the restaurant. The hostess booth will be relocated to the south end of the building. The project will also raise a portion of the ceiling on the first floor. The new raised ceiling design will not reduce or increase the square footage of the second story.

The existing seating area measures approximately 1,980 square feet and is located on the northeast portion of the building it is proposed to be relocated to the north end of the restaurant. The new seating area will be reconfigured approximately in the same area of the structure. The square footage of the seating area restaurant is not being modified or enlarged.

The proposed improvements will create an open floor plan concept, which is consistent with contemporary restaurant designs. Raising of the ceiling will also create a larger sense of space.

- ***Off- Street Parking***

Per the HPMC Section 9-3.804, the parking requirement for a restaurants is one parking space for every 400 square feet of non-seating area, one parking space for every 100 square feet of seating area. The required number of parking spaces for the restaurant is 32 spaces. The existing site is deficient by 32 parking stalls. The subject site is considered legal non conforming due to the fact that the restaurant was previously approved, with less than the current parking required.

OFF-STREET PARKING CALCULATION FOR SUBJECT SITE		
USE	REQUIRED	PROVIDED
Restaurant Seating Area	<u>1,980 sf/100</u> 20	-
Restaurant Non-Seating Area	<u>4,561 sf/400</u> 12	-
Total	32	8

The restaurant was previously approved with tandem parking. The use for the existing restaurant is not being modified and no addition is being proposed. Due to the fact no proposed change in use and no addition to existing restaurant is being proposed, additional parking is not required for the proposed project. To enhance the existing parking conditions, a condition of approval is being added requiring a parking attendant during business hours to ensure customers are able to exit the parking space without other vehicle obstruction.

- Conditional Use Permit Findings***

In granting a Conditional Use Permit for a restaurant with alcohol sales, the Planning Commission must make findings in connection with the Conditional Use Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Conditional Use Permit may be approved only if all of the following findings are made:

- The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code.**

Finding: A restaurant with alcohol sales is conditionally permitted within the subject zoning district and will not impair the integrity and characteristic of the subject zoning district, due to the fact that the restaurant meets current code standards and the use is permitted within the subject zoning district, DTSP, allowing restaurants within the current zone. In addition the proposed project

includes conditions of approval that will ensure compliance with the requirements of the HPMC.

2. The proposed use is consistent with the General Plan.

Finding: The proposed project is consistent with the General Plan's Goal 1.0; Policy 1.2 of the Land Use Element that encourages community-oriented retail in Huntington Park while contributing to revitalize Pacific Boulevard as a regional retail destination. The restaurant is part of the community retail and contributes to the general plan's vision for Pacific Boulevard.

The proposed project is also consistent with Goal 3.0: Policy 3.2 of the Land Use Element of the General Plan by Promoting vigorous enforcement of City codes, including building, zoning, and health and safety, to promote property maintenance. The conditions of approval enforce current city codes, including building, zoning, and health and safety.

3. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.

Finding: The proposed interior restaurant remodel with alcohol is Categorically Exempt pursuant to Article 19, Section 15301, Existing Facilities, Class 1 (a) of the California Environmental Quality Act (CEQA) Guidelines.

4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City.

Finding: The subject restaurant has been in business since September of 1996. The design, location, size, and operating characteristics of the existing restaurant with

the proposed interior remodel is not expected to be detrimental to the public health, safety and welfare of the City, due to the fact that it is an existing restaurant and no increase in square footage is being proposed. The only proposed changes are an interior remodel within the existing building.

5. The subject site is physically suitable for the type and density/intensity of use being proposed;

Finding: The subject site is physically suitable for the type of density/intensity of use being proposed by the applicant. The proposed project will not increase the foot print of the building and will not require additional parking. The interior remodel will not intensify the existing use. The operation will continue to operate with no proposed changes. No change to the existing occupancy or use are being proposed.

6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed use would not be detrimental to public health, safety and general welfare.

Finding: Vehicular and pedestrian access to the site are provided through the alley on the west and access thru Pacific Boulevard. The proposed request for interior remodel for the existing restaurant will not significantly intensify public access, water, sanitation, and public utilities and services due to the fact the restaurant has existing connections to the public utilities. Given that the surrounding area is already completely developed with public access, water, sanitation, and other public utilities, the proposed project would not affect these infrastructures or require any types of modifications. In addition, the proposed project would not impede the accessibility to public access, water, sanitation, or other public utilities and services.

• ***Development Permit Findings***

Pursuant to HMPC Section 9-2.1004, a Development Permit is required for the expansion of conversion of an existing

structure or use, affecting or involving a minimum of twenty five (25) percent of the total gross floor area of the structure.

In granting a Development Permit, the Planning Commission must make findings in connection with the Development Permit, as set forth in the Huntington Park Municipal Code. Pursuant to HMPC Section 9-2.1007, a Development Permit may be approved only if all of the following findings are made:

- 1. The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards.**

Finding: A restaurant with alcohol sales is conditionally permitted within the subject zoning district and will not impair the integrity and characteristic of the subject zoning district, due to the fact that the restaurant meets current code standards and the use is permitted within the subject zoning district, DTSP, allowing restaurants within the current zone. In addition the proposed project includes conditions of approval that will ensure compliance with the requirements of the HPMC.

- 2. The proposed development is consistent with the General Plan.**

Finding: The proposed project is consistent with the General Plan's Goal 1.0; Policy 1.2 of the Land Use Element that encourages community-oriented retail in Huntington Park while contributing to revitalize Pacific Boulevard as a regional retail destination. The restaurant is part of the community retail and contributes to the general plan's vision for Pacific Boulevard.

The proposed project is also consistent with Goal 3.0: Policy 3.2 of the Land Use Element of the General Plan by Promoting vigorous enforcement of City codes, including building, zoning, and health and safety, to promote property maintenance. The conditions of approval enforce current city codes, including building, zoning, and health and safety.

- 3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property.**

Finding: The subject restaurant has been in business since September of 1996. The design, location, size, and operating characteristics of the existing restaurant with the proposed interior remodel is not expected to be detrimental to the public health, safety and welfare of the City, due to the fact that it is an existing restaurant and no increase in square footage is being proposed. The only proposed changes are an interior remodel within the existing building.

- 4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines.**

Finding: The proposed interior restaurant remodel with alcohol is Categorically Exempt pursuant to Article 19, Section 15301, Existing Facilities, Class 1 (a) of the California Environmental Quality Act (CEQA) Guidelines.

- 5. The subject site is physically suitable for the type and density/intensity of use being proposed.**

Finding: The subject site is physically suitable for the type of density/intensity of use being proposed by the applicant. The proposed project will not increase the foot print of the building and will not require additional parking. The interior remodel will not intensify the existing use. The operation will continue to operate with no proposed changes. No change to the existing occupancy or use are being proposed.

- 6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare.**

Finding: Vehicular and pedestrian access to the site are provided through the alley on the west and access thru Pacific Boulevard. The proposed request for interior remodel for the existing restaurant will not significantly intensify public access, water, sanitation, and public utilities and services due to the fact the restaurant has existing connections to the public utilities. Given that the surrounding area is already completely developed with public access, water, sanitation, and other public utilities, the proposed project would not affect these infrastructures or require any types of modifications. In addition, the proposed project would not impede the accessibility to public access, water, sanitation, or other public utilities and services.

7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.

Finding: The subject restaurant has been in business since September of 1996. The design, location, size, and operating characteristics of the existing restaurant with proposed interior remodel is not expected to be detrimental to the public health, safety and welfare of the City. Due to the fact, no their will be no change in use or change to the operation plan. The use and operation plan will continue to function as it currently has been operating. The proposed interior remodel of the restaurant is not expected to be detrimental to the public health, safety and welfare of the City in that no change in operation plan or use are being proposed. The proposed request for the interior remodel to the existing restaurant is harmonious and compatible with the existing commercial businesses and service uses currently located within the vicinity and zoning district.

Conclusion

Based on the above analysis, staff has determined that with the recommended conditions of approval, the Applicant's proposed project satisfies all of the required findings for approval of a Conditional Use Permit and Development Permit. Therefore, staff recommends approval of the Applicants' request to allow an interior remodel to an existing

restaurant with type 47 alcohol license (on-sale general) and type 58 alcohol license (catering), subject to conditions, at 7111 Pacific Boulevard.

RECOMMENDATION:

Based on the evidence presented, it is the recommendation of Planning Division Staff that the Planning Commission adopt the Categorical Exemption, make the required findings and requirements set forth in the Huntington Park Municipal Code, and **adopt PC Resolution No. 2018-11 CUP/DP**, subject to the following proposed conditions of approval and/or other conditions that the Planning Commission may wish to impose.

CONDITIONS OF APPROVAL:

PLANNING

1. That the property owner and Applicant shall indemnify, protect, hold harmless and defend the City and any agency or instrumentality thereof, its officers, employees and agents from all claims, actions, or proceedings against the City to attack, set aside, void, annul, or seek damages arising out of an approval of the City, or any agency or commission thereof, concerning this project. City shall promptly notify both the property owner and Applicant of any claim, action, or proceeding to which this condition is applicable. The City shall cooperate in the defense of the action, while reserving its right to act as it deems to be in the best interest of the City and the public. The property owner and Applicant shall defend, indemnify and hold harmless the City for all costs and fees incurred in additional investigation or study, or for supplementing or revising any document, including, without limitation, environmental documents. If the City's legal counsel is required to enforce any condition of approval, the Applicant shall pay for all costs of enforcement, including legal fees.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. That the proposed use shall comply with all applicable City, County, State and Federal codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Sign, Zoning, and Business License.
4. That the use be conducted, and the property be maintained, in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park Municipal Code.

