

CALL AND NOTICE OF SPECIAL MEETING

CITY OF HUNTINGTON PARK PLANNING COMMISSION Special Meeting Agenda

Wednesday, August 9, 2017 at 6:30 p.m.
Huntington Park City Hall, City Council Chambers
6550 Miles Avenue, Huntington Park, California 90255

CALL TO ORDER

ROLL CALL

Chair Efren Martinez
Vice Chair Carlos Cordova
Commissioner Eduardo Carvajal
Commissioner Angelica Montes
Commissioner Irving Pacheco

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

*For both open and closed session each speaker will be limited to three minutes per Huntington Park Municipal Code Section 2-1.207. Time limits may not be shared with other speakers and may not accumulate from one period of public comment to another or from one meeting to another. **This is the only opportunity for public input except for scheduled public hearing items.***

CONSENT ITEMS

All matters listed under the Consent Calendar are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items prior to the time the Commission votes on the motion unless members of the Commission, staff, or the public request specific items to be discussed and/or removed from the Consent Calendar for separate action.

1. Approval of Planning Commission Meeting Minutes:

- 1-1. Regular Meeting of May 17, 2017.
- 1-2. Regular Meeting of June 21, 2017.
- 1-3. Regular Meeting of July 19, 2017.

REGULAR AGENDA

PUBLIC HEARING

1. A request to consider the modification of Conditional Use Permit Case No.1459 allowing the operation of a cocktail lounge to continue; or revoke Conditional Use Permit No. 1459 in connection with property located at 3256 Gage Avenue, within the Commercial General (CG) Zone.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing; and
2. Take public testimony; and
3. Consider the following options:
 - 3-1 Approve modifications to CUP Case No.1459;
 - 3-2 Approve the revocation of CUP Case No.1459;
 - 3-3 Continue the item and request additional information.
2. A request for a Conditional Use Permit to allow an ice manufacturing facility and a Development Permit for a proposed tenant improvement consisting of a change in use from an existing warehouse to an ice manufacturing facility; and an existing residential use to commercial offices for property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing; and
2. Take public testimony; and
3. Adopt PC Resolution No. 2017-03, approving a Conditional Use Permit and Development Permit in connection with property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

STAFF COMMENTS

PLANNING COMMISSION COMMENTS

ADJOURNMENT

The City of Huntington Park Planning Commission will adjourn to the Regular Meeting on Wednesday, August 16, 2017 at 6:30 p.m.

I, Carlos Luis, hereby certify under penalty of perjury under the laws of the State of California that the foregoing notice/agenda was posted at City of Huntington City Hall and made available at www.hpca.gov on the 3rd of August, 2017.



Carlos Luis



MINUTES

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, May 17, 2017 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chair Martinez called the meeting to order at 6:36 p.m. PRESENT: Commissioner(s): Angelica Montes, Luz Gomez, (one VACANCY), Vice Chair Eduardo Carvajal, and Chair Efren Martinez.

STAFF PRESENT: Senior Planner Carlos Luis, Associate Planner Juan Arauz, Assistant Planner Rodrigo Pelayo, and Assistant City Attorney Noel Tapia. ABSENT: Recording Secretary/City Clerk Donna Schwartz.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Vice Chair Carvajal

PUBLIC COMMENT - None

CONSENT ITEMS

Motion: Vice Chair Carvajal motioned to approve consent items, seconded by Commissioner Montes. Motion passed 4-0, by the following vote:

ROLL CALL:

AYES: Commissioner(s): Montes, Gomez, Vice Chair Carvajal and
Chair Martinez

NOES: Commissioner(s): None

1. Approved Planning Commission Meeting Minutes:

1-1. Special Meeting of March 29, 2017; and

1-2. Regular Meeting of April 19, 2017.

REGULAR AGENDA

1. **ADOPT RESOLUTION NO. 2016-16** – A Resolution of the Planning Commission of the City of Huntington Park, State of California, Approving a Development Permit and a Conditional Use Permit in Connection with Real Property located at 2319 Randolph Street, Huntington Park, California.

Senior Planner Carlos Luis presented the item and announced Assistant Planner Rodrigo Pelayo was in attendance to answer any questions the Commission may have.

Motion: Vice Chair Carvajal motioned to adopt Resolution No. 2016-16, Approving a Development Permit and a Conditional Use Permit in Connection with Real Property located at 2319 Randolph Street, Huntington Park, California, seconded by Commissioner Gomez. Motion passed 4-0, by one motion.

2. **STUDY SESSION** – To Consider a Zoning Ordinance Amendment Bundle Relating to Various Sections of the Huntington Park Municipal Code and the Downtown Specific Plan (DTSP).

Senior Planner Carlos Luis presented the item and introduced Associate Planner Juan Arauz who provided a PowerPoint presentation and spoke in support of the ordinance.

Motion: Vice Chair Carvajal motioned to direct staff to prepare a Zoning Ordinance Amendment Bundle and bring back to Planning Commission for approval, seconded by Commissioner Gomez. Motion passed 4-0, by one motion.

STAFF COMMENTS

Carlos Luis, Senior Planner, thanked the Commission and noted that staff will bring back the ordinance at a later date.

PLANNING COMMISSION COMMENTS

Commissioner Montes, thanked staff for all their support.

Commissioner Gomez, thanked staff for all their support

Vice Chair Carvajal, thanked staff for all their support and would like staff to contact property owner regarding illegal dumping near Flower Street in the right-of-way between Yahualica Place and California Street within the Department of Water and Power lots.

Chair Martinez, thanked staff for all their support.

ADJOURNMENT

At 6:58 p.m. Chair Martinez adjourned the City of Huntington Park Planning Commission to the Regular Meeting on Wednesday, June 21, 2017 at 6:30 p.m.

Respectfully submitted,

Carlos Luis, Senior Planner for
Donna G. Schwartz
Recording Secretary/City Clerk

DRAFT



MINUTES

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, June 21, 2017 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chair Martinez called the meeting to order at 6:32 p.m. PRESENT: Commissioner(s): Angelica Montes, Luz Gomez, Irving Pacheco, Vice Chair Eduardo Carvajal, and Chair Efren Martinez.

STAFF PRESENT: Senior Planner Carlos Luis, Assistant Planner Rodrigo Pelayo, Assistant City Attorney Noel Tapia and Recording Secretary/City Clerk Donna Schwartz.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Vice Chair Carvajal

PUBLIC COMMENT – None.

CONSENT ITEMS – None.

REGULAR AGENDA

- 1. A Request for a Time Extension to a Previously Approved Conditional Use Permit (CUP) (Case No. 2016-05) to Allow an Approximate 2,000 Square Foot Addition and a Façade Remodel to an Existing Automobile Dealership within the Commercial General (C-G) Zone**

Senior Planner Carlos Luis presented the item and provided a PowerPoint presentation and announced the applicant was in attendance.

Motion: Vice Chair Carvajal motioned to approve an extension, not to exceed five months, to Planning Commission Entitlement Case No. 2016-05, seconded by Commissioner Gomez. Motion passed 5-0, by the following vote:

ROLL CALL:

AYES: Commissioner(s): Montes, Gomez, Pacheco, Vice Chair Carvajal and Chair Martinez
NOES: Commissioner(s): None

2. A Request to Transfer Conditional Use Permit (CUP) No.1459 and the Approval of a Business License Application for a Change in Ownership of a Cocktail Lounge Located at 3256 Gage Avenue

Senior Planner Carlos Luis presented the item and introduced Assistant Planner Rodrigo Pelayo who provided a PowerPoint presentation.

Motion: Chair Martinez motioned to direct staff to prepare a notice of public hearing to consider modifications and/or revoking CUP Case No.1459, seconded by Vice Chair Carvajal. Motion passed 5-0, by the following vote:

ROLL CALL:

AYES:	Commissioner(s):	Montes, Gomez, Pacheco, Vice Chair Carvajal and Chair Martinez
NOES:	Commissioner(s):	None

PUBLIC HEARING – None.

STAFF COMMENTS

Assistant City Attorney Noel Tapia, welcomed new Planning Commissioner Irving Pacheco.

Senior Planner Carlos Luis, welcomed new Planning Commissioner Irving Pacheco, looks forward to working with Mr. Pacheco on future projects and to contact him with any questions. Mr. Luis invited all the Commissioners to a Scoping Meeting regarding Metro Transit on Saturday, June 24, 2017 from 10 to 12 p.m. at Huntington Park Community Center.

PLANNING COMMISSION COMMENTS

Commissioner Montes, welcomed new Planning Commissioner Pacheco and thanked staff for all the information this evening.

Commissioner Gomez, congratulated and welcomed new Planning Commissioner Pacheco and thanked staff for all their support.

Vice Chair Carvajal, welcomed new Planning Commissioner Pacheco.

Commissioner Pacheco, thanked everybody for all their hard work, looks forward to working with his colleagues, noted he is a longtime resident, and thanked Vice Mayor Pineda for his appointment.

Chair Martinez, thanked Commissioner Pacheco and thanked staff for all their support.

ADJOURNMENT

At 8:15 p.m. Chair Martinez adjourned the City of Huntington Park Planning Commission to the Regular Meeting on Wednesday, July 19, 2017 at 6:30 p.m.

Respectfully submitted,

Donna G. Schwartz
Recording Secretary/City Clerk

DRAFT



MINUTES

CITY OF HUNTINGTON PARK PLANNING COMMISSION

Regular Meeting
Wednesday, July 19, 2017 at 6:30 p.m.

Huntington Park City Hall
City Council Chambers
6550 Miles Avenue
Huntington Park, California 90255

Chair Martinez called the meeting to order at 6:31 p.m. PRESENT: Commissioner(s): Angelica Montes, Luz Gomez, Irving Pacheco, and Chair Efren Martinez. ABSENT: Commissioner(s): Vice Chair Eduardo Carvajal.

STAFF PRESENT: Associate Planner Juan Arauz, Assistant Planner Rodrigo Pelayo, Assistant City Attorney Noel Tapia and Recording Secretary/City Clerk Donna Schwartz.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was led by Commissioner Pacheco.

PUBLIC COMMENT - None

PUBLIC HEARING

1. A request to consider the modification of Conditional Use Permit Case No.1459 allowing the operation of a cocktail lounge to continue; or revoke Conditional Use Permit No. 1459 in connection with property located at 3256 Gage Avenue, within the Commercial General (CG) Zone.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing; and
2. Take public testimony; and
3. Consider the following options:
 - 3-1 Approve modifications to CUP Case No.1459;
 - 3-2 Approve the revocation of CUP Case No.1459;
 - 3-3 Continue the item and request additional information.

Associate Planner Juan Arauz introduced the item and announced that staff has requested to continue the item to a special Planning Commission Meeting held on August 9, 2017.

Chair Martinez opened the item up for public comment.

PUBLIC COMMENT

1. Mr. Brian Duncan, Attorney for applicant, stated that the applicant was unaware of some of the issues with the conditional use permit and requested to return after the August 2nd date of the next planning commission meeting.
2. Mr. Sergio Alvarado, property owner adjacent to cocktail lounge, request the CUP be revoked noting it is too close to residential units, and people wake-up in the alley in the mornings and is opposed to the request.

Chair Martinez closed public comment.

Motion: Chair Martinez motioned to continue the item to a special meeting on August 9, 2017, seconded by Commissioner Montes. Motion passed 4-0-1, by the following vote:

ROLL CALL:

AYES: Commissioner(s): Montes, Gomez, Pacheco, and Chair Martinez
NOES: Commissioner(s): None
ABSENT: Commissioner(s): Vice Chair Carvajal

2. A request for a Conditional Use Permit to allow an ice manufacturing facility and a Development Permit for a proposed tenant improvement consisting of a change in use from an existing warehouse to an ice manufacturing facility; and an existing residential use to commercial offices for property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

RECOMMENDATION OF ITEM UNDER CONSIDERATION:

1. Conduct a public hearing; and
2. Take public testimony; and
3. Adopt PC Resolution No. 2017-03, approving a Conditional Use Permit and Development Permit in connection with property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

Associate Planner Juan Arauz introduced the item and Assistant Planner Rodrigo Pelayo provided a PowerPoint presentation. Mr. Arauz announced that the applicant was in attendance and available for any questions.

Chair Martinez opened the time up for public comment.

Discussion followed with the Commissioners concerns with the noise level of the equipment proposed to be used.

PUBLIC COMMENT

1. Mr. Leonardo Corona, Contractor, spoke in support of the proposed project and explained that the noise of the equipment is low and will not affect the residents.

Discussion and questions followed by the Commissioners regarding the hours of operation, number of employees and hours of equipment running.

Mr. Corona stated that there are only 4 employees, hours of operation are Monday through Friday from 7 a.m. to 4 p.m. and that the equipment will run 24 hours but it goes off and one.

Staff stated this is the first they are hearing that the equipment will run 24 hours.

Chair Martinez closed public comment.

Discussion resumed by the Commissioners regarding their concern of the noise to the surrounding residents and would like staff to conduct an analysis or further assess potential noise impact to the surroundings at night.

Chair Martinez recommended to return after 90 days for a follow-up and review.

Assistant City Attorney noted another option is to continue item so that staff and applicant can discuss times and hours and for staff to conduct the study.

Chair Martinez opened public comment again.

PUBLIC COMMENT

2. Fred Rader, owner, stated the equipment is quiet, that there will be a sound barrier and a fence that will be built around the equipment. He reiterated that you won't be able to hear the equipment and have been in business over 30 years at a different location and that the ice machines are controlled by a computer and that no one stays at the business for 24 hours.

Chair Martinez closed public comment.

Motion: Commissioner Pacheco motioned to continue item to the special meeting on August 9, 2017, seconded by Commissioner Gomez. Motion passed 4-0-1, by the following vote:

ROLL CALL:

AYES: Commissioner(s): Montes, Gomez, Pacheco, and Chair Martinez
NOES: Commissioner(s): None

ABSENT: Commissioner(s): Vice Chair Carvajal

STAFF COMMENTS

Associate Planner Juan Arauz thanked the commission for their support.

PLANNING COMMISSION COMMENTS

Commissioner Montes, thanked staff for all their support.

Commissioner Pacheco, thanks staff for all their support.

Commissioner Gomez, no comment.

Chair Martinez, thanked staff for all their support and announced the special meeting on August 9, 2017, at 6:30 p.m.

ADJOURNMENT

At 7:45 p.m. Chair Martinez adjourned the City of Huntington Park Planning Commission to a Special Meeting Wednesday, August 9 2017. Next Regular Meeting on Wednesday, August 16, 2017 at 6:30 p.m.

Respectfully submitted,

Donna G. Schwartz
Recording Secretary/City Clerk



CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: AUGUST 9, 2017

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: SERGIO INFANZON, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: RODRIGO PELAYO, ASSISTANT PLANNER

SUBJECT: **PLANNING COMMISSION CASE NO. 1459 CUP
(CONDITIONAL USE PERMIT)**

REQUEST: **A request to consider the modification of Conditional Use Permit Case No.1459 allowing the operation of a cocktail lounge to continue; or revoke Conditional Use Permit No. 1459 in connection with property located at 3256 Gage Avenue, within the Commercial General (CG) Zone.**

APPLICANT: City of Huntington Park

BACKGROUND:

- ***Current Business Operator (Javier Gonzalez)***

On December 20, 2016, the Planning Division received a business license application from Javier Gonzalez requesting approval for a change in ownership of an existing cocktail lounge located at 3256 Gage Avenue. As part of the application review process, Planning Staff verified if there was an existing Conditional Use Permit (CUP) in connection with the subject property and use. City records identified CUP No. 1459 to be in connection with the subject property and use. Therefore, the application process also required the transfer of the existing CUP to the new business operator. As a result, the Planning Division scheduled a site inspection in order to verify compliance with the conditions of approval within Planning Commission Resolution No. 1459.