5. That the business be operated in compliance with the City of Huntington Park Noise Ordinance.
6. That all graffiti be removed from all exterior walls and/or surfaces prior to the commencement of alcohol sales.
7. That any existing and/or future graffiti, as defined by Huntington Park Municipal Code Section 5-27.02(d), shall be diligently removed within a reasonable time period.
8. That the Applicants and/or property owner/ business owner shall maintain a valid alcohol beverage license from the State Department of Alcoholic Beverage Control (ABC) and comply with all requirements, and should at any time the required license or permits, issued by the ABC, be surrendered, revoked or suspended, this Conditional Use Permit shall automatically become null and void.
9. If the business ceases to operate as a bona fide public eating establishment (restaurant) as defined under the Huntington Park Municipal Code Section 9-4.203(2)(A)(1), then the entitlement shall be null and void.
10. That business operation be limited to a restaurant only and that alcohol only be served in conjunction with meals during regular business hours.
11. That alcohol shall only be served and/or consumed within the designated dining area, bar area and interior waiting area as shown on the floor plan.
12. No payphones shall be allowed on the subject property.
13. If any signs are proposed, such signs shall be installed in compliance with the City's sign regulations and that approval be obtained through a Sign Design Review prior to installation and that any existing non-permitted signs either apply for proper permits or be removed.
14. All existing and/or proposed mechanical equipment and appurtenances, including satellite dishes, gutters etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to the commencement of alcohol sales.
15. Any proposed on-site utilities, including electrical and telephone, be installed underground and be completely concealed from public view as required by the Planning Division prior to the commencement of alcohol sales.
16. The applicant/property owner shall provide a parking attendant during regular business hours at the subject site to maintain control of the tandem parking configuration.

17. The applicant/property owner shall provide at least two security on Fridays, Saturdays and Sundays, during the hours of Dance and Entertainment. Security guards shall be required to start at least half an hour before the live entertainment start time and shall not leave until the last employee has left the subject site.
18. The applicant/property owner shall provide a security plan identifying the security company name and services provided for review and approval from the Planning Division and Police Department.
19. The security plan shall provide a full list identifying staff contracted and assigned to the subject site with the security company.
20. That security company shall obtain all license, permits, approvals from the Police Department and Finance department.
21. All booking of live entertainment shall be done by El Chamizal staff. No third party promoters or events shall be permitted on the subject site.
22. The applicant shall provide adequate lighting throughout the parking lot. A lighting plan shall be submitted for review and approval.
23. That the Applicants/property owner shall comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The Applicants shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) requirements.
24. That this entitlement shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
25. That the violation of any of the conditions of this entitlement may result in a citation(s) and/or the revocation of the entitlement.
26. That this entitlement may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
27. That the Applicants be required to apply for a new entitlement if any alteration, modification, or expansion would increase the existing floor area of the establishment.
28. That this entitlement shall expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.

29. That if the use ceases to operate for a period of six (6) months the entitlement shall be null and void.
30. That should the operation of this establishment be granted, deemed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall be reviewed.
31. The Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
32. That the applicants and property owner agree in writing to the above conditions.

BUILDING AND SAFETY

33. The construction is subject to the approvals from other departments including and may not be limited to Planning Division, Engineering, Code Enforcement, LA County Health Department & Fire Department.
34. The above-mentioned plans must be submitted to the City for plan checking approval to ensure all building and safety requirements including the requirements for accessibility & parking are met. Then, a permit and certificate of use and occupancies (after inspection is complete and finalized) will be issued for the intended uses.
35. This review shall not be construed as Plan Check Approval due to lack of construction details and calculations.

FINANCE

36. The applicant/property owner shall notify the Finance department if business description(s) and/or ownership changes are planned.

CODE ENFORCEMENT

37. The applicant/property owner shall maintain the trash enclosure closed and locked at all times.
38. The applicant/property owner shall provide trash services to be a minimum of twice a week.
39. The applicant/property owner shall re-stripe the parking lot to be clearly marked.
40. The applicant/property owner shall label the handicap parking space (if any), with proper markers.

41. The applicant/ property owner shall ensure the rear parking lot areas is maintained clean and free of trash and litter.
42. The applicant/property owner shall ensure the rear door leading to rear parking remains close at all times.
43. No alcoholic beverages are to be consumed outside the business.

FIRE DEPARTMENT

44. The County of Los Angeles Fire Department Fire Prevention Land Development Unit has no requirements for the CUP 2018-11 for the sale of general alcohol at this location.
45. Tenant improvements are subject to review and approval. Please submit the tenant improvements to the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit for review and approval.

EXHIBITS:

- A: PC Resolution No. 2018-11 CUP/DP
- B: Business Description, Entertainment Plan, and Menu
- C: Site Plan
- D: Floor Plan
- E: Conditional Use Permit Application & Development Permit Application

PC RESOLUTION NO. 2018-11 CUP/DP

EXHIBIT A

CASE NO. 2018-11 CUP/DP

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28

PC RESOLUTION NO. 2018-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON PARK, STATE OF CALIFORNIA, APPROVING A REQUEST FOR A CONDITIONAL USE PERMIT AND A DEVELOPMENT PERMIT TO ALLOW INTERIOR REMODEL TO AN EXISTING RESTAURANT WITH A TYPE 47 ALCOHOL LICENSE (ON-SALE GENERAL) AND TYPE 58 ALCOHOL LICENSE (CATERING) WITHIN THE DISTRICT A (GATEWAY) OF THE DOWNTOWN HUNTINGTON SPECIFIC PLAN (DTSP), ON PROPERTY LOCATED AT 7111 PACIFIC BOULEVARD.

WHEREAS, a public hearing was held at City Hall, 6550 Miles Avenue, Huntington Park, California on Wednesday, January 16, 2019 at 6:30 p.m. pursuant to the notice published and posted as required by law in accordance with the provisions of the Huntington Park Municipal Code, upon an application from Mr. Albert Oquendo, requesting approval of a Conditional Use Permit and a Development Permit to allow an interior remodel to an existing restaurant with a type 47 alcohol license (catering) within the District A (Gateway) of the Downtown Huntington Park Specific Plan (DTSP), on property located at 7111 Pacific Boulevard, described as:

Assessor's Parcel No. 6322-023-024, City of Huntington Park, County of Los Angeles; and

WHEREAS, the Planning Division has reviewed the request and has found that all of the findings for approval of a Conditional Use Permit can be made as required by the Municipal Code; and

WHEREAS, the Planning Commission has considered the environmental impact information relative to the proposed request; and

WHEREAS, all persons appearing for or against the approval of the Conditional Use Permit were given the opportunity to be heard in connection with said matter; and

WHEREAS, all written comments received prior to the hearing, and responses to such comments, were reviewed by the Planning Commission; and

WHEREAS, the Planning Commission is required to announce its findings and recommendations.

//

1 //

2 NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF
3 HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS
4 FOLLOWS:

5 **SECTION 1:** Based on the evidence within staff report and the Environmental
6 Assessment Questionnaire, the Planning Commission adopts the findings in said
7 Questionnaire and determines that the project, as proposed, will have no significant
8 adverse effect on the environment and adopts an Environmental Categorical Exemption
9 (CEQA Guidelines, Section 156301(1a), Existing Structures).

10 **SECTION 2:** The Planning Commission hereby makes the following findings in
11 connection with the proposed Conditional Use Permit:

- 12 1. The proposed use is conditionally permitted within, and would not impair the
13 integrity and character of, the subject zoning district and complies with all of the
14 applicable provisions of this Code in that ***a restaurant with alcohol sales is***
15 ***conditionally permitted within the subject zoning district and will not impair***
16 ***the integrity and characteristic of the subject zoning district, due to the fact***
17 ***that the restaurant meets current code standards and the use is permitted***
18 ***within the subject zoning district, DTSP, allowing restaurants within the***
19 ***current zone. In addition the proposed project includes conditions of***
20 ***approval that will ensure compliance with the requirements of the HPMC.***
- 21 2. The proposed use is consistent with the General Plan in that ***the proposed project***
22 ***is consistent with the General Plan's Goal 1.0; Policy 1.2 of the Land Use***
23 ***Element that encourages community-oriented retail in Huntington Park while***
24 ***contributing to revitalize Pacific Boulevard as a regional retail destination.***
25 ***The restaurant is part of the community retail and contributes to the general***
26 ***plan's vision for Pacific Boulevard.***

27
28 ***The proposed project is also consistent with Goal 3.0: Policy 3.2 of the Land Use***

1 **Element of the General Plan by Promoting vigorous enforcement of City**
2 **codes, including building, zoning, and health and safety, to promote property**
3 **maintenance. The conditions of approval enforce current city codes,**
4 **including building, zoning, and health and safety.**

5 3. The approval of the Conditional Use Permit for the proposed use is in compliance
6 with the requirements of the California Environmental Quality Act (CEQA) and the
7 City's Guidelines in that **the proposed interior restaurant remodel with alcohol**
8 **is Categorically Exempt pursuant to Article 19, Section 15301, Existing**
9 **Facilities, Class 1 (a) of the California Environmental Quality Act (CEQA)**
10 **Guidelines.**

11 4. The design, location, size and operating characteristics of the proposed use are
12 compatible with the existing and planned future land uses within the general area in
13 which the proposed use is to be located and will not create significant noise, traffic
14 or other conditions or situations that may be objectionable or detrimental to other
15 permitted uses operating nearby or adverse to the public interest, health, safety,
16 convenience or welfare of the City in that **the subject restaurant has been in**
17 **business since September of 1996. The design, location, size, and operating**
18 **characteristics of the existing restaurant with the proposed interior remodel**
19 **is not expected to be detrimental to the public health, safety and welfare of**
20 **the City, due to the fact that it is an existing restaurant and no increase in**
21 **square footage is being proposed. The only proposed changes are an interior**
22 **remodel within the existing building.**

23 5. The subject site is physically suitable for the type and density/intensity of use being
24 proposed in that **the subject site is physically suitable for the type of**
25 **density/intensity of use being proposed by the applicant. The proposed**
26 **project will not increase the foot print of the building and will not require**
27 **additional parking. The interior remodel will not intensify the existing use.**
28 **The operation will continue to operate with no proposed changes. No change**

1 **to the existing occupancy or use are being proposed.**

- 2 6. There are adequate provisions for public access, water, sanitation and public
3 utilities and services to ensure that the proposed use would not be detrimental to
4 public health, safety and general welfare in that **vehicular and pedestrian access**
5 **to the site are provided through the alley on the west and access thru Pacific**
6 **Boulevard. The proposed request for interior remodel for the existing**
7 **restaurant will not significantly intensify public access, water, sanitation, and**
8 **public utilities and services due to the fact the restaurant has existing**
9 **connections to the public utilities. Given that the surrounding area is already**
10 **completely developed with public access, water, sanitation, and other public**
11 **utilities, the proposed project would not affect these infrastructures or**
12 **require any types of modifications. In addition, the proposed project would**
13 **not impede the accessibility to public access, water, sanitation, or other**
14 **public utilities and services.**

15 **SECTION 3:** The Planning Commission hereby makes the following findings in
16 connection with the proposed Development Permit:

- 17 1. The proposed development is one permitted within the subject zoning district and
18 complies with all of the applicable provisions of this Code, including prescribed
19 development/site standards in that **a restaurant with alcohol sales is**
20 **conditionally permitted within the subject zoning district and will not impair**
21 **the integrity and characteristic of the subject zoning district, due to the fact**
22 **that the restaurant meets current code standards and the use is permitted**
23 **within the subject zoning district, DTSP, allowing restaurants within the**
24 **current zone. In addition the proposed project includes conditions of**
25 **approval that will ensure compliance with the requirements of the HPMC.**
- 26 2. The proposed development is consistent with the General Plan in that **the**
27 **proposed project is consistent with the General Plan's Goal 1.0; Policy 1.2 of**
28 **the Land Use Element that encourages community-oriented retail in**

1 **Huntington Park while contributing to revitalize Pacific Boulevard as a**
2 **regional retail destination. The restaurant is part of the community retail and**
3 **contributes to the general plan’s vision for Pacific Boulevard.**

4 **The proposed project is also consistent with Goal 3.0: Policy 3.2 of the Land**
5 **Use Element of the General Plan by Promoting vigorous enforcement of City**
6 **codes, including building, zoning, and health and safety, to promote property**
7 **maintenance. The conditions of approval enforce current city codes,**
8 **including building, zoning, and health and safety.**

9 3. The proposed development would be harmonious and compatible with existing and
10 planned future developments within the zoning district and general area, as well as
11 with the land uses presently on the subject property in that **the subject restaurant**
12 **has been in business since September of 1996. The design, location, size,**
13 **and operating characteristics of the existing restaurant with the proposed**
14 **interior remodel is not expected to be detrimental to the public health, safety**
15 **and welfare of the City, due to the fact that it is an existing restaurant and no**
16 **increase in square footage is being proposed. The only proposed changes**
17 **are an interior remodel within the existing building.**

18 4. The approval of the Development Permit for the proposed project is in compliance
19 with the requirements of the California Environmental Quality Act (CEQA) and the
20 City’s Guidelines in that **the proposed interior restaurant remodel with alcohol**
21 **is Categorically Exempt pursuant to Article 19, Section 15301, Existing**
22 **Facilities, Class 1 (a) of the California Environmental Quality Act (CEQA)**
23 **Guidelines.**

24 5. The subject site is physically suitable for the type and density/intensity of use being
25 proposed in that **the subject site is physically suitable for the type of**
26 **density/intensity of use being proposed by the applicant. The proposed**
27 **project will not increase the foot print of the building and will not require**
28 **additional parking. The interior remodel will not intensify the existing use.**

1 ***The operation will continue to operate with no proposed changes. No change***
2 ***to the existing occupancy or use are being proposed.***

3 6. There are adequate provisions for public access, water, sanitation and public
4 utilities and services to ensure that the proposed development would not be
5 detrimental to public health, safety and general welfare in that ***vehicular and***
6 ***pedestrian access to the site are provided through the alley on the west and***
7 ***access thru Pacific Boulevard. The proposed request for interior remodel for***
8 ***the existing restaurant will not significantly intensify public access, water,***
9 ***sanitation, and public utilities and services due to the fact the restaurant has***
10 ***existing connections to the public utilities. Given that the surrounding area***
11 ***is already completely developed with public access, water, sanitation, and***
12 ***other public utilities, the proposed project would not affect these***
13 ***infrastructures or require any types of modifications. In addition, the***
14 ***proposed project would not impede the accessibility to public access, water,***
15 ***sanitation, or other public utilities and services.***

16 7. The design, location, size and operating characteristics of the proposed
17 development would not be detrimental to the public health, safety, or welfare of the
18 City in that ***the subject restaurant has been in business since September of***
19 ***1996. The design, location, size, and operating characteristics of the existing***
20 ***restaurant with proposed interior remodel is not expected to be detrimental***
21 ***to the public health, safety and welfare of the City. Due to the fact, no their***
22 ***will be no change in use or change to the operation plan. The use and***
23 ***operation plan will continue to function as it currently has been operating.***
24 ***The proposed interior remodel of the restaurant is not expected to be***
25 ***detrimental to the public health, safety and welfare of the City in that no***
26 ***change in operation plan or use are being proposed. The proposed request***
27 ***for the interior remodel to the existing restaurant is harmonious and***
28 ***compatible with the existing commercial businesses and service uses***

1 ***currently located within the vicinity and zoning district.***

2
3 **SECTION 4:** The Planning Commission hereby approves Resolution No. 2018-11
4 CUP/DP, subject to the execution and fulfillment of the following conditions:

5 **PLANNING**

- 6 1. That the property owner and Applicant shall indemnify, protect, hold harmless and
7 defend the City and any agency or instrumentality thereof, its officers, employees and
8 agents from all claims, actions, or proceedings against the City to attack, set aside,
9 void, annul, or seek damages arising out of an approval of the City, or any agency or
10 commission thereof, concerning this project. City shall promptly notify both the
11 property owner and Applicant of any claim, action, or proceeding to which this
12 condition is applicable. The City shall cooperate in the defense of the action, while
13 reserving its right to act as it deems to be in the best interest of the City and the
14 public. The property owner and Applicant shall defend, indemnify and hold harmless
15 the City for all costs and fees incurred in additional investigation or study, or for
16 supplementing or revising any document, including, without limitation, environmental
17 documents. If the City's legal counsel is required to enforce any condition of approval,
18 the Applicant shall pay for all costs of enforcement, including legal fees.
- 19 2. Except as set forth in subsequent conditions, all-inclusive, and subject to department
20 corrections and conditions, the property shall be developed substantially in
21 accordance with the applications, environmental assessment, and plans submitted.
- 22 3. That the proposed use shall comply with all applicable City, County, State and
23 Federal codes, laws, rules, and regulations, including Health, Building and Safety,
24 Fire, Sign, Zoning, and Business License.
- 25 4. That the use be conducted, and the property be maintained, in a clean, neat, quiet,
26 and orderly manner at all times and comply with the property maintenance standards
27 as set forth in Section 9-3.103.18 and Title 8, Chapter 9 of the Huntington Park
28 Municipal Code.
5. That the business be operated in compliance with the City of Huntington Park Noise Ordinance.
6. That all graffiti be removed from all exterior walls and/or surfaces prior to the commencement of alcohol sales.
7. That any existing and/or future graffiti, as defined by Huntington Park Municipal Code Section 5-27.02(d), shall be diligently removed within a reasonable time period.
8. That the Applicants and/or property owner/ business owner shall maintain a valid alcohol beverage license from the State Department of Alcoholic Beverage Control (ABC) and comply with all requirements, and should at any time the required license

1 or permits, issued by the ABC, be surrendered, revoked or suspended, this
2 Conditional Use Permit shall automatically become null and void.

3 9. If the business ceases to operate as a bona fide public eating establishment
4 (restaurant) as defined under the Huntington Park Municipal Code Section 9-
4.203(2)(A)(1), then the entitlement shall be null and void.

5 10. That business operation be limited to a restaurant only and that alcohol only be
6 served in conjunction with meals during regular business hours.

7 11. That alcohol shall only be served and/or consumed within the designated dining area,
8 bar area and interior waiting area as shown on the floor plan.

9 12. No payphones shall be allowed on the subject property.

10 13. If any signs are proposed, such signs shall be installed in compliance with the City's
11 sign regulations and that approval be obtained through a Sign Design Review prior to
12 installation and that any existing non-permitted signs either apply for proper permits
13 or be removed.

14 14. All existing and/or proposed mechanical equipment and appurtenances, including
15 satellite dishes, gutters etc., whether located on the rooftop, ground level or
16 anywhere on the property shall be completely shielded/enclosed so as not to be
17 visible from any public street and/or adjacent properties. Such shielding/enclosure of
18 facilities shall be of compatible design related to the building structure for which such
19 facilities are intended to serve and shall be installed prior to the commencement of
20 alcohol sales.

21 15. Any proposed on-site utilities, including electrical and telephone, be installed
22 underground and be completely concealed from public view as required by the
23 Planning Division prior to the commencement of alcohol sales.

24 16. The applicant/property owner shall provide a parking attendant during regular
25 business hours at the subject site to maintain control of the tandem parking
26 configuration.

27 17. The applicant/property owner shall provide at least two security on Fridays,
28 Saturdays and Sundays, during the hours of Dance and Entertainment. Security
guards shall be required to start at least half an hour before the live entertainment
start time and shall not leave until the last employee has left the subject site.

18. The applicant/property owner shall provide a security plan identifying the security
company name and services provided for review and approval from the Planning
Division and Police Department.

19. The security plan shall provide a full list identifying staff contracted and assigned to
the subject site with the security company.

- 1 20. That security company shall obtain all license, permits, approvals from the Police
2 Department and Finance department.
- 3 21. All booking of live entertainment shall be done by El Chamizal staff. No third party
4 promoters or events shall be permitted on the subject site.
- 5 22. The applicant shall provide adequate lighting throughout the parking lot. A lighting
6 plan shall be submitted for review and approval.
- 7 23. That the Applicants/property owner shall comply with all of the provisions of Title 7,
8 Chapter 9 of the Huntington Park Municipal Code relating to Storm Water
9 Management. The Applicants shall also comply with all requirements of the National
10 Pollutant Discharge Elimination System (NPDES), Model Programs, developed by
11 the County of Los Angeles Regional Water Quality Board. This includes compliance
12 with the City's Low Impact Development (LID) requirements.
- 13 24. That this entitlement shall be subject to review for compliance with conditions of the
14 issuance at such intervals as the City Planning Commission shall deem appropriate.
- 15 25. That the violation of any of the conditions of this entitlement may result in a citation(s)
16 and/or the revocation of the entitlement.
- 17 26. That this entitlement may be subject to additional conditions after its original
18 issuance. Such conditions shall be imposed by the City Planning Commission as
19 deemed appropriate to address problems of land use compatibility, operations,
20 aesthetics, security, noise, safety, crime control, or to promote the general welfare of
21 the City.
- 22 27. That the Applicants be required to apply for a new entitlement if any alteration,
23 modification, or expansion would increase the existing floor area of the
24 establishment.
- 25 28. That this entitlement shall expire in the event it is not exercised within one (1) year
26 from the date of approval, unless an extension has been granted by the Planning
27 Commission.
- 28 29. That if the use ceases to operate for a period of six (6) months the entitlement shall
be null and void.
30. That should the operation of this establishment be granted, deemed, conveyed,
transferred, or should a change in management or proprietorship occur at any time,
this Conditional Use Permit shall be reviewed.
31. The Director of Community Development is authorized to make minor modifications
to the approved preliminary plans or any of the conditions if such modifications shall
achieve substantially the same results, as would strict compliance with said plans and
conditions.