On January 4, 2017, the City conducted an inspection of the subject property and determined that it was in violation of Condition Nos. 2, 4, 16, and 17 of PC Resolution 1459 (see Exhibit A). The business license application and

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 1459 CUP: 3256 Gage Avenue

August 9, 2017

Page 2 of 15

transfer of Conditional Use Permit was processed by the Planning Division and the applicant was given 30 days from the date of the approval to correct all violations. On January 17, 2017, the Building & Safety Division conducted an inspection and approved a certificate of occupancy the same day, allowing the business to begin operating. The applicant continued to work with Staff and acquired City approval to make site improvements and correct violations.

- ***New Business License Applicant (Melissa Martinez)***

On April 26, 2017, a business license application was submitted to the Planning Division by Melissa Martinez requesting approval for a change in ownership of the business. At the time of the application submittal, Planning Staff explained to Ms. Martinez that the application process also required the transfer of the conditional use permit in connection with the property, therefore a site inspection would need to be conducted. However, Staff had been previously informed by the Huntington Park Police Department that the business was causing disturbance in the surrounding neighborhood. Before scheduling a site inspection, Planning Staff met with the Police Department to discuss the issues caused by the current operator.

- ***Police Department Findings***

On May 2, 2017, the Police Department and Business License Enforcement Division met with Planning Staff and informed that the current operator has been conducting events with live music and entertainment and as result, causing nuisances in the surrounding properties. The Police Department also noted that 154 calls for service have been reported between January, 2015 and June, 2017 (see Exhibit B). In addition, the establishment has been in violation with requirements of the California Department of Alcoholic Beverage Control (see Exhibit C).

Following the meeting with Police Department, the Planning Division determined that the business license application (Exhibit D) and Conditional Use Permit 1459 (Exhibit E) should be further reviewed by the Planning Commission.

- ***Planning Commission meeting of June 21, 2017***

- *Conditional Use Permit*

On June 21, 2017, a Planning Commission meeting was held and the business license application submitted by Ms. Martinez was presented as an item of consideration. During the meeting, the Planning Commission identified that the current operator is out of compliance with the conditions of approval No. 2, No. 10, and No. 11 of CUP No. 1459.

- Condition No.2 states, “That the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park.”
- Condition No.10 states, “That inventory or merchandise shall only be permitted to be stored or displayed within the enclosed building.”
- Condition No.11 states, “That the permit may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the Planning Commission as deemed appropriate to address problems of land use compatibility, security, and crime control.”

- *Police Department Comments*

Police Department staff explained that the business was established over 30 years ago and historically has caused problems associated with weapons, drugs, public intoxication, sexual offenses, human trafficking, noise, traffic, and peace disturbance. Police staff also stated the following:

- The business is in violation of the conditions of approval imposed by the California Department of Alcoholic Beverage Control (ABC).
- The business has produced a total of 74 calls for service between January 2015 and June 2017.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 1459 CUP: 3256 Gage Avenue

August 9, 2017

Page 4 of 15

- The business operates beyond 12:00am and allows the consumption of alcohol after midnight on operating days.
- The business hosts dancing and live entertainment events, causing traffic and noise problems.
- The calls for service tie up police resources that can be utilized in other areas.
- On July 1, 2015, a person was sexually assaulted at the establishment.
- On January 22, 2017, Police responded to a call from a resident complaint of traffic in the street block generated by the business. Police arrived to the scene and a gentleman by the name of Mr. Francisco Rivas identified himself as the owner of the business. However, the registered business owner is Mr. Javier Gonzalez whom was not present.
- On January 26, 2017, Police issued a warning to the operator for posting advertisements outside of the establishment, which is a violation of ABC conditions of approval.
- On February 9, 2017, the business operator was caught buying alcohol from a supermarket (non-distributor), which is a violation of ABC requirements. Police also found hard liquor stored inside the business, which is another violation of ABC regulations.

Police staff concluded by expressing their concern for the public welfare and stating that residents continue to be intimidated by individuals associated to the business.

- Department of Alcoholic Beverage Control Violations

The Planning Commission identified that the current operator is out of compliance with ABC regulations and conditions of approval No. 1, No. 5, No.6, No.10, and No.12.

- Condition No.1 states, "Sales, service and consumption of alcoholic beverages shall be permitted

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 1459 CUP: 3256 Gage Avenue

August 9, 2017

Page 5 of 15

only between the hours of 10am to 12midnight, each day of the week.”

- Condition No.5 states, “No ‘happy hour’ type or reduced price alcoholic beverage promotion shall be allowed.”
- Condition No.6 states, “There shall be no dancing allowed on the premises.”
- Condition No.10 states, “There shall be no live entertainment of any type, including but not limited to live music, disc jockey, topless entertainment, male or female performers or fashion shows. Karaoke is not deemed a violation of this condition.”
- Condition No.12 states, “There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.”

At the conclusion of the meeting, it was direction of the Planning Commission to prepare this item for consideration of modification or the revocation of Conditional Use Permit No. 1459.

DISCUSSION:

- ***Business License***

Business license applications are reviewed and processed administratively in most cases. When an application is submitted, staff searches records for any entitlements in connection with the subject property/use. When there are no responsive records, the application clears Planning review and continues to get processed by the remaining departments.

When records yield active entitlements, staff then proceeds to review the conditions of approval. After reviewing the conditions of approval, a site inspection is conducted in order to verify compliance with the conditions of approval.

When a property/use is determined to be in compliance

with conditions of approval, the application clears Planning review, continues to get processed by the remaining departments, and the entitlement in connection with the property is transferred to the new applicant.

When a property/use is determined to be out of compliance with conditions of approval due to lack of maintenance of the site, the application still clears Planning review, continues to get processed by the remaining departments, and the entitlement in connection with the property is transferred to the new applicant. However, the applicant is given a time period (usually 30 days) to correct all violations and be in compliance with all conditions of approval.

- ***Conditional Use Permit (CUP)***

Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Commission may approve and/or modify a CUP application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 1459 CUP: 3256 Gage Avenue

August 9, 2017

Page 7 of 15

5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

The Commission may hold a hearing to revoke or modify a Conditional Use Permit granted in compliance with the provisions of HPMC Section 9-2.11. A Conditional Use Permit may be revoked or modified by the Commission if any one of the following findings can be made:

1. That circumstances been changed by the applicant to a degree that one or more of the findings contained in the original permit can no longer be made in a positive manner and the public health, safety and welfare require the revocation;
2. That the Conditional Use Permit was issued, in whole or in part, on the basis of a misrepresentation or omission of a material statement in the application, or in the applicant's testimony presented during the public hearing, for the entitlement or permit;
3. That the use for which the Conditional Use Permit was granted had ceased or was suspended for six (6) or more months;
4. That one or more of the conditions of the Conditional Use Permit have not been met;
5. That the use is in violation of any statute, ordinance, law or regulation; or
6. That the use permitted by the Conditional Use Permit is detrimental to the public health, safety or welfare or constitutes a nuisance.

ANALYSIS:

- ***Business License***

On April 26, 2017, a business license application was submitted to the Planning Division by Melissa Martinez requesting approval for a change in ownership of the

business. During the application review, records yielded a CUP in connection with the property. Therefore, the CUP needs to be transferred to Ms. Martinez in order to continue processing the business license application for the change in ownership.

After review of the CUP, it was determined that the property/use is out compliance with the conditions of approval. The property/use must be in compliance with all conditions of approval in order to complete the transfer of the CUP to the new operator and the business license application process.

- ***Conditional Use Permit (CUP)***

The Planning Commission identified that the current operator is out of compliance with the conditions of approval No. 2, No. 10, and No. 11 of CUP No. 1459.

- Condition No.2 states, "That the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park."

The current operator is hosting dance and live entertainment events without a City permit. In addition, dancing and live entertainment is prohibited within the conditions of approval of ABC.

In addition, the current operator cooks and serves prepared food without a City permit and Los Angeles County Department of Public Health approval.

The current operator purchased alcohol from a supermarket (non-distributor). ABC regulations require the establishment purchase alcohol only from distributors.

The Huntington Park Police Department found hard liquor inside of the establishment. ABC regulations prohibit keeping hard liquor or spirits within the establishment.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 1459 CUP: 3256 Gage Avenue

August 9, 2017

Page 9 of 15

- Condition No.10 states, "That inventory or merchandise shall only be permitted to be stored or displayed within the enclosed building."

The current operator advertises and displays "happy hour" and beverage discounts outside of the establishment. Such advertisements are also prohibited within the conditions of approval of ABC.

- Condition No.11 states, "That the permit may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the Planning Commission as deemed appropriate to address problems of land use compatibility, security, and crime control."

Land use compatibility, security, and crime control problems have been identified with subject property and use. Therefore, the CUP may be subject to additional conditions and/or modification of existing conditions as deemed appropriate by the Planning Commission.

In order to address problems of land use compatibility, security, and crime control, the Planning Commission may add conditions, including but not limited to:

- That cooking of food shall be prohibited within the premises.
- That no prepackaged or prepared food be served in the premises.
- That the CUP be reviewed on a quarterly basis for compliance.
- That the establishment shall comply with all California Department of Alcoholic Beverage Control (ABC) regulations and conditions of approval.
- That the establishment shall not conduct any type of dance and entertainment, including but not limited to, disc jockeys and karaoke.
- That security staff patrol inside and outside the establishment during the business hours of operation.

- That patrons shall be restricted access to and from the alley located at the rear of the establishment.
- That the facades of the building be modified to incorporate openings to allow visibility to the inside.

- ***Police Department Comments***

Police Department expressed concerns for the surrounding neighborhood as the establishment continues to cause problems associated with weapons, drugs, public intoxication, sexual offenses, human trafficking, noise, traffic, and peace disturbance. Police Staff have identified the following:

- The business has produced a total of 74 calls for service between January 2015 and June 2017.

The calls for service report indicates that the establishment is the generator of problems associated with weapons, drugs, public intoxication, sexual offenses, human trafficking, noise, traffic, and peace disturbance.

- The business operates beyond 12:00am and allows the consumption of alcohol after midnight on operating days.

The management of the business has not improved and continues to violate ABC and City regulations.

- The business hosts dancing and live entertainment events, causing traffic and noise problems.

The dancing and live entertainment events cause traffic and noise problem and are a nuisance to the neighborhood.

- The calls for service tie up police resources that can be utilized in other areas.

- On January 22, 2017, Police responded to a call from a resident complaint. Police arrived to the scene and a gentleman by the name of Mr. Francisco Rivas identified himself as the owner of the business. However, the registered business owner is Mr. Javier Gonzalez.

Police have interviewed staff from the establishment on different occasions and yielded Mr. Rivas as the owner of the business. However, Mr. Javier Gonzalez is documented as the business owner because Mr. Rivas is permanently banned by ABC from owning or operating any alcohol establishments due to previous offenses.

- On January 26, 2017, Police issued a warning to the operator for posting advertisements outside of the establishment, which is a violation of ABC conditions of approval.
- On February 9, 2017, the business operator was caught buying alcohol from a supermarket (non-distributor), which is a violation of ABC requirements. Police also found hard liquor stored inside the business, which is another violation of ABC regulations.

Concerns from residents and police have become a detriment. The neighborhood does not feel safe when walking near the establishment. Residents have expressed their consideration of moving out because due to the problems caused by the establishment.

Based on the input provided by the Police Department, it is reasonable to assume that without conditions of approval and monitoring, the establishment will continue to operate in the same fashion.

- ***Department of Alcoholic Beverage Control***

The Planning Commission identified that the current operator is out of compliance with ABC regulations and conditions of approval No. 1, No. 5, No.6, No.10, and No.12.

- Condition No.1 states, "Sales, service and consumption of alcoholic beverages shall be permitted only between the hours of 10am to 12midnight, each day of the week."

Police have responded to calls for service and found the establishment to be serving alcohol beyond 12 midnight.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 1459 CUP: 3256 Gage Avenue

August 9, 2017

Page 12 of 15

- Condition No.5 states, "No 'happy hour' type or reduced price alcoholic beverage promotion shall be allowed."

The business advertises "happy hour" and beverage discounts through social media sites. The Police Department has issued a warning to the operator for posting advertisements outside of the establishment.

- Condition No.6 states, "There shall be no dancing allowed on the premises."

During a site inspection, a dance floor was noted inside the business. The establishment is continuously hosting dancing events. Due to ABC requirements, the City cannot allow dancing at the establishment.

- Condition No.10 states, "There shall be no live entertainment of any type, including but not limited to live music, disc jockey, topless entertainment, male or female performers or fashion shows. Karaoke is not deemed a violation of this condition."

The business continues to promote live bands through social media websites. Police has responded to a call for service due to traffic because the establishment was hosting an event with live music. Due to ABC requirements, the City cannot allow dancing or entertainment at the establishment.

- Condition No.12 states, "There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition."

ABC regulations require the business to purchase alcohol from distributors only. An employee of the establishment was caught purchasing alcohol from a non-distributor. The employee stated that the owner gave them direction to buy alcohol knowing that it is unlawful. The department of ABC has an active case against the operator due to this matter. Based on the evidence presented, it is reasonable to assume that the business will continue operating in the same manner.

- ***CUP Modification/Revocation Findings***

The Commission may hold a hearing to modify or revoke the Conditional Use Permit granted in compliance with the provisions of HPMC Section 9-2.11. A Conditional Use Permit may be revoked or modified by the Commission if any one of the following findings can be made:

1. That circumstances have been changed by the applicant to a degree that one or more of the findings contained in the original permit can no longer be made in a positive manner and the public health, safety and welfare require the revocation;
2. That the Conditional Use Permit was issued, in whole or in part, on the basis of a misrepresentation or omission of a material statement in the application, or in the applicant's testimony presented during the public hearing, for the entitlement or permit;
3. That the use for which the Conditional Use Permit was granted had ceased or was suspended for six (6) or more months;
4. That one or more of the conditions of the Conditional Use Permit have not been met;
5. That the use is in violation of any statute, ordinance, law or regulation; or
6. That the use permitted by the Conditional Use Permit is detrimental to the public health, safety or welfare or constitutes a nuisance.

Based on the evidence presented, Planning Staff has determined that the required findings can be made in support of a modification or revocation of the Conditional Use Permit.

The Planning Commission may make the findings to modify the CUP. If the Planning Commission decides to make modifications to the CUP, Staff proposes adding the following conditions of approval:

- That cooking of food shall be prohibited within the premises.

- That no prepackaged or prepared food be served in the premises.
- That the CUP be reviewed on a quarterly basis for compliance.
- That the establishment shall comply with all California Department of Alcoholic Beverage Control (ABC) regulations and conditions of approval.
- That the establishment shall not conduct any type of dance and entertainment, including but not limited to, disc jockeys and karaoke.
- That security staff patrol inside and outside the establishment during the business hours of operation.
- That patrons shall be restricted access to and from the alley located at the rear of the establishment.
- That the facades of the building be modified to incorporate openings to allow visibility to the inside.

Findings in support of the CUP modification will need to be brought back to the Planning Commission at the next available meeting.

Alternatively, the Planning Commission may make the findings to revoke the CUP. If the Planning Commission decides to revoke the CUP, the findings in support of the CUP revocation will need to be brought back to the Planning Commission at the next available meeting.

**ENVIRONMENTAL
REVIEW:**

The modification of conditions of approval or revocation of an entitlement, such as a Conditional Use Permit, is exempt from the provisions of the California Environmental Quality Act (CEQA).

CONCLUSION:

After conducting a public hearing and receiving public testimony, the Planning Commission has the following options:

1. Approve modifications to CUP Case No.1459;
2. Approve the revocation of CUP Case No.1459;
3. Continue the item and request additional information.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 1459 CUP: 3256 Gage Avenue

August 9, 2017

Page 15 of 15

EXHIBITS:

- Exhibit A: Planning Commission Meeting Staff Report (June 21, 2017)
- Exhibit B: Police Department Calls for Service (January 2015 to Present)
- Exhibit C: ABC Conditions of Approval
- Exhibit D: Business Promotions and Advertisements
- Exhibit E: Business License Application
- Exhibit F: PC Resolution No.1459
- Exhibit G: CUP Transfer Letter
- Exhibit H: Written Notice to Modify/Revoke CUP No. 1459

**PLANNING COMMISSION MEETING
STAFF REPORT (JUNE 21, 2017)**

EXHIBIT A



CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: JUNE 21, 2017

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: CARLOS LUIS, SENIOR PLANNER

FROM: RODRIGO PELAYO, ASSISTANT PLANNER

SUBJECT: ITEM OF CONSIDERATION

REQUEST: A request to transfer Conditional Use Permit (CUP) No.1459 and the approval of a business license application for a change in ownership of a cocktail lounge located at 3256 Gage Avenue.

APPLICANT: Melissa Martinez
596 E. Devon Drive
Gilbert, AZ 85296

BACKGROUND:

- ***Current Business Operator (Javier Gonzalez)***

On December 20, 2016, the Planning Division received a business license application from Javier Gonzalez requesting approval for a change in ownership of an existing cocktail lounge located at 3256 Gage Avenue. As part of the application review process, Planning Staff verified if there was an existing Conditional Use Permit (CUP) in connection with the subject property and use. City records identified CUP No. 1459 to be in connection with the subject property and use. Therefore, the application process also required the transfer of the existing CUP to the new business operator. As a result, the Planning Division scheduled a site inspection in order to verify compliance with the conditions of approval within Planning Commission Resolution No. 1459.

On January 4, 2017, the City conducted an inspection of the subject property and determined that it was in violation of Condition Nos. 2, 4, 16, and 17 of PC Resolution 1459 (see Exhibit A). The business license application and

PLANNING COMMISSION AGENDA REPORT

Item of Consideration

June 21, 2017

Page 2 of 4

transfer of Conditional Use Permit was processed by the Planning Division and the applicant was given 30 days from the date of the approval to correct all violations. On January 17, 2017, the Building & Safety Division conducted an inspection and approved a certificate of occupancy the same day, allowing the business to begin operating. The applicant continued to work with Staff and acquired City approval to make site improvements and correct violations.

- ***New Business License Applicant (Melissa Martinez)***

On April 26, 2017, a business license application was submitted to the Planning Division by Melissa Martinez requesting approval for a change in ownership of the business. At the time of the application submittal, Planning Staff explained to Ms. Martinez that the application process also required the transfer of the conditional use permit in connection with the property, therefore a site inspection would need to be conducted. However, Staff had been previously informed by the Huntington Park Police Department that the business was causing disturbance in the surrounding neighborhood. Before scheduling a site inspection, Planning Staff met with the Police Department to discuss the issues caused by the current operator.

- ***Police Department Findings***

On May 2, 2017, the Police Department and Business License Enforcement Division met with Planning Staff and informed that the current operator has been conducting events with live music and entertainment and as result, causing nuisances in the surrounding properties. The Police Department also noted that 154 calls for service have been reported between January, 2015 and June, 2017 (see Exhibit B). In addition, the establishment has been in violation with requirements of the California Department of Alcoholic Beverage Control (see Exhibit C).

Following the meeting with Police Department, the Planning Division determined that the business license application (Exhibit D) and Conditional Use Permit 1459 (Exhibit E) should be further reviewed by the Planning Commission.

PLANNING COMMISSION AGENDA REPORT

Item of Consideration

June 21, 2017

Page 3 of 4

DISCUSSION:

- ***Conditional Use Permit***

A Conditional Use Permit granted in compliance HPMC Section 9-2.11 shall continue to be valid upon a change of ownership of the site, business, service, use or structure which was the subject of the permit. In order to transfer a Conditional Use Permit, the City requires a site inspection in order to verify compliance with the conditions of approval. In addition, the new owner/operator is required to agree to all applicable conditions and operating standards prior to reuse/reopening under the new ownership.

Planning Commission Resolution No. 1459 was approved subject to compliance with 19 conditions of approval. In accordance with Condition No. 2 of PC Resolution 1459, the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park.

The current business operator has failed to comply with Condition No. 2 by hosting dance and live entertainment events without a permit, as required by the Huntington Park Municipal Code Sections 3-1.12 and 3-1.13. In addition, the establishment has active violations with the California Department of Alcoholic Beverage Control (ABC).

ANALYSIS:

Based on the evidence presented and the noncompliance with Conditions of Approval Nos. 2, the Planning Commission may review the CUP to modify and/or add conditions of approval. The Planning Commission may also review the CUP to consider revocation. Pursuant to HPMC Section 9-2.11, should the Planning Commission consider the modification or revocation of this CUP, a public hearing shall be held at a later date in compliance with all noticing requirements. Lastly, the Planning Commission may request additional information for further discussion at another scheduled meeting.

PLANNING COMMISSION AGENDA REPORT

Item of Consideration

June 21, 2017

Page 4 of 4

RECOMMENDATION:

1. Direct staff to prepare a notice of public hearing to consider modifications to CUP Case No.1459;
2. Direct staff to prepare a notice of public hearing to consider the devolution of CUP Case No.1459;
3. Continue the item and request additional information.

EXHIBITS:

- Exhibit A: CUP Transfer Letter dated January 5, 2017
- Exhibit B: Calls for Service (January 2015 to Present)
- Exhibit C: ABC Conditions of Approval
- Exhibit D: Business License Application
- Exhibit E: PC Resolution No.1459

**CALLS FOR SERVICE
JANUARY 2015 TO PRESENT**

EXHIBIT B

Huntington Park Police Department

Number Of Calls Report by Complaint

Jurisdiction: HPPD

First Date: 01/03/2015

Last Date: 06/11/2017

<i>Complaint</i>		<i>Number</i>
166	COURT ORDER VIOLATION	2
211R	ROBBERY REPORT	2
242R	BATTERY REPORT	2
261R	RAPE REPORT	1
415C	CUSTOMER	2
415	DISTURBANCE	3
415F	FIGHT	1
415M	MUSIC	3
415S	SUBJECT	10
417GUN	PERSON WITH A GUN	2
417KNIFE	PERSON WITH A KNIFE	1
422R	TERRORIST THREATS REPORT	1
459VR	BURGLARY VEHICLE REPORT	1
647F	DRUNK	1
ADVISAL	ADVISAL	2
BAR CK	BAR CHECK	1
CE	CODE ENFORCEMENT	1
CODE5	STAKEOUT	2
CSU	CSU	2
FU	FOLLOW UP	13
HS	NARCO	2
OO	EXTRA PATROL	2
PED	PED STOP	4
PKG	PARKING	2
REPO	REPOSSESSION	1
SUBP	SUBPOENA	1
TC 20002R	MISD HIT&RUN REPORT	2
TC FATAL	FATAL TRAFFIC COLLISION	1
TC NON-INJ	NON INJURY	1
TRANSIENT	TRANSIENT LOITERING/SLEEPING	1
VEH CK	VEHICLE CHECK	3
WALKTHRU	WALK THRU	1

***Report Total:* 74**

Huntington Park Police Department

Number Of Calls Report by Complaint

Jurisdiction: HPPD

First Date: 01/10/2015

Last Date: 05/16/2017

<i>Complaint</i>		<i>Number</i>
170	ANIMAL CALLS	2
211	ROBBERY	1
211R	ROBBERY REPORT	1
242	BATTERY IN-PROGRESS	1
242R	BATTERY REPORT	2
243.4R	SEXUAL BATTERY REPORT	1
245	ASSAULT WITH DEADLY WEAPON	1
245R	ASSAULT WITH DEADLY WEAPON	1
415D	DOMESTIC	2
415M	MUSIC	1
415S	SUBJECT	4
415T	TRANSIENT	1
417KNIFE	PERSON WITH A KNIFE	1
459VR	BURGLARY VEHICLE REPORT	1
459V	VEHICLE	1
594	VANDALISM	1
ADVISAL	ADVISAL	1
ASST PUB	ASSIST PUBLIC	1
CW	CHECK WELFARE	1
DWN	PERSON DOWN	1
GTAR	VEH THEFT REPORT	2
LOST PROP	LOST PROPERTY	1
MEDICAL AID	MEDICAL ASSISTANCE	1
PED	PED STOP	7
PKG	PARKING	3
PRCS	PAROLE CHECKS	1
TC 20002R	MISD HIT&RUN REPORT	1
TC INJURY	INJURY TRAFFIC COLLISION	1
TC NON-INJ	NON INJURY	1
Traffic Stop	TRAFFIC STOP	6

Report Total: 50

Huntington Park Police Department

Number Of Calls Report by Complaint

Jurisdiction: HPPD

First Date: 01/21/2015

Last Date: 05/09/2017

<i>Complaint</i>		<i>Number</i>
242R	BATTERY REPORT	1
415F	FIGHT	1
415S	SUBJECT	3
415T	TRANSIENT	1
459VR	BURGLARY VEHICLE REPORT	1
CW	CHECK WELFARE	1
FLAG	FLAG DWN	1
HS	NARCO	1
PED	PED STOP	7
REC	RECOVERY	1
SEC CK	SECURITY CHECK	1
SUSP SUBJ	SUSPICIOUS SUBJ	1
TC 20002	MISD HIT&RUN JUST OCCURRED	1
TC 20002R	MISD HIT&RUN REPORT	1
TC NON-INJ	NON INJURY	5
Traffic Stop	TRAFFIC STOP	3

***Report Total:* 30**

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Code	Complaint	Caller	Address	Unit Time				
								Dispatch	Enroute	OnScene	Depart	Arrive
150103-0029												
ADV	.		01/03/2015	10:11:06	TORRES FREDDY							
			TRANSIENT		3256 E GAGE AV, HTG PK							
			HP	LOPEZ,D	*24			10:12:33				10:27:38
			HP	LARIOS,M	21			10:13:09	10:15:37			10:27:37
			HP	NIJLAND,P	23			10:12:35	10:15:41			10:27:37
150107-0074												
ADV	.		01/07/2015	18:52:06	FREDDIE - SECURITY							
			HS		3256 E GAGE AV, HTG PK							
			HP	RODRIGUEZ,CAR	*32		19:09:15	19:09:17	19:11:15			19:22:20
			HP	LOZANO,HUMBEF	34			19:09:35				19:22:20
150110-0007												
ADV	.		01/10/2015	02:16:13	TORRES FREDDY							
			415		3256 E GAGE AV, HTG PK							
			HP	MARES,J	*12			02:34:10	02:35:41			02:39:51
			HP	GUIZAR,A	13			02:34:12	02:35:42			02:39:51
150123-0117												
NRD	13	.	01/23/2015	23:44:32	OFELIA SOTELO							
			242R		3256 E GAGE AV, HTG PK							
			HP	GUIZAR,A	*13			23:48:45	23:51:41			00:30:07
			HP	LOPEZ,D	11			23:48:50	23:57:35			00:30:07
			HP	MARES,J	12			23:48:57	23:52:55		00:04:23	
			HP	WASIK,C	15			23:48:15	23:51:25		00:25:25	
150207-0008												
SOW	14	.	02/07/2015	00:58:12								
			PED		3256 E GAGE AV, HTG PK							
			HP	MENDOZA,M	*14				00:58:12			01:00:20
			HP	LOPEZ,D	11			00:58:38				01:00:20
150207-0009												

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time						
						Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
		Code	Complaint	Dep	Officer	Unit						
150207-0009												
OK	14	.	02/07/2015	01:03:02	WALKTHRU	3256 E GAGE AV, HTG PK						
					HP	MENDOZA,M	*14		01:03:02			01:07:20
					HP	LOPEZ,D	11		01:03:13			01:07:20
150219-0135												
CITE	14	.	02/19/2015	22:48:14	FREDDIE - SECURITY GUARD							
RPT	14		TC 20002R		3256 E GAGE AV, HTG PK							
					HP	GONZALEZ,A	*1T	22:54:36	22:57:30			00:24:21
					HP	LOPEZ,D	11	22:54:23	23:02:17		22:54:31	00:24:20
					HP	MARES,J	12	23:09:06	23:12:51			00:24:20
					HP	MENDOZA,M	14		22:57:25		23:32:07	00:24:20
					HP	WASIK,C	15	23:06:53	23:29:02		23:21:34	00:24:21
					HP	NAVARRETTE,JO	1S	22:59:19	23:04:20			00:24:21
					HP	PALACIOS,E	31	22:54:23	23:02:15		23:28:28	
					HP	RODRIGUEZ,CAR	32	22:59:02	23:02:53		23:31:48	
					HP	WELP,D	33		22:54:59		23:24:57	
					HP	HERNANDEZ,ROE	X1	22:52:20	22:55:06		00:24:03	
150221-0063												
ADV	24	.	02/21/2015	16:23:20	RANJID							
			415S		3256 E GAGE AV, HTG PK							
					HP	LEE,H	*33	16:26:22	16:26:43	16:31:24		16:56:37
					HP	MARQUEZ,A	24	16:26:24	16:26:43	16:29:47		16:56:38
150301-0021												
ADV	14	.	03/01/2015	02:49:26	FREDDY							
NRD	14		TC NON-INJ		3256 E GAGE AV, HTG PK							
					HP	FUENTES,M	*14	02:49:54		02:53:29		03:23:41
					HP	FARMER,G	11		02:51:48			03:23:40
					HP	DURAN,S	12		02:51:46	02:55:01	03:14:17	
					HP	LEE,H	33			02:59:00		03:23:41
150319-0107												