1 32. That the applicants and property owner agree in writing to the above conditions.

2 **BUILDING AND SAFETY**

3 33. The construction is subject to the approvals from other departments including and
4 may not be limited to Planning Division, Engineering, Code Enforcement, LA County
5 Health Department & Fire Department.

6 34. The above-mentioned plans must be submitted to the City for plan checking approval
7 to ensure all building and safety requirements including the requirements for
8 accessibility & parking are met. Then, a permit and certificate of use and occupancies
9 (after inspection is complete and finalized) will be issued for the intended uses.

10 35. This review shall not be construed as Plan Check Approval due to lack of
11 construction details and calculations.

12 **FINANCE**

13 36. The applicant/property owner shall notify the Finance department if business
14 description(s) and/or ownership changes are planned.

15 **CODE ENFORCEMENT**

16 37. The applicant/property owner shall maintain the trash enclosure closed and locked at
17 all times.

18 38. The applicant/property owner shall provide trash services to be a minimum of twice a
19 week.

20 39. The applicant/property owner shall re-stripe the parking lot to be clearly marked.

21 40. The applicant/property owner shall label the handicap parking space (if any), with
22 proper markers.

23 41. The applicant/ property owner shall ensure the rear parking lot areas is maintained
24 clean and free of trash and litter.

25 42. The applicant/property owner shall ensure the rear door leading to rear parking
26 remains close at all times.

27 43. No alcoholic beverages are to be consumed outside the business.

28 **LOS ANGELES COUNTY FIRE DEPARTMENT**

44. The County of Los Angeles Fire Department Fire Prevention Land Development Unit
has no requirements for the CUP 2018-11 for the sale of general alcohol at this
location.

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28

45. Tenant improvements are subject to review and approval. Please submit the tenant improvements to the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit for review and approval.

SECTION 5: This resolution shall not become effective until 15 days after the date of decision rendered by the Planning Commission, unless within that period of time it is appealed to the City Council. The decision of the Planning Commission shall be stayed until final determination of the appeal has been effected by the City Council.

SECTION 6: The Secretary of the Planning Commission shall certify to the adoption of this resolution and a copy thereof shall be filed with the City Clerk.

PASSED, APPROVED, AND ADOPTED this 16th of January, 2019 by the following

vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

HUNTINGTON PARK PLANNING COMMISSION

Angelica Montes, Chairperson

ATTEST:

Carlos Luis, Secretary

**BUSINESS DESCRIPTION, ENTERTAINMENT
PLAN, AND MENU**

EXHIBIT B

CASE NO. 2018-11 CUP/DP

EL CHAMIZAL RESTAURANT
7111 PACIFIC BLVD.
HUNTINGTON PARK CA 90255
323-583-3251

BUSINESS DESCRIPTION

TYPE:

RESTAURANT WITH BAR AND LIVE ENTERTAINMENT

CONTACTS:

OWNER: MANUEL SIMENTAL 323-633-8875

MANAGER: RICARDO SALOMON 323-578-0655

HOURS OF OPERATION:

7 DAY A WEEK

OVERALL - 8AM - 1:30AM

ALCOHOL SALES - 10AM - 1:00AM

LIVE ENTERTAINMENT:

7 DAYS A WEEK 8PM - 1:30AM

LIVE BAND PLAYING RANCHERA MUSIC

BOOKING BY EL CHAMIZAL

MENU:

SEE ATTACHED

COVER CHARGE: NO

RENT FOR PRIVATE EVENTS: NO

VALET PARKING: NO

STAFF:

8AM - 6PM

RESTAURANT MANAGER: 1
CHEF / KITCHEN MANAGER: 1
COOKS: 2
PREP COOK: 1
TORTILLA MAKER: 1
DISHWASHER: 1
CASHIER/HOSTESS: 1
HEAD WAITER: 1
WAITER: 1
BUSSER: 2

**WEEKENDS &
6PM - 1:30AM**

RESTAURANT MANAGER: 1
CHEF / KITCHEN MANAGER: 1
COOKS: 3
PREP COOK: 2
TORTILLA MAKER: 1
DISHWASHER: 1
CASHIER/HOSTESS: 1
HEAD WAITER: 1
WAITER: 4
BUSSER: 5
BARTENDER: 5
BAR BACK: 5



City of
HUNTINGTON PARK california
 CIVIC CENTER HUNTINGTON PARK 90255 • (323)584-6232

Revocable Permit

The person, firm or corporation hereon named, is granted a PERMIT (Subject and pursuant to the provisions of all ordinances affected, and such other SPECIAL CONDITIONS as may be named on this permit or the enclosure attached hereto.) to transact, engage in, carry on, practice, conduct, or operate, within the City of Huntington Park ONLY, the business, profession, trade, calling, or occupation, for the period specified, and at the location named ONLY, in accordance with SECTIONS 3-1.1301 AND 3-1.1304 of the City of Huntington Park Municipal Code.

PERMIT PERIOD: Twelve (12) Months

09/01/2018
 To
 08/31/2019
PERMIT EXPIRES

BUSINESS NAME AND LOCATION:

CONDUCTING OR OPERATING THE BUSINESS OF:

El Chamizal Restaurant
 7111 Pacific Blvd
 Huntington Park, Ca. 90255

Dance & Entertainment

RENEWAL application for this PERMIT shall be filed on or before: 07-31-2019

By SEC 3-1.1301 & 1304 of the City of Huntington Park Municipal Code.

This PERMIT shall be personal to the permittee and may not be transferred, Leased or assigned, and is granted subject to the following SPECIAL CONDITIONS:

1. DANCE & ENTERTAINMENT TO BE ALLOWED FROM THE HOURS OF 8:00 PM TO 2:00 AM, MONDAYS THROUGH SUNDAYS.
2. COMPLIANCE WITH RULES AND REGULATIONS OF THE MUNICIPAL CODE RELATING TO DANCE & ENTERTAINMENT PERMITS.
3. THE PERMIT SHALL BE FOR A PERIOD OF TWELVE (12) MONTHS.
4. RENEWAL APPLICATIONS SUBMITTED AFTER THE REQUIRED DATE WILL BE CONSIDERED NEW APPLICATIONS WITH APPLICABLE FEES.
5. THERE MUST BE UNIFORMED SECURITY GUARDS AT ALL SPECIAL EVENT NIGHTS. THE GUARD MUST POSSESS THE NECESSARY CERTIFICATES, AND CONFORM TO OUR CITY ORDINANCE FOR UNIFORM REGULATIONS.
6. THE OCCUPANCY LIMIT NEVER BE EXCEEDED.
7. NO ILLEGAL DEVICES OF ANY TYPE ARE TO BE PRESENT INSIDE THE LOCATION.

Questions regarding any of the above or enclosed special conditions may be answered by:

Chief of Police: St. J. M... Date: 10-4-18

Received By: [Signature] Date: Oct. 24-18

C: Applicant
 File
 City Clerk
 Community Development
 Police Department
 Fire Department

DISPLAY IN A PROMINENT PLACE



CITY OF HUNTINGTON PARK
 6550 Miles Ave.
 HUNTINGTON PARK CA 90255-1508
 (323) 584-6232

APPLICATION FOR RENEWAL OF DANCE & ENTERTAINMENT
 CURRENT LICENSE EXPIRES August 31, 2018

[Handwritten signature]

June 18, 2018
 0002231
 EL CHAMIZAL RESTAURANT
 7111 PACIFIC BLVD
 HUNTINGTON PARK CA 90255

not full 9/13/2018
19-54708

Business Location: 7111 PACIFIC BLVD

Complete and return this notice together with amount due. Failure to pay on or before August 31, 2018, the amount due, shall be subject to a penalty of 20%, plus additional penalties of 10% for each 30 days said amount remains unpaid.

Description	Amount	Amount Due
COMBINED DANCE & ENTERTAINMENT	350.00	350.00
BUSINESS LICENSE RENEWAL FEE	26.03	26.03
SB 1186	4.00	4.00
PENALTY _____ %		
	AMNT DUE	<u>380.03</u>

FILL IN THE APPLICABLE, MAKE NECESSARY CHANGES
 DANCE & ENTERTAINMENT PERMIT RENEWAL SHOULD BE SUBMITTED FOR
 COUNCIL APPROVAL PRIOR TO THE EXPIRATION OF THE CURRENT PERMIT.
 PLEASE FILL IN THE ENCLOSED FORMS AND RETURN WITH THE FEES NOW DUE

FEES DUE: \$ 380.03

I declare under penalty of perjury that the information contained herein is true and correct to the best of my knowledge and belief.

Signature *X* *[Handwritten Signature]*

Title President

CITY OF HUNTINGTON PARK
ENTERTAINMENT PERMIT RENEWAL APPLICATION

EL CHAMIZAL RESTAURANT
7111 PACIFIC BLVD
HUNTINGTON PARK CA 90255

RICARDO SALOMON
Cal - (323) 578 0655
(323) 583 3251

BUSINESS ADDRESS : 7111 PACIFIC BLVD
BUSINESS DESCRIPTION: DANCE & ENTERTAINMENT

OWNER INFO: (make changes where necessary)

NAME : MARISCOS EL PAISA INC
ADDRESS : 7111 PACIFIC BLVD
CITY, STATE, ZIP : HUNTINGTON PARK CA 90255
HOME PH # : 323-583-3251
SOC-SEC-NO : 614-40-0451
DRIVER'S LIC NO : C 47 39445

The undersigned hereby makes application to the Huntington Park City Council to maintain, conduct and operate any type of entertainment participated in by one or more persons at the establishment listed above.