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time					
						Dispatch	Enroute	OnScene	Depart	Arrive	Remove
		Code	Complaint	Dep	Officer	Unit					
150319-0107											
	FI	.	03/19/2015	21:19:16							
	SOW		PED		3256 E GAGE AV, HTG PK						
					HP GUERRERO,E	*3G		21:19:16			21:32:34
					HP STAAL,G	4G		21:19:19			21:32:34
150325-0072											
	ADV	.	03/25/2015	17:56:16							
			PED		3256 E GAGE AV, HTG PK						
					HP GUTIERREZ,J	*2G		17:56:18			18:00:47
150326-0094											
	ADV	32	03/26/2015	19:25:25	VICTOR SUAREZ						
			TC 20002R		3256 E GAGE AV, HTG PK						
					HP RODRIGUEZ,CAR	*32		19:31:06	19:33:17		19:43:36
150506-0089											
	RPT	.	05/06/2015	20:41:14	CHRISTIAN - EMPLOYEE						
			417KNIFE		3256 E GAGE AV, HTG PK						
					HP CARLOS,E	*14		20:44:33	20:43:59		21:41:30
					HP GUIZAR,A	13			20:49:19		21:40:17
					HP PRADO,G	1G			20:46:18		21:32:49
					HP GONZALEZ,A	1T		20:43:51	20:44:53		21:32:53
					HP PALACIOS,E	31		20:42:25	20:45:57		21:03:56
					HP RODRIGUEZ,CAR	32		20:42:23	20:45:44		22:00:46
					HP GUERRERO,E	3G		20:44:36	20:46:11		21:32:45
					HP CHACON,C	3S			20:49:08		21:32:43
					HP STAAL,G	4G			20:46:16		21:32:47
150511-0087											
	ARR	.	05/11/2015	20:34:14	FREDDIE TORRES						
			415S		3256 E GAGE AV, HTG PK						
					HP FARMER,G	*11		20:37:10	20:38:39		21:01:02
					HP FUENTES,M	14		20:37:13	20:37:51	20:47:09	21:56:32
											22:04:09

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time									
						Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp			
				Code	Complaint	Dep	Officer	Unit							
150722-0105															
	COMP 13	.	07/22/2015	22:01:44											
			FU		3256 E GAGE AV, HTG PK										
						HP	VALLE,F	*13			22:01:44				22:04:50
150724-0055															
	ARR	.	07/24/2015	17:08:26	FREDDIE										
	RPT		FU		3256 E GAGE AV, HTG PK										
						HP	NAVIA,M	*3S		17:10:12	17:11:20				17:34:39
						HP	PRADO,G	1G			17:23:05				17:34:35
						HP	FUENTES,M	31		17:10:36	17:11:46				19:15:26
						HP	RODRIGUEZ,SAU	33		17:10:17	17:13:40				17:34:42
						HP	LOZANO,HUMBEF	34		17:10:34	17:15:22				19:59:39
						HP	GUERRERO,E	3G			17:23:08				17:34:37
150724-0066															
	LOG	.	07/24/2015	18:48:05											
			FU		3256 E GAGE AV, HTG PK										
						HP	PRADO,G	*1G			18:48:05				19:01:02
150805-0001															
	COMP 12	.	08/05/2015	00:19:09											
			SUBP		3256 E GAGE AV, HTG PK										
						HP	MARQUEZ,A	*12	00:20:36	00:38:51	00:40:29				00:50:26
150821-0005															
	ARR	.	08/21/2015	01:38:54											
	RPT		FU		3256 E GAGE AV, HTG PK										
						HP	MARQUEZ,A	*12			01:38:54				03:32:02
						HP	BARILLAS,R	11	01:55:07	01:56:33	03:11:53			02:32:07	03:32:02
						HP	CURIEL,RICK	13			01:39:20				03:24:10
						HP	LOPEZ,D	14		01:56:35					02:34:51
						HP	CHACON,C	1S			01:39:11				03:24:07
150821-0010															

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Code	Complaint	Caller	Address	Unit Time					
								Dep	Officer	Unit	Dispatch	Enroute	OnScene
151010-0074													
ADV	32	.	10/10/2015	16:54:47	FREDDY TORRES								
GOA	32		415S		3256 E GAGE AV, HTG PK								
					HP	RODRIGUEZ,SAU	32		16:58:09		17:02:25		17:04:42
151012-0095													
ADV		.	10/12/2015	21:43:17	TORRES FREDDY								
			FU		3256 E GAGE AV, HTG PK								
					HP	DIAZ,MARIO	*14		21:47:11		21:49:34		21:53:01
					HP	DURAN,S	31		21:47:13		21:50:43		21:53:01
151015-0103													
ADV	12	.	10/15/2015	22:36:36	ALFREDO GARCIA								
ADV			415C		3256 E GAGE AV, HTG PK								
SOW													
					HP	LOPEZ,D	*14	22:38:39		22:39:14			23:22:27
					HP	RENDON,A	11			22:39:30			22:45:57
					HP	MARQUEZ,A	12		22:53:55		22:40:25		23:22:26
151016-0091													
ADV		.	10/16/2015	22:38:27	FREDDY TORRES								
SOW			415C		3256 E GAGE AV, HTG PK								
					HP	LOPEZ,D	*14	22:42:53			22:47:21		23:07:52
					HP	RENDON,A	11			22:43:19		22:44:45	
					HP	MARQUEZ,A	12				22:49:16		23:07:52
					HP	PARSA,M	13A		22:47:35		22:50:55		23:07:52
					HP	FUENTES,M	31		22:47:44		22:47:53		23:07:53
					HP	LOZANO,HUMBEF	34		22:47:51		22:50:53		23:07:53
151020-0098													
COMP		.	10/20/2015	22:21:47									
			FU		3256 E GAGE AV, HTG PK								
					HP	LISNER	*GS				22:21:50		22:30:22
					HP	GUERRERO,E	3G				22:22:12		22:30:21
					HP	ARREDONDO	5G				22:22:14		22:30:22

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time				
						Dispatch	Enroute	OnScene	Depart	Arrive
Dep	Officer	Unit								
151021-0059										
ARR	.		10/21/2015	14:04:08						
RPT			CSU		3256 E GAGE AV, HTG PK					
						Department	OCA Number	RMS Juris		
						HP	15-05675	CA0193100		
			HP	BOJORQUEZ,M	*24		14:05:19			14:30:42
			HP	CURIEL,RICK	E1		14:51:51			21:25:58
			HP	MARETTI,R	ES		14:13:09			14:30:43
151224-0002										
UTL	15	.	12/24/2015	00:28:37	MARTHA MESA					
			166		3256 E GAGE AV, HTG PK					
			HP	VALLE,F	*15		00:32:09	00:34:40		00:44:58
			HP	MARQUEZ,A	12		00:32:57	00:36:07		00:44:57
			HP	PARSA,M	13		00:32:09	00:34:18		00:44:57
151227-0003										
RPT	14	.	12/27/2015	00:20:51	MEZA MARTHA					
			166		3256 E GAGE AV, HTG PK					
						Department	OCA Number	RMS Juris		
						HP	15-07018	CA0193100		
			HP	LEE,H	*13		00:26:03	00:31:19		01:06:12
			HP	DIAZ,MARIO	14		00:26:28	00:33:15		01:06:13
			HP	MARES,J	15		00:35:22	00:36:15		01:06:13
160103-0046										
ADV	22	.	01/03/2016	15:24:53	FREDDY					
SOW	22		415S		3256 E GAGE AV, HTG PK					
			HP	MENDOZA,M	*24	15:29:37	15:29:57			15:31:23
			HP	RODRIGUEZ,CAR	22		15:30:37	15:31:54		15:40:11
			HP	WASIK,C	25	15:29:38	15:29:57			15:31:23
			HP	GUIZAR,A	33		15:30:37	15:32:59		15:40:12
160117-0076										
GOA	.		01/17/2016	17:40:35	SECURITY - MALE					
			HS		3256 E GAGE AV, HTG PK					

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Code	Complaint	Caller	Address	Unit Time												
								Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp			
160122-0097																				
	LOG	.	01/22/2016		REPO	TONY - THUMBLE RECOVERY	3256 E GAGE AV, HTG PK													
160206-0002																				
	SOW	.	02/06/2016		647F	FREDDY	3256 E GAGE AV, HTG PK													
						HP SPINDOLA,C		*14	00:24:26		00:26:32									00:37:48
						HP PARSA,M		13	00:24:06		00:26:32									00:37:47
160218-0086																				
	DET	.	02/18/2016		CODE5		3256 E GAGE AV, HTG PK													
						HP PORRAS,J		*E2	18:49:40		18:49:47									21:52:35
160220-0035																				
	ADV	.	02/20/2016		ADVISAL	GONZALEZ JAVIER	3256 E GAGE AV, HTG PK													
						HP NAVIA,M		*25	10:22:46		10:30:55									10:31:03
160305-0101																				
	OK	13	03/05/2016		415F	JOSE	3256 E GAGE AV, HTG PK													
						HP LEE,H		*13	22:39:02		22:42:16									22:46:04
						HP MACIAS,J		31	22:39:43											22:46:04
						HP INOUYE,D		32	22:39:03											22:46:05
160311-0063																				
	CITE	.	03/11/2016		CODE5		3256 E GAGE AV, HTG PK													
	IMP																			
						HP STAAL,G		*4G		18:43:52										18:44:46
						HP GUIZAR,A		13		21:16:11										21:53:20
						HP CERVANTES,O		D2		21:16:07										22:07:20

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time				
						Dispatch	Enroute	OnScene	Depart	Arrive
160423-0103										
ADV	12	.	04/23/2016	23:26:24						
OK	12		415		3256 E GAGE AV, HTG PK					
				HP	ABRAHAM,S	15		23:29:56		23:39:59
				HP	RODRIGUEZ,SAU	32	23:31:09	23:31:21		23:39:59
				HP	MENDOZA,M	X2		23:33:02		23:39:59
160603-0080										
ADV	14	.	06/03/2016	20:42:50						
			CE		3256 E GAGE AV, HTG PK					
				HP	SPINDOLA,C	*14		20:42:50		20:46:22
160709-0092										
ARR		.	07/09/2016	22:27:24	ANDREW					
RPT			417GUN		3256 E GAGE AV, HTG PK					
				HP	FUENTES,M	*14	22:28:31	22:30:36	23:06:37	23:10:34
				HP	NIJLAND,P	12A		22:38:37		22:45:33
				HP	ANDRADE,H	13A	22:30:31	22:31:55		23:47:19
				HP	CHACON,C	1S	22:29:40	22:34:24		23:47:19
				HP	MACIAS,J	31	22:29:05	22:29:54		23:47:20
160710-0087										
LOG	13A	.	07/10/2016	22:48:25						
			FU		3256 E GAGE AV, HTG PK					
				HP	ANDRADE,H	*13A		22:48:25		22:52:43
160711-0095										
LOG		.	07/11/2016	21:17:02						
			FU		3256 E GAGE AV, HTG PK					
				HP	ANDRADE,H	*13A		21:17:04		21:33:56
160730-0103										
ADV	14A	.	07/30/2016	23:40:34	RICHARD					
			415M		3256 E GAGE AV, HTG PK					
				HP	DURAN,S	*14A	00:01:33	00:01:38	00:02:12	00:06:17

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time							
						Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp	
			Code	Complaint	Dep	Officer	Unit						
170209-0077													
	RPT	.	02/09/2017	16:32:45									
			CSU		3256 E GAGE AV, HTG PK								
						HP	MARETTI,R	*ES					
									16:32:47				17:03:04
170304-0117													
	CITE	12	03/04/2017	23:07:10									
			VEH CK		3256 E GAGE AV, HTG PK								
						HP	DURAN,S	*12					
									23:07:10				23:13:08
170304-0118													
	CITE	12	03/04/2017	23:13:34									
			PKG		3256 E GAGE AV, HTG PK								
						HP	DURAN,S	*12					
									23:13:34				23:19:17
170305-0084													
	CITE	11	03/05/2017	22:20:33									
			VEH CK		3256 E GAGE AV, HTG PK								
						HP	CORONEL,M	*11					
									22:20:33				22:27:13
170415-0092													
	UTL	.	04/15/2017	23:01:45	REFUSED								
			417GUN		3256 E GAGE AV, HTG PK								
						HP	SCHWARTZMAN,I	*13		23:07:48	23:11:34		23:18:14
						HP	PEREZ,T	14		23:07:49	23:11:43		23:18:15
						HP	NIJLAND,P	15		23:08:09	23:11:05		23:18:15
						HP	CURIEL,RICK	1S			23:11:31		23:18:15
170522-0001													
	CITE	.	05/22/2017	00:03:08									
			PKG		3256 E GAGE AV, HTG PK								
						HP	CORONEL,M	*11					
									00:03:08				00:08:17
170610-0011													

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/03/2015

Jurisdiction: HPPD

Last Date: 06/11/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time						
						Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
				Dep	Officer	Unit						
170610-0011												
NRD	.		06/10/2017	00:28:03	VERNON PD							
			242R		3256 E GAGE AV, HTG PK							
				HP	ANDRADE,H	*11	00:32:57	00:35:40				01:00:40
				HP	NICHOLS,N	13	00:32:59	00:38:03				01:00:41
170611-0083												
CITE	.		06/11/2017	23:51:18								
			VEH CK		3256 E GAGE AV, HTG PK							
				HP	CORONEL,M	*11		23:51:18				23:58:02
				HP	DURAN,S	12		23:51:30				23:58:02

* Denotes Primary Unit

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Code	Complaint	Caller	Address	Unit Time												
								Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp			
150110-0009																				
RPT	.		01/10/2015	02:49:02		VILLALOBOS MARICELA														
			211R			E GAGE AV // NEWELL ST, HTG PK														
							HP	MARES,J		*12		03:25:36	03:32:09							04:05:46
150129-0037																				
ADV	24	.	01/29/2015	10:20:45		LOPEZ CESAR														
			GTAR			E GAGE AV // NEWELL ST, HTG PK														
							HP	BOJORQUEZ,M		*24	10:25:13		10:26:58							11:04:48
150130-0012																				
RPT	24	.	01/30/2015	07:49:05																
			GTAR			E GAGE AV // NEWELL ST, HTG PK														
							HP	BOJORQUEZ,M		*24			07:51:00							08:34:26
150206-0097																				
OK	6G	.	02/06/2015	23:09:05																
SOW	6G		PED			E GAGE AV // NEWELL ST, HTG PK														
							HP	LEE,H		*6G			23:09:05							23:20:26
							HP	PRADO,G		1G			23:09:43							23:20:25
							HP	GUTIERREZ,J		2G			23:09:44							23:20:25
							HP	GUERRERO,E		3G	23:09:48									23:20:26
							HP	STAAL,G		4G	23:09:48									23:20:26
150207-0029																				
ADV	.		02/07/2015	06:47:03																
			ADVISAL			E GAGE AV // NEWELL ST, HTG PK														
							HP	GUIZAR,A		*13			06:47:03							06:50:12
							HP	NIJLAND,P		22			06:47:06							06:50:12
							HP	MARQUEZ,A		24	06:47:39									06:50:12
150214-0094																				
ASST	14	.	02/14/2015	22:30:48		MCDONALD'S RESTAURANTS														
			242			E GAGE AV // NEWELL ST, HTG PK														
							HP	FUENTES,M		*14	22:32:53	22:42:46								23:14:39

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Last Date: 05/16/2017

Jurisdiction: HPPD

Call Number	Disp	Ten	Received	Caller	Address	Unit Time				
						Dispatch	Enroute	OnScene	Depart	Arrive
150214-0094										
ASST	14	.	02/14/2015	22:30:48	MCDONALD'S RESTAURANTS E GAGE AV // NEWELL ST, HTG PK					
			242			HP	LEE,H	33	22:32:54	22:58:47
150220-0072										
RPT	33	.	02/20/2015	15:25:26	E GAGE AV // NEWELL ST, HTG PK					
			242R			HP	WELP,D	*33	15:25:28	15:39:08
									Department HP	OCA Number 15-00999
									RMS Juris CA0193100	
150223-0045										
ARR		.	02/23/2015	13:47:54	E GAGE AV // NEWELL ST, HTG PK					
RPT			PED			HP	MARQUEZ,A	*24	13:47:54	14:17:43
						HP	GARCIA,C	23	13:48:04	14:17:42
150326-0066										
ADV	32	.	03/26/2015	14:54:48	E GAGE AV // NEWELL ST, HTG PK					
			Traffic Stop			HP	RODRIGUEZ,CAR	*32	14:54:48	14:59:55
						HP	GONZALEZ,A	1T	14:55:06	14:55:47
150503-0011										
ADV		.	05/03/2015	01:43:19	E GAGE AV // NEWELL ST, HTG PK					
			Traffic Stop			HP	DURAN,S	*12	01:43:19	01:46:30
						HP	SPINDOLA,C	13	01:43:22	01:46:31
150512-0069										
ADV		.	05/12/2015	17:34:53	JOSE RUIZ E GAGE AV // NEWELL ST, HTG PK					
			211			HP	RODRIGUEZ,CAR	*32	17:38:03	17:54:39
						HP	WELP,D	33	17:38:06	17:54:40
150527-0038										

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Code	Complaint	Caller		Unit Time								
						Address		Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp		
						Dep	Officer	Unit								
150527-0038																
	RPT	CC	.	05/27/2015	10:34:36		KAREN TIRADO									
				LOST PROP			E GAGE AV // NEWELL ST, HTG PK									
						HP	DISPATCH3	*CC				10:40:38				10:40:51
150601-0094																
	GOA		.	06/01/2015	21:40:47		ANON									
				CW			E GAGE AV // NEWELL ST, HTG PK									
						HP	DURAN,S	*12		21:44:36					21:45:09	
						HP	FUENTES,M	14		21:45:15					21:50:36	
						HP	VALLE,F	15		21:45:07	21:50:33					21:50:50
150623-0034																
	Comp		.	06/23/2015	09:54:54											
				170			E GAGE AV // NEWELL ST, HTG PK									
						HP	LOZANO,J	*W8				09:54:55				11:31:34
150721-0102																
	RPT	11	.	07/21/2015	23:20:39		TORRES FREDDY									
				245			E GAGE AV // NEWELL ST, HTG PK									
						HP	RENDON,A	*11	23:21:33	23:22:24	23:24:08					23:47:11
						HP	MARQUEZ,A	12		23:22:02	23:24:15					23:47:11
						HP	LOPEZ,D	14		23:34:51						23:47:11
						HP	CHACON,C	1S			23:26:09					23:47:11
						HP	NAVIA,M	3S		23:23:06	23:23:52				23:37:19	
150724-0029																
	RPT		.	07/24/2015	10:57:11		ERNESTO									
				242R			E GAGE AV // NEWELL ST, HTG PK									
						HP	MARES,J	*24		11:10:10	11:15:51					11:48:16
						HP	PARRA,C	22		11:10:13	11:14:56					11:48:17
150903-0060																
	ADV		.	09/03/2015	13:53:12											
				Traffic Stop			E GAGE AV // NEWELL ST, HTG PK									

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time					
						Dispatch	Enroute	OnScene	Depart	Arrive	Remove
			Code	Complaint	Dep	Officer	Unit				
150903-0060											
ADV	.		09/03/2015	13:53:12	E GAGE AV // NEWELL ST, HTG PK						
			Traffic Stop			HP	PRADO,G	*1G	13:53:15		14:28:03
150918-0094											
ADV	.		09/18/2015	23:26:26	E GAGE AV // NEWELL ST, HTG PK						
SOW			PED			HP	GUTIERREZ,J	*2G	23:26:26		23:34:15
						HP	GUERRERO,E	3G	23:26:40		23:34:15
151009-0010											
RPT	21	.	10/09/2015	08:25:49	ADRIANA VIDAL						
			459VR		E GAGE AV // NEWELL ST, HTG PK						
						HP	CARLOS,E	*21	08:27:54	08:33:45	09:10:37
										Department	OCA Number
										HP	15-05411
											RMS Juris
											CA0193100
											08:41:48
151009-0013											
ASST	21	.	10/09/2015	08:41:46	E GAGE AV // NEWELL ST, HTG PK						
			MEDICAL AID								
						HP	CARLOS,E	*21	08:41:50		08:51:03
						HP	CASTRO,S	25	08:45:58		08:51:03
										Department	OCA Number
										HP	15-05413
											RMS Juris
											CA0193100
151017-0045											
ADV	.		10/17/2015	14:09:14	BRENDA PEREZ						
			415S		E GAGE AV // NEWELL ST, HTG PK						
						HP	RODRIGUEZ,CAR	*22	14:11:34	14:13:22	15:08:08
						HP	GARCIA,C	23	14:11:36		15:08:08
151023-0064											
FI	.		10/23/2015	20:14:23	E GAGE AV // NEWELL ST, HTG PK						
			PRCS								
						HP	PRADO,G	*1G	20:14:25		20:27:06
						HP	LISNER	GS	20:16:28		20:27:07
151113-0059											

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time						
						Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart
160210-0053												
RPT	.		02/10/2016	14:39:59	NATALY E GAGE AV // NEWELL ST, HTG PK							
			243.4R									
						HP	GUERRERO,E	*3G	14:42:18			14:42:37
						HP	WELP,D	23		14:45:16	14:51:12	16:03:57
						HP	CASTRO,S	24	14:42:47		14:48:09	16:04:49
						HP	LISNER	GS		14:43:30		14:45:09
160330-0067												
UTL	5p	.	03/30/2016	18:26:54	MARIA E GAGE AV // NEWELL ST, HTG PK							
			PKG									
						HP	LECATO,ELIZABE	*5p		18:52:30	18:56:47	19:05:05
160402-0037												
RPT	.		04/02/2016	14:10:41	LASO E GAGE AV // NEWELL ST, HTG PK							
IMP			TC 20002R									
						HP	NAVIA,M	*25		14:39:58	14:47:33	15:18:23
						HP	PALACIOS,E	21		14:50:57	14:56:51	15:18:22
160415-0038												
CITE	2T	.	04/15/2016	12:21:10	E GAGE AV // NEWELL ST, HTG PK							
			PED									
						HP	FARMER,G	*2T			12:21:11	12:34:33
160503-0062												
ADV	12	.	05/03/2016	22:08:58	E GAGE AV // NEWELL ST, HTG PK							
SOW	12		PED									
						HP	CARLOS,E	*12			22:08:58	22:18:51
						HP	GUIZAR,A	13	22:09:02			22:18:51
160506-0063												
RPT	31	.	05/06/2016	19:29:08	WENDY REYES E GAGE AV // NEWELL ST, HTG PK							
			417KNIFE									
						HP	BOJORQUEZ,M	*31	19:32:29		19:35:37	20:11:23

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Code	Complaint	Caller	Address	Unit Time				
								Dep	Officer	Unit	Dispatch	Enroute
161002-0006												
ADV	14	.	10/02/2016	00:55:10	JESSICA							
SOW	14		415D		E GAGE AV // NEWELL ST, HTG PK							
VERB	14											
					HP ANDRADE,H	*14		00:57:28	00:59:45			01:06:53
					HP CARLOS,E	12		00:57:29			00:58:04	01:06:53
					HP RODRIGUEZ,SAU	32		00:58:13	01:00:54			01:06:53
161105-0080												
RPT	12	.	11/05/2016	19:39:59	FEMALE ANON							
			TC INJURY		E GAGE AV // NEWELL ST, HTG PK							
					HP NIJLAND,P	*12		19:40:34	19:41:02			20:14:15
					HP CARLOS,E	13		19:40:34				20:14:15
					HP RODRIGUEZ,SAU	32		19:40:35	19:41:19			20:14:15
161122-0069												
OK		.	11/22/2016	20:55:44								
SOW			PED		E GAGE AV // NEWELL ST, HTG PK							
					HP THORESON,S	*3S			20:56:06			21:09:13
					HP SPINDOLA,C	31			20:58:07			21:09:12
					HP SOBERANIS,E	33			20:58:29			21:09:13
161206-0004												
ADV	11	.	12/06/2016	00:47:19								
SOW	11		PED		E GAGE AV // NEWELL ST, HTG PK							
					HP CORONEL,M	*11			00:47:19			00:53:36
					HP CARLOS,E	13		00:47:37	00:52:48			00:53:36
161207-0067												
LOG		.	12/07/2016	14:52:03	DAVE							
			170		E GAGE AV // NEWELL ST, HTG PK							
161207-0083												

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/10/2015

Jurisdiction: HPPD

Last Date: 05/16/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time					
						Dep	Officer	Unit	Dispatch	Enroute	OnScene
170514-0108											
OK	12A	.	05/14/2017	23:20:03	MANUEL						
UTL	12A		DWN		E GAGE AV // NEWELL ST, HTG PK						
					HP PEREZ,T	31A			23:23:42		23:34:33
170516-0084											
FI		.	05/16/2017	22:36:30	ANGEL ARANDIA						
			415S		E GAGE AV // NEWELL ST, HTG PK						
					HP CARLOS,E	*12		22:39:13	22:41:48		23:00:45
					HP NICHOLS,N	13		22:39:15	22:43:30		23:00:45

* Denotes Primary Unit

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time						
						Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart
150429-0081												
ADV	32	.	04/29/2015	17:02:56	NEWELL ST // GAGE AV, HTG PK							
			PED			HP	RODRIGUEZ,CAR	*32			17:02:56	17:08:02
150601-0027												
CITE		.	06/01/2015	09:59:57	NEWELL ST // GAGE AV, HTG PK							
			PED			HP	NAVIA,M	*25			09:59:57	10:12:27
						HP	MENDOZA,M	22	10:00:35			10:12:27
150715-0028												
FI	24	.	07/15/2015	08:58:45	NEWELL ST // GAGE AV, HTG PK							
SOW	24		PED			HP	BOJORQUEZ,M	*24			08:58:46	09:20:00
						HP	PARRA,C	22	08:58:52			09:19:59
						HP	PORRAS,J	26			09:03:40	09:20:00
						HP	ALPIZAR,GABRIE	D5	09:00:33			09:20:01
150718-0097												
ADV	33	.	07/18/2015	21:40:14	NEWELL ST // GAGE AV, HTG PK							
			FLAG			HP	PARSA,M	*33			21:40:14	21:45:40
150719-0062												
ADV	33	.	07/19/2015	16:02:54	NEWELL ST // GAGE AV, HTG PK							
			PED			HP	PARSA,M	*33			16:02:54	16:15:55
						HP	RODRIGUEZ,SAU	32	16:02:56			16:15:54
150726-0063												
ADV		.	07/26/2015	14:02:46	PEREZ IRMA							
SOW	24		HS		NEWELL ST // GAGE AV, HTG PK							
						HP	MENDOZA,M	*24	14:20:39			14:22:08
						HP	WASIK,C	25	14:20:42			14:22:12

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time						
						Dispatch	Enroute	OnScene	Depart	Arrive	Remove	Comp
			Code	Complaint	Dep	Officer	Unit					
150726-0063												
ADV	.		07/26/2015	14:02:46	PEREZ IRMA							
SOW	24		HS		NEWELL ST // GAGE AV, HTG PK							
					HP	RODRIGUEZ,SAU	32		14:22:06			14:43:32
					HP	GUIZAR,A	33		14:22:04	14:36:11		14:43:32
150729-0061												
ADV	.		07/29/2015	18:58:23	ARRANDIA ANGEL							
SOW			415S		NEWELL ST // GAGE AV, HTG PK							
					HP	LOZANO,HUMBEF	*34		19:01:23	19:04:10		19:05:48
					HP	DURAN,S	32		19:01:26			19:05:48
150831-0067												
ARR	33	.	08/31/2015	14:44:42								
RPT	33		PED		NEWELL ST // GAGE AV, HTG PK							
					HP	GUIZAR,A	*33		14:44:42	15:02:27		15:14:04
					HP	MAGALLANES,M	31		14:53:35		15:02:33	
150902-0046												
REC	.		09/02/2015	13:37:50								
			REC		NEWELL ST // GAGE AV, HTG PK							
					HP	RODRIGUEZ,DA	*7P		13:37:50			14:09:30
150929-0036												
RPT	.		09/29/2015	10:48:30	OSCAR EFRAIN DE LEON ARANGO							
			459VR		NEWELL ST // GAGE AV, HTG PK							
					HP				15:02:18			CA0193100
160215-0047												
RPT	.		02/15/2016	17:52:45	SGT. THORESON							
			TC NON-INJ		NEWELL ST // GAGE AV, HTG PK							
					HP	MENDOZA,M	*3T		18:02:54	18:11:08		18:35:49
160305-0057												

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Jurisdiction: HPPD

Last Date: 05/09/2017

Call Number	Disp	Ten	Received	Caller	Address	Unit Time						
						Dep	Officer	Unit	Dispatch	Enroute	OnScene	Depart
160305-0057												
ASST	.		03/05/2016	15:11:19								
INFX			TC NON-INJ		NEWELL ST // GAGE AV, HTG PK							
					HP WASIK,C	*24		15:12:18	15:16:44			15:40:49
160312-0012												
ADV	.		03/12/2016	02:19:57	JUANITA							
SOW			CW		NEWELL ST // GAGE AV, HTG PK							
VERB					HP SPINDOLA,C	*14		02:24:28	02:26:32			02:46:43
					HP GUIZAR,A	13		02:24:29	02:25:50			02:46:43
160320-0016												
ARR	13	.	03/20/2016	01:49:23								
RPT			Traffic Stop		NEWELL ST // GAGE AV, HTG PK							
					HP THORESON,S	*1S			01:49:24			02:15:23
					HP CARLOS,E	12			02:11:52			02:30:55
					HP FARMER,G	13		01:49:33	01:52:32			03:06:32
160331-0001												
ADV	12	.	03/31/2016	00:06:55								
			PED		NEWELL ST // GAGE AV, HTG PK							
					HP CARLOS,E	*12			00:06:59			00:12:18
160425-0026												
UTL	.		04/25/2016	09:27:56								
			SEC CK		NEWELL ST // GAGE AV, HTG PK							
					HP RODRIGUEZ,CAR	*22		09:38:07	09:45:03			09:49:21
					HP NAVIA,M	25		09:38:45	09:45:05			09:49:21
160521-0007												
REC	12	.	05/21/2016	01:05:08	MARIO CHACON							
IMP	12		TC 20002		NEWELL ST // GAGE AV, HTG PK							
RPT	12											