The following information is furnished in accordance with the requirement of the Huntington Park Municipal Code:

1. APPLICANTS IDENTIFICATION INFORMATION:

SEX M AGE 62 HEIGHT 6'1" WEIGHT 248 HAIR B EYES B
BIRTH PLACE Mexico BIRTH DATE 04-15-56 MARITAL STATUS M.

2. LIST NAMES, ADDRESSES AND PHONE NUMBERS OF ALL PARTNERS/
DIRECTORS/ OFFICERS:

Manuel Simental (President)
Antonia Simental (Secretary)
Ricardo Salomon (Treasurer)

3. ANSWER THE FOLLOWING INFORMATION RELATING TO THE PROPOSED ENTERTAINMENT:

A. Exact nature of the entertainment: Live Music
B. Days of the week to be offered: Monday To Sunday
C. The start and stop times each days: 8:00 PM To 2:00 AM P.S.

4. HAS THE APPLICANT OR ANY PERSON NAMED IN THIS APPLICATION HAD A PERMIT FOR THE SAME OR ANY SIMILAR BUSINESS, BUSINESS SUSPENDED OR REVOKED ANYWHERE? IF YES, INDICATE THE CIRCUMSTANCE ON THE REVERSE SIDE OF THIS APPLICATION.

N/A - NO

5. HAVE YOU, ANY OFFICER, DIRECTOR, OR MEMBER OF THE FIRM, ASSOCIATION OR CORPORATION APPLYING FOR THIS PERMIT, AS THE CASE MAY BE, BEEN ARRESTED, OR CONVICTED IN ANY COURT FOR A CRIME SET FORTH IN SUBSECTION (b) OF SECTION 3-1.1307 OF THE HUNTINGTON PARK MUNICIPAL CODE? *NO*

DATE WHERE ARRESTED CHARGE SENTENCE/FINE WHERE CONFINED

N/A

THE UNDERSIGNED HEREBY CERTIFIES UNDER PENALTY OF PERJURY THAT THE STATEMENTS MADE BY THIS APPLICATION ARE TRUE AND CORRECT.

SIGNATURE

TITLE

DATE

President

9-12-18

****If you wish to close/cancel your business license, Please fill out the attached Business License Closure Form and return it in the blue envelope.**

INSTRUCTIONS TO APPLICANT:

1. Use additional sheets, or the reverse side of this application, if necessary, to furnish the information requested.
2. Additional information must be furnished to the Police Chief, Building Official and the Fire Department, upon request, for the purpose of investigation.

-----DO NOT WRITE BELOW THIS LINE-----

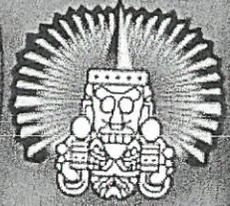
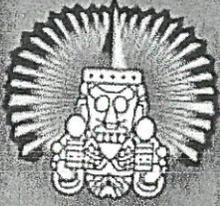
REFERRED TO DEPARTMENT CHECKED:

Building Department () _____

Fire Department () _____

Police Department () _____

RESTAURANTE



La Casa de las Parrilladas

Menu

www.restaurantelchamizal.com

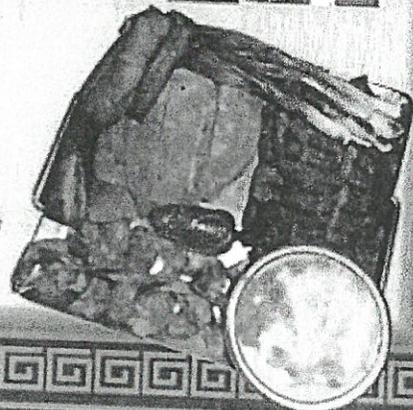
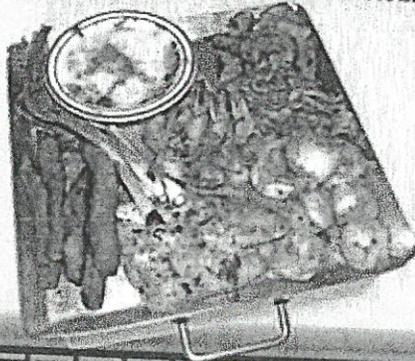
COMIDA MEXICANA Y MARISCOS

Música en Vivo Todos los días.

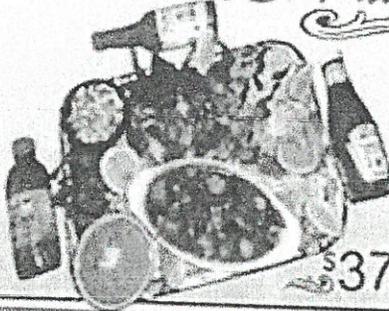
SERVICIO COMPLETO DE BAR
CERVEZA MEXICANA E IMPORTADA

Nuestra comida no esta hecha y nos toma tiempo para prepararla, una vez de tomar su orden. Apreciamos su paciencia. Our food is not made, it takes us time to prepare it after you place your order. We appreciate your patience.

ACEPTAMOS:    



Mariscada El Paisa



\$37.95

Camarones Shrimps

Servido con Arroz Blanco, Papa al Horno o Vegetales, y Ensalada.
Served with rice, baked potato or vegetables or Salad

- Al Mojo de Ajo
- A la Plancha
- A la Diabla
- Al Chipotle
- Rancheros

\$15.95

\$16.95

- Al Chamizal
- Empanizados

Pruebe Nuestra



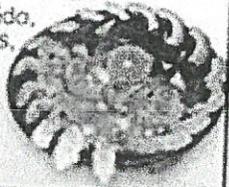
- Orden de Camarones Ahogados y Aguachiles

\$18.95

\$18.95

Molcajete El Paisa

Pulpo y camarón cocido, camarones, ahogados, pepino, cebolla morada con chile chilpitin (platillo frio)



\$18.95

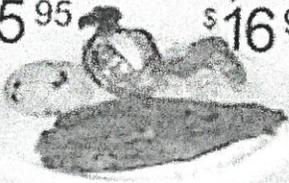
Filetes de Pescado

(Fish Filets)

- Al Mojo de Ajo
- Al Chipotle
- A la Plancha
- Al Vapor
- Empanizado

\$15.95

\$16.95



Servido con Arroz Blanco, Papa al Horno o Vegetales
Served with white rice, baked potato or vegetables

Cocteles (Cocktails)

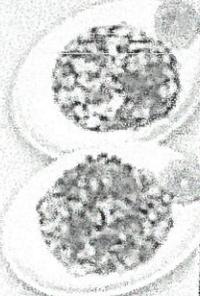
un solo tamaño
one size only

Camarones (shrimp)	\$14.95
Abulon Imitacion (imitation Abulone)	\$13.25
Pulpo (octopus)	\$13.95
Coctel de Ostiones (12)	\$18.95
Campechana con 2 (combination of 2 items)	\$15.95
Campechana con 3 (combination of 3 items)	\$16.95
Campechana con 4 (combination of 4 items)	\$18.95



Tostadas

Tostadas de Ceviche de Camaron Shrimp Tostada	\$8.95
Tostadas de Ceviche de Pescado Fish Tostada	\$7.50
Tostadas de Camaron Entero Whole Shrimp Tostada	\$9.95
Tostadas Mixtas Mixed Tostadas	\$12.95
Tostadas de Jaiba (imitacion) Imitation Crab Tostada	\$6.95

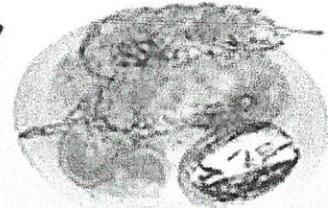


Langostas. Lobster

- Termidor $\frac{1}{2}$ langosta, $\frac{1}{2}$ lobster
- Al Mojo de Ajo
- Ranchera
- A la Diabla
- A la Plancha
- Al Chipotle

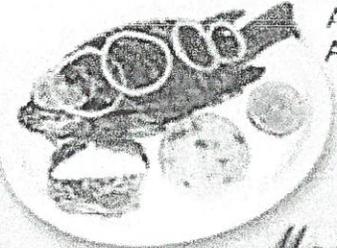
Langosta Completa!
Whole lobster

Precio de Temporada



Pescado Entero (Huachinango)

- Al Mojo de Ajo - Frito
- A la Diabla (Served with White Rice) \$16.95
(Baked Potatoe - Vegetables Salad)
- Zarandeado (Steamed - Grilled) \$18.95



Mojarra

Frita - Al Mojo de Ajo \$11.95

(Servido con Arroz Blanco, Papa al Horno o Vegetales y Ensalada)

Caldos

Hot Stews

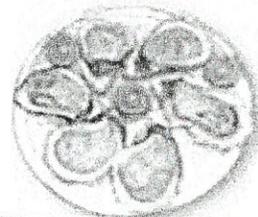
El Patron "7 Mares"	\$18.50
Camaron	\$14.95
Pescado	\$13.95
Costa Brava	\$15.95



Ostiones

$\frac{1}{2}$ dz. 1dz.

En su Concha	\$11.95	\$18.95
Rockerfeller	\$14.50	\$23.95
Pica Pica	\$14.50	\$23.95



Nuestra Especialidad!

LA CASA DE LAS PARRILLADAS

Todas las ordenes son servidas con tortillas hechas a mano. All orders are served with hand made tortillas.



Se sirven con Frijoles Charros, Cebollitas y Chiles Asados, Salsa en Molcajete, Tortillas y Ensalada del Dia.
Served with Charro Beans, Grilled Green Onions and Chiles, Sauce, Tortillas and Salad of the Day
en Braseró con Carbon.

Parrillada Azteca

1 Persona \$21.95 2 Personas \$37.95
Carne Asada, Tripas, Pollo, Cebollita y Chiles Asados,
Frijoles Charros y Salsa Molcajete (Beef Steak, Beef
Tripe and Chicken).