Huntington Park Police Department

Call Log Report Type All Unit Times and Location with OCA's

First Date: 01/21/2015

Last Date: 05/09/2017

Jurisdiction: HPPD

Call Number	Disp	Ten	Received	Caller	Address	Unit Time					
						Dispatch	Enroute	OnScene	Depart	Arrive	Remove
170225-0088											
ARR	.		02/25/2017	19:34:41	MAYRA						
RPT			415S		NEWELL ST // GAGE AV, HTG PK						
						<i>Department</i>	<i>OCA Number</i>	<i>RMS Juris</i>			
						HP	17-01104	CA0193100			
					HP SOBERANIS,E	*14	19:38:07	19:38:56	19:43:13		19:47:57
					HP ANDRADE,H	13	19:38:08	19:38:55	19:41:57		20:23:53
					HP INOUYE,D	X1			19:42:36		19:47:59
170408-0089											
CITE	.		04/08/2017	22:14:13							
			Traffic Stop		NEWELL ST // GAGE AV, HTG PK						
					HP DURAN,S	*12			22:14:14		22:23:29
170509-0101											
CITE	12	.	05/09/2017	23:47:06							
IMP			Traffic Stop		NEWELL ST // GAGE AV, HTG PK						
					HP CARLOS,E	*12			23:47:06		00:31:36
					HP HENRIQUEZ,R	14	23:47:57	23:51:05		00:20:15	

* Denotes Primary Unit

**ALCOHOLIC BEVERAGE CONTROL
CONDITIONS OF APPROVAL**

EXHIBIT C

BEFORE THE
DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL
OF THE STATE OF CALIFORNIA

IN THE MATTER OF THE APPLICATION OF

JAVIER SANCHEZ GONZALEZ
CLUB 21
3256 E GAGE AVE
HUNTINGTON PARK, CA 90255-5442

} FILE 42-571381
}
} REG.
}

} PETITION FOR CONDITIONAL
} LICENSE

For Issuance of an On-Sale Beer And Wine - Public
Premises - License

Under the Alcoholic Beverage Control Act

WHEREAS, petitioner(s) has/have filed an application for the issuance of the above-referred-to license(s) for the above-mentioned premises; and,

WHEREAS, the proposed premises and/or parking lot, operated in conjunction therewith, are located within 100 feet of residences(s); and,

WHEREAS, issuance of the applied-for license without the below-described conditions would interfere with the quiet enjoyment of the property by nearby residents and constitute grounds for the denial of the application under the provisions of Rule 61.4, of Chapter 1, Title 4, of the California Code of Regulations; and,

WHEREAS, the premises to be licensed is located in an area in which there is a significant law enforcement problem; and,

WHEREAS, the issuance of an unrestricted license would be contrary to public welfare or morals;

NOW, THEREFORE, the undersigned petitioner(s) do/does hereby petition for a conditional license as follows, to-wit:

- 1 Sales, service and consumption of alcoholic beverages shall be permitted only between the hours of 10am to 12midnight, each day of the week.
- 2 No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee(s) as depicted on the ABC-257 and ABC-253 dated 6/30/2016.
- 3 The petitioner(s) shall be responsible for maintaining free of litter the area adjacent to the premises over which they have control, as depicted on the ABC-257 and ABC-253 dated 6/30/2016.
- 4 Any graffiti painted or marked upon the premises or on any adjacent area under the control of the licensee(s) shall be removed or painted over within 72 hours of being applied.
- 5 No "happy hour" type or reduced price alcoholic beverage promotion shall be allowed.

JSG
Initials

RECORDED

21

Petitioner

JAN 21 2016

Licensee

- 6 There shall be no dancing allowed on the premises.
- 7 There shall be no amusement machines or video game devices in the premises at any time.
- 8 The rear/side doors of the premises shall be equipped on the inside with an automatic locking device and shall be closed at all times, and shall not be used as a means of access by patrons to and from the licensed premises. Temporary use of these doors for delivery of supplies does not constitute a violation.
- 9 Entertainment provided shall not be audible beyond the area under the control of the licensee(s) as defined on the ABC-257 and ABC-253 dated 6/30/2016.
- 10 There shall be no live entertainment of any type, including but not limited to live music, disc jockey, topless entertainment, male or female performers or fashion shows. Karaoke is not deemed a violation of this condition.
- 11 The parking lot of the premises shall be equipped with lighting of sufficient power to illuminate and make easily discernible the appearance and conduct of all persons on or about the parking lot. Additionally, the position of such lighting shall not disturb the normal privacy and use of any neighboring residences.
- 12 There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.
- 13 Loitering is prohibited on or around these premises or this area under the control of the licensee(s) as depicted on the ABC-257 and ABC-253 dated 6/30/2016.
- 14 No employee or agent shall be permitted to accept money or any other thing of value from a customer for the purpose of sitting or otherwise spending time with customers while in the premises, nor shall the licensee(s) provide or permit, or make available either gratuitous or for compensation, male or female persons who act as escorts, companions, or guests of and for the customers.
- 15 No employee or agent shall solicit or accept any alcoholic or non-alcoholic beverage from any customer while in the premises.

This petition for conditional license is made pursuant to the provisions of Sections 23800 through 23805 of the Business and Professions Code and will be carried forward in any transfer at the applicant-premises.

Petitioner(s) agree(s) to retain a copy of this petition on the premises at all times and will be prepared to produce it immediately upon the request of any peace officer.

The petitioner(s) understand(s) that any violation of the foregoing condition(s) shall be grounds for the suspension or revocation of the license(s).

DATED THIS 20 DAY OF October, 2016.

James Saville
Applicant/Petitioner

Applicant/Petitioner

LICENSED PREMISES DIAGRAM (RETAIL)

1. APPLICANT NAME (If individual Last, first, middle)

Gonzalez Javier Sanchez

2. LICENSE TYPE

42

3. PREMISES ADDRESS (Street number and name, city, zip code)

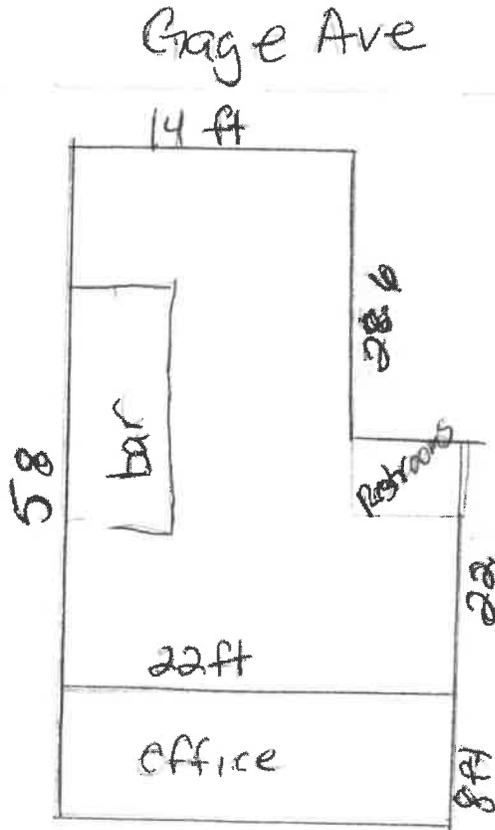
3256 E Gage Ave Huntington Park CA 90255

4. NEAREST CROSS STREET

Newell St

The diagram below is a true and correct description of the entrances, exits, interior walls and exterior boundaries of the premises to be licensed, including dimensions and identification of each room (i.e., "storeroom", "office", etc.).

DIAGRAM



It is hereby declared that the above-described boundaries, entrances and planned operation as indicated on the reverse side, will not be changed without first notifying and securing prior written approval of the Department of Alcoholic Beverage Control. I declare under penalty of perjury that the foregoing is true and correct.

APPLICANT SIGNATURE (Only one signature required)

Javier Sanchez

DATE SIGNED

6/30/16

CERTIFIED CORRECT (Signature)

Angie Rivera

PRINTED NAME

FOR ABC USE ONLY

ANGIE RIVERA

INSPECTION DATE

Completed/Received

1. APPLICANT NAME (If individual, last, first, middle)

Gonzalez Javier Sanchez

2. LICENSE TYPE

42

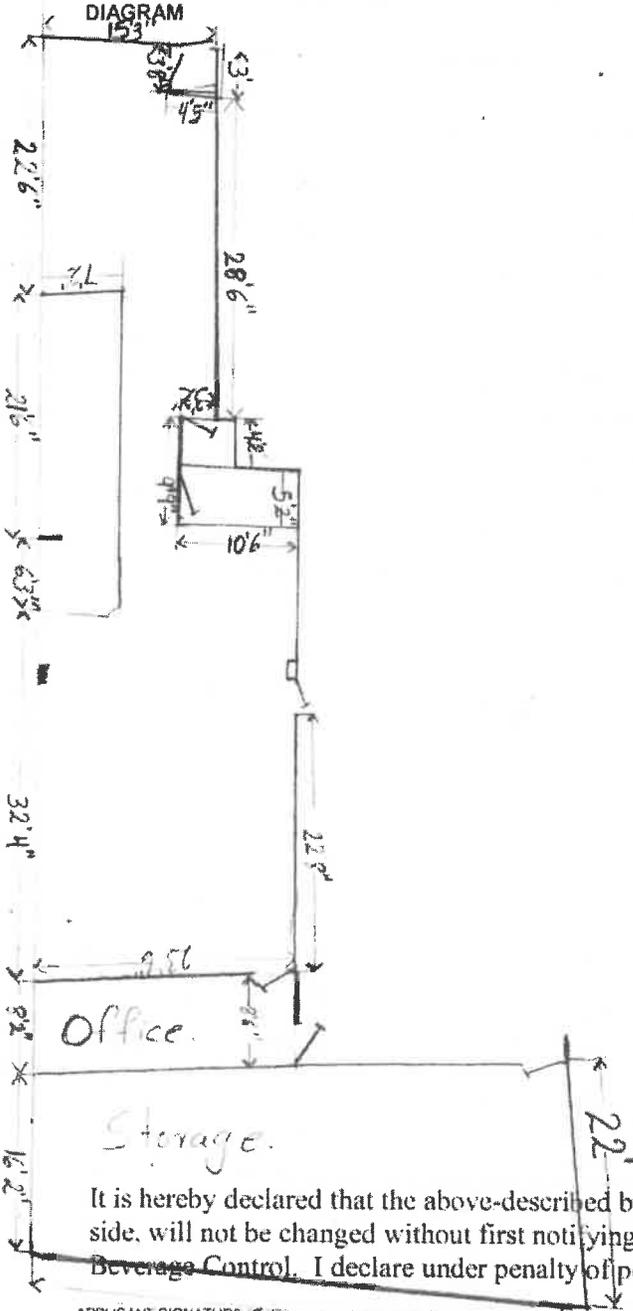
3. PREMISES ADDRESS (Street number and name, city, zip code)

3256 E Gage Ave Huntington Park CA 90255

4. NEAREST CROSS STREET

Newell St.

The diagram below is a true and correct description of the entrances, exits, interior walls and exterior boundaries of the premises to be licensed, including dimensions and identification of each room (i.e., "storeroom", "office", etc.).



It is hereby declared that the above-described boundaries, entrances and planned operation as indicated on the reverse side, will not be changed without first notifying and securing prior written approval of the Department of Alcoholic Beverage Control. I declare under penalty of perjury that the foregoing is true and correct.

APPLICANT SIGNATURE (Only one signature required)

GONZALEZ JAVIER SANCHEZ

48'8"

FOR ABC USE ONLY

DATE SIGNED

6-30-10

CERTIFIED CORRECT (Signature)

PRINTED NAME

INSPECTION DATE

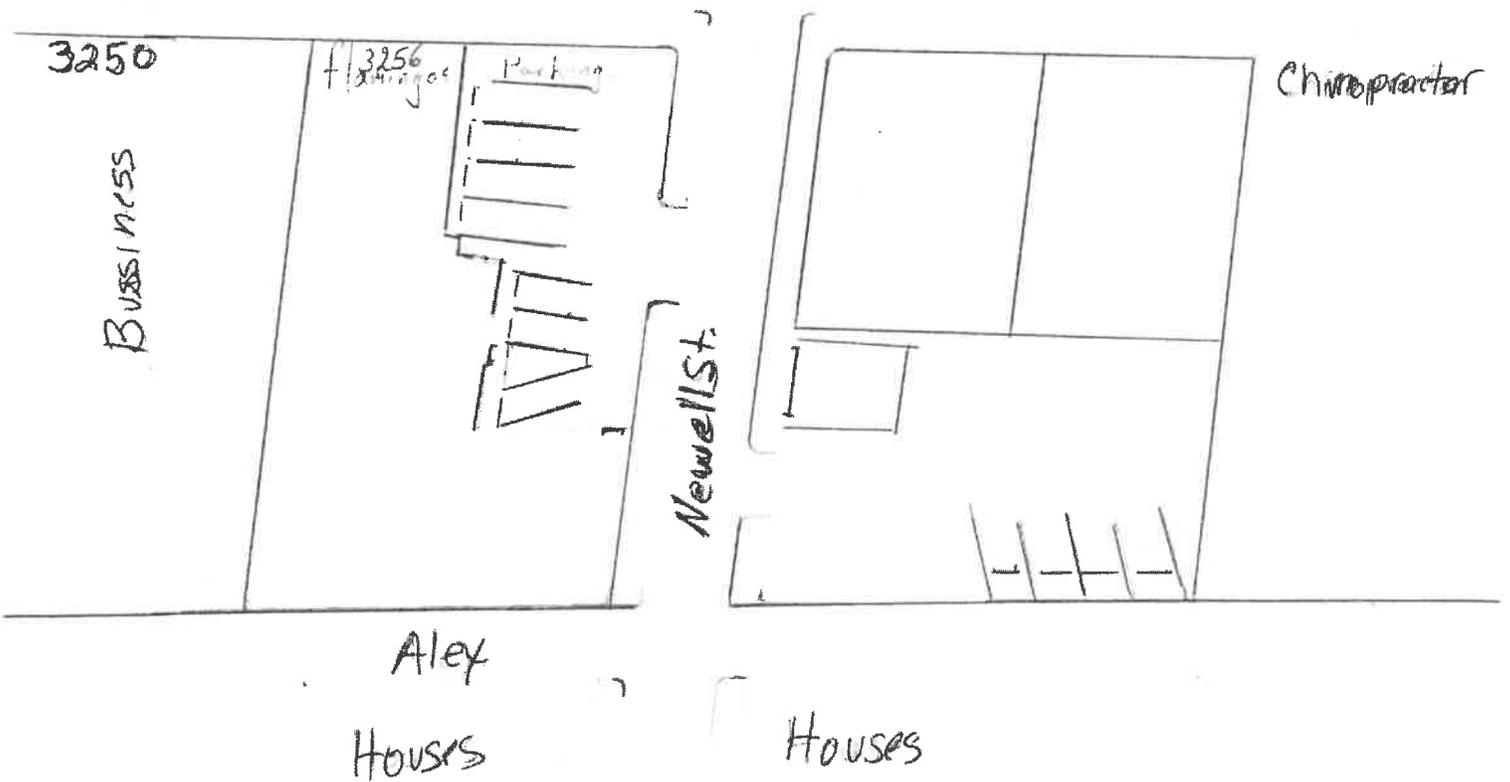
Instructions to Applicant:

Draw a sketch of the area on which the licensed premises is or will be located. Show adjacent structures and nearest cross streets. If this is an event for a daily license, catering authorization or miscellaneous use, show the area where sales and consumption of alcoholic beverages will occur. Post a copy of this diagram with Daily License, Catering Authorization or Event Authorization where the event is held. Sales and consumption of alcoholic beverages must be confined to the area designated in the diagram and supervised to prevent violations of the Alcoholic Beverage Control Act.

1. APPLICANT NAME (Last, first, middle) Gonzalez Javier Sanchez	2. LICENSE TYPE 42
3. PREMISES ADDRESS (Street number and name, city, zip code) 3256 E Gage Ave Huntington Park CA 90055	4. NEAREST CROSS STREET Newell St.

DIAGRAM

Gage Ave



I have read the above instructions and I declare under penalty of perjury that the above diagram is true and correct.

APPLICANT SIGNATURE Gonzalez, Javier Sanchez	DATE SIGNED 6-30-16
--	-------------------------------

CERTIFIED CORRECT (Signature) <i>[Signature]</i>	PRINTED NAME ANGIE RIVERA	INSPECTION DATE Completed/verified
---	-------------------------------------	--

OUT

**BUSINESS PROMOTIONS AND
ADVERTISEMENTS**

EXHIBIT D



Club 21 Bar

June 17 at 7:19pm · 🌐

BANDA REBELDE DE 9PM A 2AM FIERRO

Rebel band from 9 PM TO 2 AM FIERRO

Translated

Venga a celebrar el dia del padre con una rica CARNE ASADA!!! gratis de 5pm a 9pm y despues le tenemos una gran sorpresa a esos papa's. 🌮🌮🌮🌮🌮🌮🌮🌮🍷🍷🍷🍷🍷🍷
3256 E. Gage ave Huntington park, ca 90255





Club 21 Bar

June 17 at 5:51pm · 🌐

Celebrando el dia del padre carne asada gratis todo los Domingos de 5pm a 9pm con La BANDA REBELDE

3256 E. Gage ave Huntington park, ca 90255



Abierto los 7 días de 2pm a 2am

Club 21 Bar empieza con su tardía de
CARNE ASADA GRATIS todo los DOMINGOS!!

CLUB 21 BAR

5PM A 9PM

TODOS LOS DOMINGOS

**CARNE ASADA
GRATIS**

**3256 E. Gage Ave
Huntington Park CA 90255**

Club 21

3256

MGM
CANELO
CHAVEZ
SATURDAY MAY 6, 2017
LIVE ON PAY PER VIEW, 8PM ET / 8PM MT
WATCH IT HERE

GOVERNMENT OF TEXAS
HBO PPV

CANELO
LIVE ON PAY PER VIEW
ESTE SABADO

BUD LIGHT

Hoy carne Asada GRATIS de 5pm a 9pm y el
Juego en pantalla GRANDE tenemos una
SORPRESA despues de el Jugo
3256 E. Gage ave Huntington park, ca 90255
El juego es 5:30pm



CLUB 21 BAR PRESENTA

Noche De Banda

TODOS LOS DOMINGOS



DJ AY PAPEL



3256 E Gage Ave Huntington Park CA 90255

PANCHO RIVAS DEL DURANGO'S BAR

**LOS INVITA A SU NUEVO LUGAR
A PARTIR DE ESTE ENERO 1ro. 2017**

CLUB 21

ANTES EL FLAMINGO'S BAR

3257 E GAGE AVE. ENTRE STATE ST. Y CALIFORNIA AVE, HUNTINGTON, PARK.

!!! GRAN INAUGURACION SABADO 21 ENERO !!!

CON LA PRESENTACION DE

**LOS
INCOMPARABLES
DE TIJUANA**



ADEMAS!!!

LA SONORA DINAMITA

TODOS LOS MIERCOLES
Y DOMINGOS
**BANDA
SINALOENSE**

DE MIERCOLES A DOMINGO
LA MEJOR MUSICA REGIONAL MEXICANA

BETO DJ

AY PAPEL!!!
Y SU SISTEMA DE VIDEO MUSICALES

TENEMOS LAS MEJORES CERVEZAS
IMPORTADAS Y NACIONALES!!!

TE ESPERAMOS TODOS
LOS JUEVES
**MUSICA
NORTENA**

VIERNES MUSICA DE

**ACORDEON
Y TUBA**





Club 21 Bar

Like This Page · May 1 · Edited · 🌐



Happy Hour !! 🍷 de 6 a 8 p.m. todos los Dias
Cerveza 2x5 ... Sabrosas Micheladas Musica y
Diversión Atendidos por Barbie

154 Views

Saldana Loca, Alice Oz, El Daza Daza and 2 others like this.

4 shares





**BUSINESS LICENSE
APPLICATION**

EXHIBIT E



CITY OF HUNTINGTON PARK
 Finance Department | License Division
 6550 Miles Avenue, #127 Huntington Park, CA 90255
 Tel: (323) 584-6232 | Fax: (323) 588-2657
 license@hpca.gov

RECEIVED
 APR 26 2017
 BY: _____

BUSINESS LICENSE APPLICATION

Account No. _____

The Huntington Park Municipal Code requires that all businesses operating in the City obtain a license. It is the responsibility of the applicant to maintain an active business license by renewing each year.

Type of Application:	<input type="checkbox"/> New Business	<input checked="" type="checkbox"/> Change of Ownership
<input type="checkbox"/> Change of Address	<input type="checkbox"/> Change of Business Name	<input type="checkbox"/> Change of Business Description
Type of License:	<input type="checkbox"/> Commercial/Industrial	<input type="checkbox"/> Non-Profit Organization
<input type="checkbox"/> Contractor	<input type="checkbox"/> Home Occupation	<input type="checkbox"/> Property Rental
Type of Ownership:	<input checked="" type="checkbox"/> Sole	<input type="checkbox"/> Partnership
<input type="checkbox"/> LLC	<input type="checkbox"/> Corporation	<input type="checkbox"/> Trust

Business Information	Business Name / DBA <u>Club 21</u>
	Business Address <u>3256 E. Gage Ave</u> City, State, Zip <u>Huntington Park CA 90255</u>
	Mailing Address <u>[REDACTED]</u> City, State, Zip <u>Gilbert AZ 85296</u>
	Business Phone <u>[REDACTED]</u> Email <u>cleantheplanet12@yahoo.com</u>
	Federal ID No. _____ State Tax No. _____
	State Class & License No. _____ Board of Equalization No. _____
Estimated Gross Receipts for First Year of Business _____	

Owners Information	Owner's Name/Corporate Officer <u>Melissa Martinez</u> Date of Birth <u>10/5/90</u>
	Owner's Address <u>[REDACTED]</u> City, State, Zip <u>Gilbert AZ 85296</u>
	Owner's Phone <u>[REDACTED]</u> Email <u>cleantheplanet12@yahoo.com</u>
	Driver's License No. <u>[REDACTED]</u> SSN <u>[REDACTED]</u>
	2 nd Owner's Name _____ Date of Birth _____
	Owner's Address _____ City, State, Zip _____
Owner's Phone _____ Email _____	
Driver's License No. _____ SSN _____	

Business Description	Business operation statement. Include products/services offered or produced as well as any parts of the business that are incidental to the primary use. _____ <u>Bar, beer and wine sale</u>
	Number of Employees <u>3</u> Hours of Operation <u>1pm to 2am</u> Gross Floor Area _____
	Making Tenant Improvements <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Any existing business signs <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Sharing Tenant Space <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, business name <u>Club 21</u>
Status of Business <input type="checkbox"/> Vacant <input type="checkbox"/> Occupied <input checked="" type="checkbox"/> Current Business	



Supplemental	Will the business include any of the following? (Check all that apply)								
	Adult-oriented items or activities	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Cyber cafe	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Pawn brokering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
	Alcohol sales	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Dance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Precious metals purchase	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
	Alcohol/drug counseling	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Entertainment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Restaurant with seating	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
	Auto title loans	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Firearm/weapons sales	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Short-term/payday loans	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
	Banquet facility	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Fortune telling	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Tobacco sales	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
	Check cashing	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Gaming	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Used merchandise	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
	Currency exchange	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Medical marijuana	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Vending machines	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
				Money transfer	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Video machines	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

Affidavit	I hereby certify under penalty of perjury that the information provided herein is to the best of my knowledge and belief, a true and complete statement. I understand that this application is not a license and that no business activity may commence until a business license is issued.	
	Signature <u>[Redacted]</u>	Date <u>4/26/17</u>
Printed Name and Title <u>Melissa Martinez</u>		<u>4/26/17 Owner</u>

If processing by mail please include the following:

- ✓ Completed Application Form
- ✓ All applicable schedules
- ✓ Check payable to City of Huntington Park
- ✓ Mail to the attention of:
City of Huntington Park – Business License Division
6550 Miles Avenue, #127
Huntington Park, CA 90255

PLANNING (OFFICE USE ONLY)		
General Plan: _____	Zone: _____	SIC Code: _____
Previous Use/Business: _____		
Note: _____		
<input type="checkbox"/> Permitted <input type="checkbox"/> Permitted with Entitlement (CUP/DP# _____) <input type="checkbox"/> Pending <input type="checkbox"/> Prohibited		
Planning Approval: _____		Date: _____

BUILDING / FIRE (OFFICE USE ONLY)	
Building Approval: _____	Fire Approval: _____
Date: _____	Date: _____

FINANCE (OFFICE USE ONLY)						
Business License Fee: \$ _____	Occupancy Fee: \$ _____	Misc. Fee: \$ _____	Application Fee: \$ _____	Change of Location Fee: \$ _____	Penalty Fee: \$ _____	Total: \$ <u>0</u>

PC RESOLUTION NO.1459

EXHIBIT F

RESOLUTION NO. 1459

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HUNTINGTON PARK, STATE OF CALIFORNIA, GRANTING A CONDITIONAL USE PERMIT IN CONNECTION WITH REAL PROPERTY LOCATED AT 3256 GAGE AVENUE, HUNTINGTON PARK, CALIFORNIA

WHEREAS, a public hearing was held in the City Hall, 6550 Miles Avenue, Huntington Park, California, on Wednesday, March 4, 1992 at 7:30 p.m., pursuant to the notice published and posted as required by law in accordance with the provisions of the Huntington Park Municipal Code, upon the application from Manuel Arellano, requesting a conditional use permit for on-sale of beer and wine in conjunction with a cocktail lounge located in the Commercial General (C-G) Zone on the following described property:

Assessor's Parcel Number 6323-001-037,
commonly known as 3256 Gage Avenue,
Huntington Park, California, and

WHEREAS, all persons appearing for or against the granting of the conditional use permit were given the opportunity to be heard in connection with said matter; and

WHEREAS, the Planning Commission has considered the environmental impact information relative to the proposed entitlement; and

WHEREAS, the Planning Commission is required to announce its findings and recommendations.

NOW, THEREFORE, THE PLANNING COMMISSION DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS FOLLOWS:

SECTION 1: The Planning Commission determines that the proposed conditional use permit would not have a significant effect on the environment and hereby adopts a Environmental Categorical Exemption.

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1 SECTION 2: The Planning Commission hereby makes the
2 following findings in connections with Conditional Use Permit
3 No. 1459:

4 (A) That the conditional use permit applied for is
5 authorized by the provisions of the Huntington Park Municipal
6 Code;

7 (B) That the granting of such conditional use permit will
8 not adversely affect the established character of the
9 surrounding neighborhood or be injurious to the property or
10 improvements in such vicinity and zone in which the property
11 is located;

12 (C) That the granting of such conditional use permit will
13 not adversely affect the Master or General Plan of this City;

14 (D) That the establishment, maintenance or conducting of
15 the use for which a conditional use permit is sought will not,
16 under the particular case, be detrimental to the health,
17 safety, morals, comfort, convenience or welfare of persons
18 residing or working in the neighborhood of such use; and will
19 not, under the circumstances of the particular case, be
20 detrimental to the public welfare or injurious to the property
21 or improvements in the neighborhood.

22 SECTION 3: The Planning Commission hereby grants
23 Conditional Use Permit No. 1459 subject to the execution
24 and fulfillment of the following conditions:

- 25 1. That subject to department corrections and conditions, the
26 property shall be developed substantially in accordance
27 with the plot plan submitted and marked Exhibit "C".
- 28 2. That the applicant shall comply with all applicable codes,
laws, rules and regulations, including Health and Safety,
Building, Fire, Sign, Zoning, and Business License Codes
of the City of Huntington Park.
3. That the pole sign at the northeast corner of the site be
removed and that the applicant comply with all regulations

1 pertaining to signage as listed in the H.P.M.C Sec. 9,
Article 26.

- 2 4. That the premises be kept in a neat and orderly manner at
3 all times and comply with the property maintenance
 standards as set forth in H.P.M.C. Sec. 8-9.02.1.
- 4 5. That this permit shall expire in the event the entitlement
5 is not exercised within the (1) year from the date of
6 approval or if there is a cessation of the use or uses
 authorized by this permit for a continuous period of six
 (6) months or more.
- 7 6. That the violation of the conditions of this conditional
8 use may result in a citation or revocation of the
 conditional use permit.
- 9 7. That should, at any time, the Alcoholic Beverage License
10 issued to the applicant by the State of California be
 surrendered pursuant to Rule 65 thereof, this conditional
 use permit shall automatically become null and void.
- 11 8. That should the operation of this establishment be
12 granted, deeded, conveyed, transferred, or should a change
13 in management or proprietorship occur at any time, this
 conditional use permit shall automatically become null and
 void.
- 14 9. That the applicant shall be required to apply for a new
15 conditional use permit if any alteration, modification,
 or expansion which would increase the existing floor area
 of the premises.
- 16 10. That inventory or merchandise shall only be permitted to
 be stored or displayed within the enclosed building.
- 17 11. That the permit may be subject to additional conditions
18 after its original issuance. Such conditions shall be
19 imposed by the City Planning Commission as deemed
 appropriate to address problems of land use
 compatibility, security, and crime control.
- 20 12. The applicant construct a masonry wall around the parking
21 area of not less than five (5) feet nor more than six (6)
 feet on the lot line abutting any residential zone or
 residential dwelling.
- 22 13. That interior lighting shall be provided so as to produce
23 a minimum uniform intensity of three (3) footcandle power
 at a height thirty-six (36") inches above the floor.
- 24 14. That all existing lighting be operable and maintained at
25 all times.
- 26 15. All mechanical equipment and appurtenances of any type
27 whatsoever, whether located on the roof top, ground level
 or anywhere on the building structure shall be completely
28 enclosed so as not to be visible from any public street
 and/or adjacent property. Such enclosed facilities

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SECTION 5: The Secretary of the Planning Commission shall certify to the adoption of this resolution and a copy thereof shall be filed with the City Clerk.

PASSED, APPROVED, AND ADOPTED this 4th day of March, 1992, by the following vote:

- AYES: Commissioners Coover, Thompson, Wanke
- NOES: Commissioners Watson, Mears
- ABSENT: None

HUNTINGTON PARK PLANNING COMMISSION

Lucille Mears
Chairman

ATTEST:

Paul S. Watson
Secretary

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**CUP TRANSFER LETTER
DATED JANUARY 5, 2017**

EXHIBIT G



Community Development Department

January 5, 2017

Club 21
Attention: Mr. Javier Gonzalez
2130 Cameron Street
Long Beach, CA 90810

Re: Transfer of Conditional Use Permit for the on-sale of beer and wine at an existing cocktail lounge located at 3256 Gage Avenue, within the Commercial General (CG) Zone.