Parrillada Chamizal

1 Persona \$29.95 2 Personas \$54.95
Camarones Chamizal, Filete de Pescado, Langosta
y Queso Fundido Servida con Papa al Horno,
Arroz Blanco, Plátano, Cebollitas y Chiles Asados.

Parrillada Argentina

1 Persona \$23.95 2 Personas \$41.90
Costillas de Res, Tripas, Bistec de Res, Molleja de
Ternera y Chorizo Argentino, Frijoles Charros,
Cebollitas, Chiles Treadados, Plátano.

Parrillada Huichol

1 Persona \$23.95 2 Personas \$42.95
Costillas de Borrego, Cecina, Ahujas de Res, Nopal
Asado, Cebollas y Chiles, Frijoles Charros y Salsa
Molcajete.

Parrillada Cancun

1 Persona \$22.95 2 Personas \$39.90
Bistec de Res, Pechuga de Pollo, Cochina Pibil, Arroz
Blanco, Frijol Negro, Yuca y Plátano (Beef Steak, Breast
of Chicken, Pork Pibil, White Rice, Black Beans, Yuca
and Banana).

Parrillada Mazatlan

1 Persona \$22.95 2 Personas \$39.90
Camarones, Carne Asada, Pechuga Asada, Queso
Fundido, Servido con Frijoles Charros, Salsa Molcajete,
Plátano, Cebollita y Chiles Treadados.

Parrillada Chiquilladas

1 Persona \$12.95 2 Personas \$20.95
Camarones Empanizados, Chicken Nuggets,
Papas Fritas, Cebollitas Asadas y Plátanos fritos
Servida con arroz rojo.

Parrillada Oceanica

1 Persona \$22.95 2 Personas \$39.90
Filete de Pescado, Camarones, Pulpo, Calamares y
Callo de Hacha en Braseró (A Seafood Combo on a
"Braseró")

Parrillada Monterrey

1 Persona \$24.95 2 Personas \$42.95
Costillas de Borrego, Bistec de Res, Pechuga de Pollo,
Queso Fundido y Cebollitas Asadas (Rack of Lamb,
Beef Steak, Chicken, Grilled Onions and Melted
Cheese).

Parrillada Puerto Nuevo

1 Persona \$28.95 2 Personas \$49.95
Langosta, Pulpo a la Plancha, Queso Fundido
con Champiñones, Plátanos, Cebollas y Chiles,
Papa al Horno y Arroz Blanco.

Parrillada Costa Azul

1 Persona \$23.95 2 Personas \$42.95
Filete de Pescado, Camarón Empanizado, Camarón
Chamizal, langostino, Queso Fundido, Papa al horno,
Arroz Blanco, Cebollitas y Chiles Treadados.

Guacamole

Fresco hecho en su mesa
(freshly made at your table)

\$10⁵⁰

Orden extra
se carga
a la cuenta

SALES TAX WILL BE ADDED TO ALL TAXABLE ITEMS. WE RESERVE THE RIGHT TO REFUSE SERVICE TO ANYONE. WE ARE NOT RESPONSIBLE
FOR LOST OR STOLEN ARTICLES. USE OUR PARKING LOT AT YOUR OWN RISK. ALL OUR MENU ITEMS MAYBE PREPARED TO GO. NUESTRA
DELICIOSA COMIDA SE PREPARA AL MOMENTO DE ORDENAR. PERMITA SUFICIENTE TIEMPO PARA PREPARAR. GRACIAS POR SU PACIENCIA

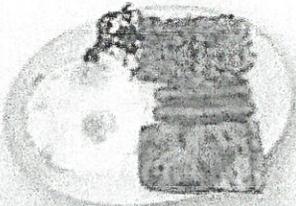
www.restaurantelchamizal.com

Desayunos Breakfast

Se sirven de 8:30 am a 11:30 am

- Huevos con Tocino (bacon & eggs)
- Huevos Rancheros (ranch style eggs)
- Huevos con Chilaquiles (verdes y rojos)
- Huevos con Chorizo (mexican sausage & eggs)

\$8.95



Omelettes

Omelette con Chorizo
(Mexican Sausage Omelette)

Omelette con Camarones
(Shrimp Omelette)

\$10.95

Omelette Vegetariano
(Tomatoe, Onions, Bell peppers
& Cheese)

\$9.95



Para Babies

CHILDREN'S BREAKFAST

Politos con Papas Fritas
(Chicken Nuggets and Fries)

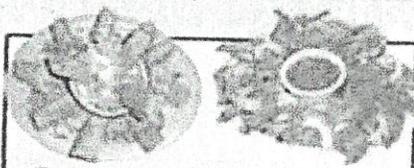
Hot Cakes con
Huevos y Jamon **\$7.50**
(ham and eggs with pancakes)

Mini Quesadilla
(harina o maiz) **\$4.50**

Enchilada Queso

Taquitos Niño Suave
(Pollo o Res)

Hot Cakes con Huevo
(pancakes and eggs)



Botanas o Entremeses

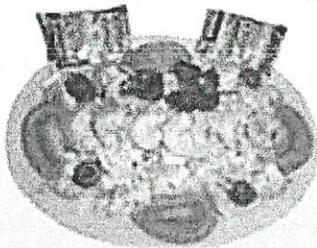
- Taquitos de camaron \$14.95
- Carne Asada \$12.95
- Taquitos con Guacamole \$11.95
- De Mariscos (para una persona) \$14.95
- Camaron (para una persona) \$14.95
- Camarones Cucaracha (para una persona) \$16.95
- Taquitos de Marlin \$11.95
- Nachos con Carne Asada \$9.95
- Queso Fundido \$8.75
 - con Asada \$10.95
 - con Chorizo \$10.95
 - con Camaron \$13.95
- Langostino al Ajo a la Diabla \$15.95
- Botana Pepino \$5.50
- Camaron para Pelar 1/2lb \$12.95
- Callos de Hacha 1/2lb \$16.95

Ensaladas • Salads

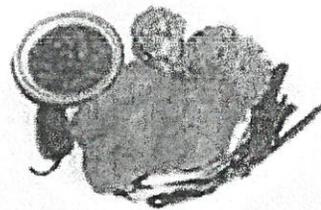
Ensalada de Pollo \$12.95
(Chicken Salad)

Ensalada de Camaron \$14.95
(Shrimp Salad)

Ensalada Verde \$8.95



Aves



Pechuga a la Plancha \$12.95
(Pechuga)

Pollo en Mole \$15.95
(Chicken in Mole)

Molcajetes

Azteca (Asada, chorizo, queso fresco, nopal y salsa de molcajete)
(Charbroiled steak, Mexican sausage, nopales, special sauce, & fresh cheese)

\$16.95



Arriero (Pechuga de pollo, nopal queso fresco, chorizo, tomate, salsa de tomatillo y aguacate) \$16.95

Monterrey (Costilla de borrego, costilla de res, chorizo, queso fresco, tomate, salsa, aguacate) \$17.95

Mi Tierra (Carne Asada, tripa, chorizo, nopal, queso fresco y tomate) \$17.95

Mixto (Langostino, pechuga, carne asada, queso, tomate, salsa de molcajete y aguacate) \$19.95

Burritos A la Carta

Carne Asada **\$8.50**

www.restaurantelchamizal.com

Tacos

• SOLAMENTE POR ORDEN •

- Carne Asada (2) \$9.50
- Gobernador (2) \$9.95
- De Pescado (2) \$8.95
- De Marlin (2) \$9.95
- De Cochinita Pibil (2) \$8.95

Codorniz

Servidas con arroz, frijoles y ensalada.
Served with rice, beans and salad.

Codorniz a la Plancha (grilled)

\$14.95

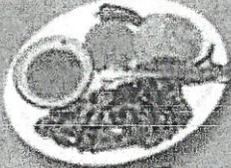
ACEPTAMOS:
ORDEN EXTRA, SE CARGA A LA CUENTA

De Nuestro Pueblo

Pozole Birria Menudo \$8.95
(Solo fin de Semana)

Carne en su Jugo \$11.95

Tradicional
Carne Asada
(Charbroiled Steak)



\$13.95

Fajitas



De Pollo (Chicken) \$14.95
De Res (Beef) \$14.95
De Camarón (Shrimp) \$16.95
El Trio (Chicken, Beef & Camaron) \$17.95

Postres

Flan Casero
Cheese Cake
Pastel de 3 Leches
Arroz con Leche



\$4.50

Ordenes

Servido con arroz
rojo y frijoles blancos.

(3) Tacos Dorados \$11.95
(2) Chiles Rellenos \$14.95
(2) Flautas \$11.95
Orden de Tripas Doradas \$12.95

Bisteces

Servido con arroz, frijoles, ensalada o
sopa Served with rice, beans y salad

Ranchero * Picado \$14.95
Puntitas de Albalil \$14.95
Costillas de Borrego \$17.95

Steaks

New York Steak \$17.95
New York con Camarones \$23.95
(cocinados a su gusto)

Enchiladas

Rojas * Suizas
Rancheras * Poblanas
(Queso, Pasa y Risi)

\$12.95

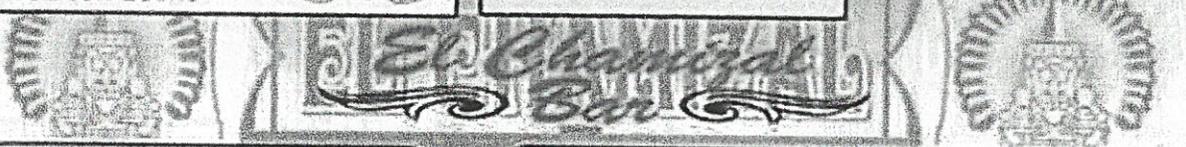
De Camaron \$13.95

Aviso Informativo

• Por razones de la **MUSICA en VIVO y ENTRETENIMIENTO**

Bebidas, Cervezas y Licor
Aumentan de precio después
de las 8:00pm.

• For reasons of **LIVE MUSIC and ENTERTAINMENT**
Beverages, Beer and Alcoholic
drinks go up in price
after 8:00pm.



Bebidas

* NO REFILL

7up - Squirt

Coca Cola

Coca Cola - Dieta

Leche

Cafe

Te Helado

Te Caliente

Soda Mexicana \$3.00

\$2.50

Chocolate Caliente

Jugo Natural de Naranja

Beverages

Jugo de Piña

Jugo de Naranja

Jugo de Cramberry

Agua de Jamaica

Agua de Horchata

Agua de Tamarindo

Agua de Limon

Arnold Palmer

\$3.00

\$3.50

Cervezas

Beer

Nacional

o

Importada



Tragos Mezclados

Mixed Drinks

TEQUILA • COGNAC • BRANDY • RON • VODKA

(Barra Completa • Full Bar)



Vinos de la Casa

House Wines

Cabernet
Chardonnay
White Zinfandel

Burgandy
Merlot • Rose
Chablis • Lancer

ACEPTAMOS:



ORDEN EXTRA, SE CARGA A LA CUENTA

www.restaurantelchamizal.com



Les da las

La Casa de las Parrilladas

*Gracias por su
Preferencia
y le ofrece su
Servicio Completo De Bar*



Usted es la persona más importante para nosotros y tratamos siempre de satisfacerlo con la mejor comida mexicana y mariscos. Todos nuestros productos e ingredientes son frescos y cada platillo es preparado por nuestro chef a la hora de ser ordenado. Tratamos siempre de darle el mejor servicio de la manera más amable porque sabemos que usted es nuestra mejor publicidad y porque usted se lo merece.

ACEPTAMOS 

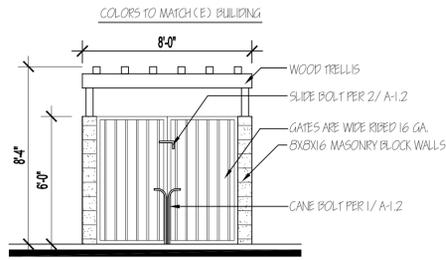
(323) 583-3251
7111 Pacific Blvd. Huntington Park, CA 90255

WE ARE NOT RESPONSIBLE FOR LOST OR STOLEN ARTICLES. PRICES SUBJECT TO CHANGE. SALES TAX WILL BE ADDED TO THE RETAIL PRICE ON ALL TAXIBLE ITEMS (NO EXCEPTIONS). WE RESERVE THE RIGHT TO REFUS.
NO NOS HACEMOS RESPONSABLES DE ARTICULOS OLVIDADOS O ROBOS. PRECIOS SUJETOS A CAMBIO NOS RESERVAMOS EL DERECHO DE NEGARLE EL SERVICIO A CUALQUIER PERSONA.
www.restaurantelchamizal.com

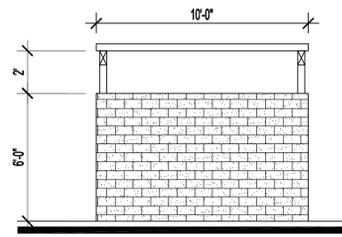
SITE PLAN

EXHIBIT C

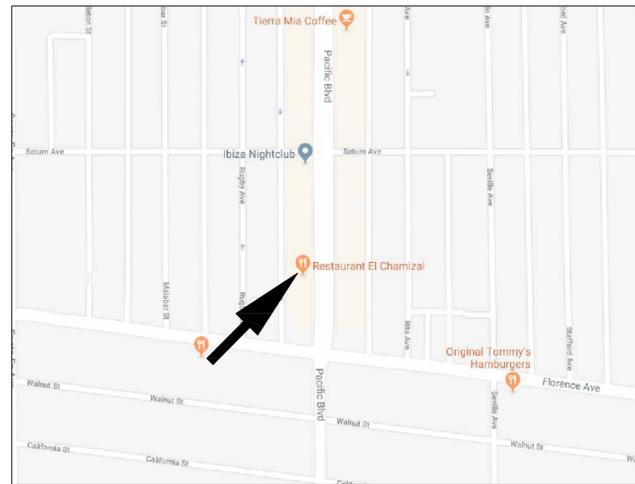
CASE NO. 2018-11 CUP/DP



FRONT (WEST) ELEVATION
SCALE : 1/4" = 1'-0"

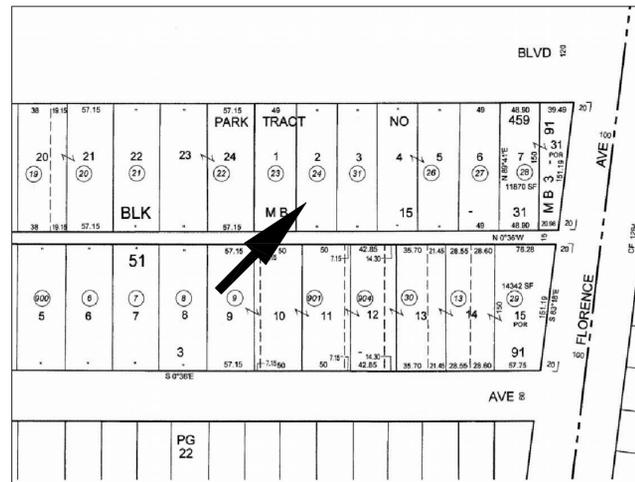


SIDE ELEVATION
SCALE : 1/4" = 1'-0"



VICINITY MAP

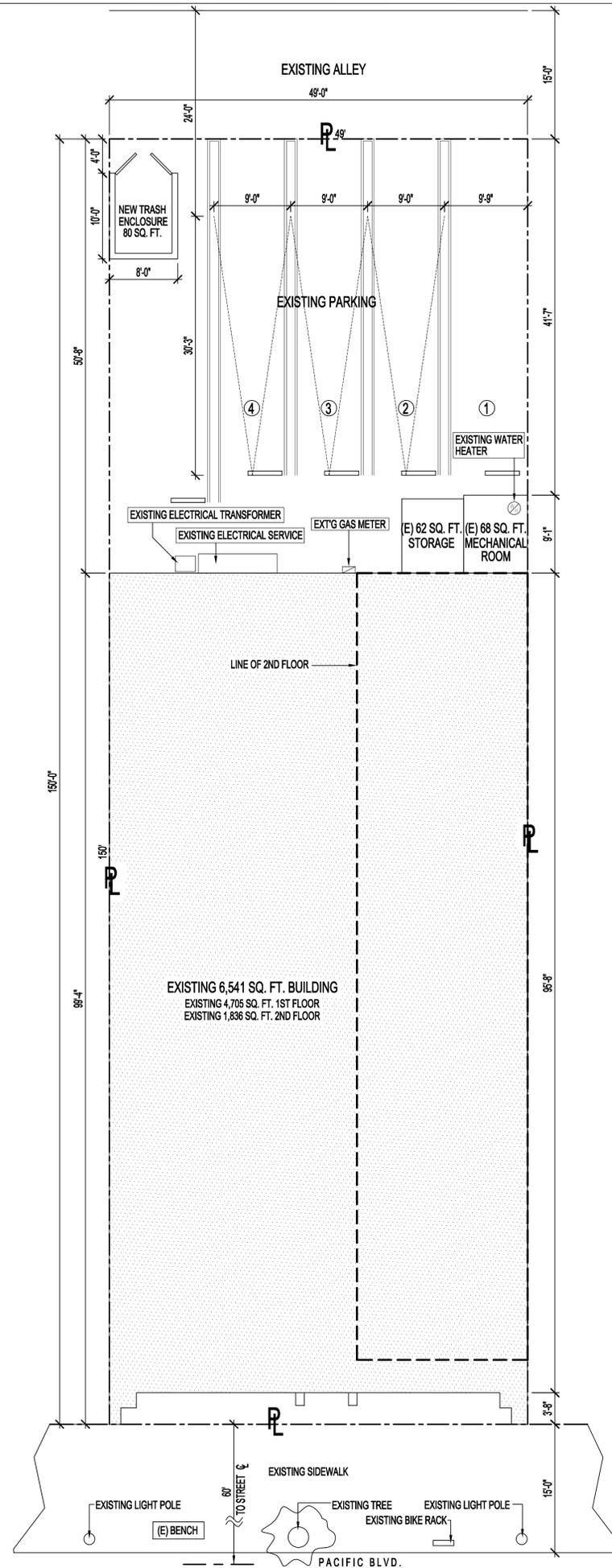
N.T.S.



PARCEL MAP

N.T.S.

SITE PLAN
SCALE : 1/8" = 1'-0"



PROPERTY DATA

ADDRESS	7111 PACIFIC BLVD. HUNTINGTON PARK CA 90255
LEGAL DESCR.	TRACT # 459 LOT 2
ASS. ID #	6322-023-024
LOT AREA	7,350 SQ. FT.
F.A.R.	83%
ZONE	DTSP
LOT DIMENSIONS	49' X 150'

EXISTING 6,541 SQ. FT. BUILDING

BUILDING DATA

USE	RESTAURANT
OCCUPANCY	A
CONST. TYPE	V-B
# OF STORIES	2
SPRINKLERED	NO
EXISTING REMODELED AREA	1,980 SQ. FT.

SCOPE OF WORK

- REMODEL EXISTING 1,980 SQ. FT. DINING AREA
- RELOCATE (E) BAR, (E) STAGE, (E) DANCE AREA & (E) WAITING AREA.
- RAISE CEILING OF EXISTING BUILDING
- NO SQ. FT. ADDED TO (E) BUILDING
- NEW COVERED TRASH ENCLOSURE

DESIGNER

MODERN CONCEPT DESIGN
ALBERT OQUENDO
9519 CALIFORNIA AVE.
SOUTH GATE CA. 90280
323-833-2120
albertq17@yahoo.com

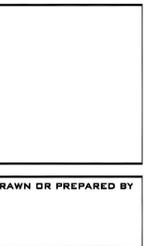
MODERN CONCEPT DESIGN

9519 CALIFORNIA AVE
SOUTH GATE CA. 90280
(323) 833-2120
ALBERTQ17@YAHOO.COM



REVISIONS	DATE

EL CHAMIZAL
PROJECT 7111 PACIFIC BLVD.
ADDRESS: HUNTINGTON PARK CA 90255
DATE:



DRAWN OR PREPARED BY

SHEET & DESCRIPTION

A-1
SITE PLAN
SHEET 1 OF

Drawings, specifications and other documents including those in electronic form, prepared by the Designer and the Designer's consultants are Instruments of Service for use solely with respect to this Project. The Designer and the Designer's consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. Copyright © 2017 by Alberto Oquendo

FLOOR PLAN

EXHIBIT D

CASE NO. 2018-11 CUP/DP

**CONDITIONAL USE PERMIT APPLICATION
&
DEVELOPMENT PERMIT APPLICATION**

EXHIBIT E

CASE NO. 2018-11 CUP/DP



CITY OF HUNTINGTON PARK
 Community Development Dept. • Planning Division
 6550 Mifles Avenue, Huntington Park, CA 90255
 Tel. (323) 584-6210 • planning@hpca.gov

CONDITIONAL USE PERMIT APPLICATION

FOR OFFICE USE ONLY

Date Filed: 9/25/18 File No.: CUP 2018-11 Fee/Receipt No.: \$2,350.00 Initials: DM

PROJECT INFORMATION

Project Address: 7111 PACIFIC BLVD.
 General Location: _____
 Assessor's Parcel Number (APN): 6322-023-024

APPLICANT'S INFORMATION

Applicant: ALBERT OQUENDO
 Mailing Address: 9519 CALIFORNIA AVE.
 Phone 1: (323) 833-2120 Phone 2: _____ Email: albert917@yahoo.com

PROPERTY OWNER'S INFORMATION

Property Owner: MANUEL SIMENTAL
 Mailing Address: 7111 PACIFIC BLVD. HUNTINGTON PARK CA. 90255
 Phone 1: _____ Phone 2: _____ Email: _____

REQUEST

I/We hereby request a Conditional Use Permit (CUP) for the following purpose:

REMODEL (E) 1,980 SQ. FT. DINING AREA
RELOCATE (E) BAR, (E) STAGE, (E) DANCE AREA AND
(E) WAITING AREA.
RAISE CEILING OF (E) BUILDING
NEW COVERED TRASH ENCLOSURE

In order for the Planning Commission to approve a CUP, the Huntington Park Municipal Code requires that all of the following findings be made:

- A. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of the Zoning Code;
- B. The proposed use is consistent with the General Plan;
- C. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
- D. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;
- E. The subject site is physically suitable for the type and density/intensity of use being proposed; and
- F. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

In order for the Planning Commission to determine if these findings are present in your case, the following questions must be answered by the applicant:

1. The site for this proposed use is adequate in size and shape. (Explain)

YES. NO ADDITION TO (E) STRUCTURE IS PROPOSED
RELOCATION OF BAR AREA WITH ALCAHOL SALES

2. The site has sufficient access to street and highways that are adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed use. (Explain)

SEE #1

3. The proposed use will not be materially detrimental, nor have an adverse effect upon adjacent uses, buildings, or structures. (Explain)

SEE #1

4. The proposed Conditional Use Permit will not be in conflict with the General Plan. (Explain)

EXISTING USES WILL REMAIN.

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.

Albert Oquendo
Applicant's Signature (Required)

9-13-18
Date

ALBERT OQUENDO
Print Name

Note: If the applicant is not the property owner, the owner of the property must sign the application or a written authorization must be submitted so that the applicant may file the application.

Manuel Simental
Property Owner's Signature (Required)

9-24-18
Date

Manuel Simental
Print Name



CITY OF HUNTINGTON PARK
 Community Development Dept. • Planning Division
 6550 Miles Avenue, Huntington Park, CA 90255
 Tel. (323) 584-6210 • planning@huntingtonpark.org

ENVIRONMENTAL INFORMATION FORM

FOR OFFICE USE ONLY

Date Filed: _____ File No.: _____ Fee/Receipt No.: _____ Initials: _____

1. **Applicant** (please circle whether Owner, Leasee, Purchaser or Representative):
 Name: ALBERT OQUENDO
 Address: 9519 CALIFORNIA AVE SOUTH GATE CA 90280
 Telephone: (323) 833-2120 Fax: _____

2. **Contact Person concerning this project:**
 Name: SEE APPLICANT
 Address: _____
 Telephone: _____ Fax: _____

3. **Address of project:** 7111 PACIFIC BLVD.

4. **Assessor's Parcel Number (APN):** 6322-023-024

5. **Indicate type of permit application(s)** (i.e. Conditional Use Permit, Development Permit, Variance, etc.) **for the project to which this form pertains:**

CUP

6. **List any other permits and/or other public agency approvals required for this project, including those required by City, County, State and/or Federal agencies:**

BUILDING & SAFETY

7. **Existing Zone:** DTSP DISTRICT A

8. **Proposed use of site:** RESTAURANT

9. **Site size (lot dimensions and square footage):**
49' X 150' 7,350 SQ. Ft.
10. **Project size:**
Square feet to be added/constructed to structure(s):
NO ADDITION
Total square footage of structure(s):
11. **Number of floors of construction:**
Existing: N/A
Proposed:
12. **Parking:**
Amount required:
Amount provided: 4
13. **Anticipated time scheduling of project:** ?
14. **Proposed phasing of development:** 1 PHASE
15. **If residential, include number of units, schedule of unit sizes, range of sale/rent prices, and type of household size expected:**
N/A
16. **If commercial, indicate the type of commercial use, estimated employment per shift, proposed hours of operations, indicate whether neighborhood, City or Regionally oriented, square footage of sales area, and loading locations:**
USE IS RESTAURANT

17. If industrial, indicate type of industrial or manufacturing use, estimated employment per shift, proposed hours of operations, and loading locations:

N/A

18. If institutional, indicate type of institutional use, estimated employment per shift, proposed hours of operations, estimated occupancy, loading locations, and community benefits to be derived from the project:

N/A

Please complete numbers 19 through 33 by marking "A" through "D" and briefly discuss any items marked "A" "B" or "C" (attach additional sheets as necessary). Items marked "D" do not need discussion.

A) Potentially Significant Impact

B) Potentially Significant Impact Unless Mitigation Incorporated

C) Less than Significant Impact

D) No Impact

AESTHETICS

19. Would the proposed project:

- a. Affect a scenic vista? D
- b. Have a demonstrable negative aesthetic effect? D
- c. Create light or glare? D

AIR QUALITY

20. Would the proposed project:

- a. Affect air quality or contribute to an existing or projected air quality violation? D
- b. Create or cause smoke, ash, or fumes in the vicinity? D
- c. Create objectionable odors? D

BIOLOGICAL RESOURCES

21. Would the proposed project:

- a. Remove of any existing trees or landscaping?

D

CULTURAL RESOURCES:

22. Would the proposed project:

- a. Affect historical resources?

D

- b. Have the potential to cause a significant physical change which would affect unique ethnic cultural values?

D

GEOLOGY AND SOILS

23. Would the proposed project:

- a. Result in erosion, changes in topography or unstable soil conditions from excavation, grading or fill?

D

- b. Be located on expansive soils?

D

- c. Result in unique geologic or physical features?

D

HAZARDS

24. Would the proposed project:

- a. Create a risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)?

D

- b. The use or disposal of potentially hazardous materials (i.e. toxic or flammable substances)?

D

- c. The creation of any health hazard or potential health hazard?

D

- d. Exposure of people to existing sources of potential health hazards?

D

HYDROLOGY AND WATER QUALITY

25. Would the proposed project:

- a. Change water drainage patterns?

D

- b. Change the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capabilities?

D

- c. Impact groundwater quality? D
- d. Substantially reduce the amount of groundwater otherwise available for public water supplies? D

LAND USE AND PLANNING

26. Would the proposed project:
- a. Conflict with the Zoning or General Plan designation? D
 - b. Be incompatible with existing land use in the vicinity? D
 - c. Disrupt or divide the physical arrangement of an established community? D

MINERAL AND ENERGY RESOURCES

27. Would the proposed project:
- a. Conflict with the conservation of water? D
 - b. Use non-renewable resources in a wasteful and/or inefficient manner? D
 - c. Substantially increase energy consumption (i.e. electricity, oil, natural gas, etc.)? D

NOISE

28. Would the proposed project result in:
- a. Increase to existing noise levels? D
 - b. Exposure of people to severe noise levels? D

POPULATION AND HOUSING

29. Would the proposed project:
- a. Induce substantial growth in an area either directly or indirectly (i.e. through population growth or infrastructure use)? D
 - b. Displace existing housing, especially affordable housing? D

PUBLIC SERVICES

30. Would the proposal result in a need for new or altered government services for any of the following public services:
- a. Fire protection? D

- b. Police protection? D
- c. Schools? D
- d. Maintenance of public facilities, including roads? D
- e. Other governmental services? D

RECREATION

31. Would the proposed project:

- a. Increase the demand for neighborhood or regional parks or other recreational facilities? D
- b. Affect existing recreational opportunities? D

TRANSPORTATION AND TRAFFIC

32. Would the proposed project:

- a. Increase vehicle trips or traffic congestion? D
- b. Increase hazards to safety from design features (i.e. sharp curves or dangerous intersections)? D
- c. Inadequate access to nearby uses? D
- d. Insufficient on-site parking capacity? D
- e. Hazards or barriers for pedestrians or bicyclists? D

UTILITIES AND SERVICE SYSTEMS

33. Would the proposed project result in a need for new systems or supplies, or alterations to the following utilities:

- a. Power or natural gas? D
- b. Communications systems? D
- c. Local or regional water treatment or distribution facilities? D
- d. Sewer or septic tanks? D
- e. Storm water drainage? D
- f. Solid waste disposal? D
- g. Local or regional water supplies? D

34. Describe the project site as it exists before the project, including any existing structures on the site, and the use of the structures (i.e. residential, commercial, industrial, etc.) Attach photographs of the site and of the surrounding land uses.

EXISTING 6,541 BUILDING USED
FOR RESTAURANT. WITH OFFICE &
STORAGE AREAS FOR RESTAURANT

35. Describe the intensity of land use (i.e. single-family, apartment dwellings, shopping center, etc.), and specifications of development (i.e. height, primary frontage, secondary frontage, setbacks, rear yard, etc.).

USE IS RESTAURANT
(E) FRONTAGE = 99'
(E) HEIGHT = 25' +/-

CERTIFICATION: I hereby certify that the statements furnished above and in the attached plans present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.


Applicant (Signature)

9-13-18
Date