Dear Mr. Gonzalez:

This is to advise you that the Planning Commission of the City of Huntington Park adopted Resolution No. 1459 approving a request for a Conditional Use Permit (CUP) in connection with real property located at 3256 Gage Avenue, subject to the conditions contained therein.

The City requires that you accept the conditions of approval for the transfer of ownership of the use, and that you maintain the property in compliance with the conditions. The City conducted an inspection of the subject property on January 4, 2017 and the following violations must be corrected:

Violations of Resolution No. 1459

- **Condition No. 2** – That the applicant shall comply with all applicable codes, laws, rules and regulations, including Health and Safety, Building, Fire, Sign, Zoning, and Business License Codes of the City of Huntington Park.

Corrective Action Required: Remove dance floor and any other live entertainment equipment (d.j. equipment, lighting and speakers) inside the southerly area of the cocktail lounge. You may apply for a Dance & Entertainment Permit if you intend to have live entertainment or dancing activities inside the establishment.

- **Condition No. 4** – That the premises be kept in a neat and orderly manner at all times and comply with the property maintenance standards as set forth in H.P.M.C. Sec. 8-9.02.1.

Corrective Action Required: Remove all trash and debris around the parking area and building. Remove all chipped paint on southerly façade of the building and repaint the façade to match existing building color.

CUP Transfer: PC Case No. 1459
3256 Gage Avenue
January 5, 2017
Page 2 of 3

- **Condition No. 16** – That the parking lot be resurfaced and that a parking plan be submitted to the Planning Department for review and approval.

Corrective Action Required: Resurface, slurry seal, and re-stripe the parking lot area in accordance with the City's parking development standards.

- **Condition No. 17** – That a trash enclosure be constructed and located per the City's requirements.

Corrective Action Required: Repair the existing trash enclosure in accordance with the requirements of H.P.M.C. Sec. 9-3.103. The trash storage area shall be appropriately screened from view on at least three (3) sides by a solid wall six (6) feet in height and on the fourth side by a solid, reinforced gate not less than five (5) feet in height. A decorative 2-foot high wood trellis shall be installed on top of the enclosure. The design of the wall and gate shall be architecturally compatible with the surrounding structure and subject to approval of the Director.

The above items need to be completed within thirty (30) days to restore the subject property to legal compliance. If you fail to bring the property into compliance by February 4, 2017, the above violations will be referred to the City of Huntington Park Code Enforcement Division and may result in fines. Please note, the Building & Safety Division will conduct a site inspection as part of the application process. Please allow access to all portions of the building, including the areas that you did not have access to during the site inspection conducted by the Planning Division.

Should you have any questions or wish to provide evidence of violation compliance and/or to schedule a follow-up inspection, please contact me at (323) 584-6282.

In the meantime, you may continue to process your business license application. In order to complete the transfer you are required to acknowledge that you received a copy of the enclosed resolution. Please sign the RESOLUTION ACKNOWLEDGEMENT and return a copy of this letter to the Planning Division.

Sincerely,



Rodrigo Pelayo
Assistant Planner

Attachments: Resolution No. 1459

CUP Transfer: PC Case No. 1459
3256 Gage Avenue
January 5, 2017
Page 3 of 3

RESOLUTION ACKNOWLEDGEMENT

**I ACKNOWLEDGE THAT I HAVE RECEIVED A COPY OF RESOLUTION NO. 1459 AND
AGREE TO COMPLY WITH ALL CONDITIONS THEREIN.**

SIGNATURE: Javier Gonzalez DATE: 01-5-17

PRINTED NAME AND TITLE: JAVIER GONZALEZ

**WRITTEN NOTICE TO
MODIFY/REVOKE CUP NO. 1459**

EXHIBIT H



CITY OF HUNTINGTON PARK

NOTICE OF PUBLIC HEARING

The Planning Commission of the City of Huntington Park will conduct a Public Hearing, which you may attend.

PLACE: Huntington Park Civic Center
City Council Chambers on 2nd Floor
6550 Miles Avenue
Huntington Park, CA 90255

DATE & TIME: **Wednesday, July 19, 2017 at 6:30 p.m.**

APPLICANT: City of Huntington Park

REQUEST: **CASE NO. 1459 CUP – CONDITIONAL USE PERMIT – A REQUEST TO CONSIDER THE MODIFICATION OF CONDITIONAL USE PERMIT CASE NO.1459 ALLOWING THE OPERATION OF A COCKTAIL LOUNGE TO CONTINUE; OR REVOKE CONDITIONAL USE PERMIT NO. 1459 IN CONNECTION WITH PROPERTY LOCATED AT 3256 GAGE AVENUE, WITHIN THE COMMERCIAL GENERAL (CG) ZONE.**

PROPERTY INVOLVED: **3256 Gage Avenue, Huntington Park, CA 90255**

REVIEW OF THE FILE: Anyone having any concerns, questions, or wishing to review or comment on the foregoing items is welcome to contact the City's Planning Division at (323) 584-6210 or visit the office located at 6550 Miles Avenue, during the hours of 7:00 a.m. to 1:30 p.m., Monday through Thursday.

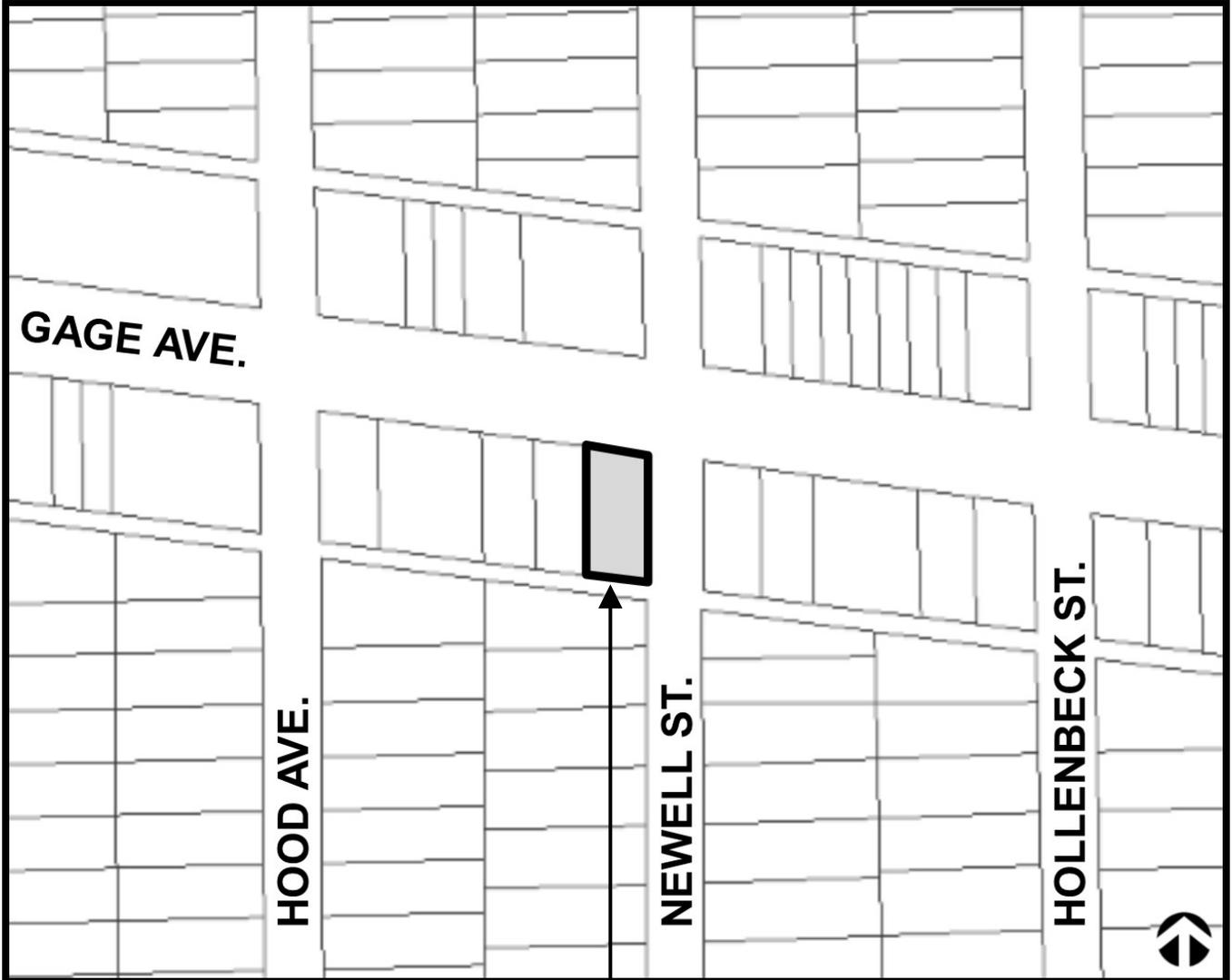
If you challenge any of the foregoing actions in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing for final action described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

The hearing may be continued or adjourned or cancelled and rescheduled to a stated time and place without further notice of a Public Hearing.

ESPAÑOL: Si desea obtener información acerca de esta junta en español, favor de llamar al (323) 584-6210.

HUNTINGTON PARK PLANNING COMMISSION
Carlos Luis, Secretary

VICINITY MAP



**3256 Gage Avenue
Huntington Park, CA 90255**



CITY OF HUNTINGTON PARK

PLANNING COMMISSION AGENDA REPORT

DATE: AUGUST 9, 2017

TO: CHAIRPERSON AND MEMBERS OF THE PLANNING COMMISSION

ATTENTION: SERGIO INFANZON, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: RODRIGO PELAYO, ASSISTANT PLANNER

SUBJECT: **PLANNING COMMISSION CASE NO. 2017-03 CUP/ DP
(CONDITIONAL USE PERMIT/ DEVELOPMENT PERMIT)**

REQUEST: Request for a Conditional Use Permit to allow an ice manufacturing facility and a Development Permit for a proposed tenant improvement consisting of a change in use from an existing warehouse to an ice manufacturing facility; and an existing residential use to commercial offices for property located at 2309-2315 Randolph Street, within the Manufacturing Planned Development (MPD) Zone.

APPLICANT: Mr. Leonardo Corona of Corona Construction
3340 Gage Avenue
Huntington Park, CA 90255

PROPERTY OWNER: Mr. Fred Rader
550 S Orange Grove Circle
Pasadena, CA 91105

PROJECT LOCATION: 2309-2315 Randolph Street

**ASSESSOR'S
PARCEL NUMBER:** 6321-004-016 & 6321-004-017

PRESENT USE: Vacant Warehouse Building & Single-Family Dwelling

BUILDING SIZE: Warehouse Building: 5,532 sq. ft.
Single-Family Dwelling: 1,214 sq. ft.

SITE SIZE: APN: 6321-004-016: 7,130 sq. ft.
APN: 6321-004-017: 7,210 sq. ft.
Total ±14,340 sq. ft.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 2 of 21

GENERAL PLAN: Manufacturing Planned Development

ZONE: Manufacturing Planned Development (MPD)

**SURROUNDING
LAND USES:**

North: Industrial

West: Industrial

South: Industrial/Residential/ Rail Transportation

East: Commercial

**MUNICIPAL CODE
REQUIREMENTS FOR A
CONDITIONAL USE PERMIT:**

Pursuant to the Huntington Park Municipal Code (HPMC) section 9-4.302, cold storage facilities may be permitted provided a Conditional Use (CUP) has been granted by the Planning Commission.

**REQUIRED FINDINGS
FOR A CONDITIONAL
USE PERMIT:**

Following a hearing, the Planning Commission shall record its decision in writing and shall recite the findings upon which the decision is based. The Commission may approve and/or modify a CUP application in whole or in part, with or without conditions, only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code;
2. The proposed use is consistent with the General Plan;
3. The approval of the CUP for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
4. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 3 of 21

public interest, health, safety, convenience, or welfare of the City;

5. The subject site is physically suitable for the type and density/intensity of use being proposed; and
6. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

**MUNICIPAL CODE
REQUIREMENTS FOR A
DEVELOPMENT PERMIT:**

Pursuant to the City of Huntington Park Municipal Code (HPMC) Section 9-2.1003 approval of a Development Permit shall be required for the expansion or conversion of an existing structure or use, affecting or involving a minimum of twenty-five (25) percent of the total gross floor area of the structure.

**REQUIRED FINDINGS
FOR A DEVELOPMENT
PERMIT:**

Pursuant to HPMC Section 9-2.1007, a Development Permit may be approved only if all of the following findings are made:

1. The proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards;
2. The proposed development is consistent with the General Plan;
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property;
4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 4 of 21

5. The subject site is physically suitable for the type and density/intensity of use being proposed;
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare; and
7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City.

ENVIRONMENTAL REVIEW:

Categorical Exemption, CEQA Article 19, Section 15301, Existing Facilities.

BACKGROUND:

- ***Planning Commission meeting of July 19, 2017***

The proposed project was considered at the regularly scheduled Planning Commission meeting of July 19, 2017. During the meeting, the Planning Commission requested that Planning Staff verify the following:

1. Clarify the proposed hours of operation for the office use, the warehouse use, and pick-up/ delivery times.
2. Number of employees in the office and warehouse buildings.
3. The noise levels generated by the proposed exterior equipment and ice-making machines.
4. Distance of subject site from the residential properties across Randolph Street.

Planning Staff met with the applicant on July 24, 2017 and requested that the applicant submit a revised business operation plan and equipment specifications to identify the noise levels (decibels) generated by the proposed exterior equipment including the ice-making machines.

On July 26, 2017, the applicant submitted a revised business operation plan (see Exhibit K). According the business plan, the offices will operate Monday through Friday from 7:00 a.m. to 4:00 p.m. In addition, the

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 5 of 21

warehouse facility would operate Monday through Saturday from 7:00 a.m. to 4:00 p.m. However, the ice-making equipment would operate Monday through Saturday from 7:00 a.m. to 8:00 p.m.

The business proposes to operate one work shift per day with a total of four (4) employees. Two employees will be working in the office building and two employees will be working in the warehouse building.

In accordance with the Los Angeles County Assessor's parcel map (see Exhibit D), Planning Staff determined that the subject site is approximately 120 feet from residential properties across the street, measured from property line to property line.

- ***Site Description***

The subject site is located along Randolph Street between Santa Fe Avenue and Albany Street. The subject property is surrounded by industrial warehouses to the north; an industrial building to the west; a railroad and residences to the south; and a vacant industrial building to the east.

The site is comprised of two lots totaling 14,340 square feet developed with a single-family dwelling and a warehouse building currently vacant.

- ***Project Proposal***

The applicant, Corona Construction, is proposing tenant improvements consisting of a change in use from an existing 2,400 square-foot warehouse to an ice manufacturing and storage facility. In addition, the project proposes a change in use from an existing 1,214 square-foot single-family dwelling to commercial offices.

Other improvements include a façade remodel to the office building; re-painting the existing warehouse building; replacement of existing impervious concrete slab and driveway to facilitate a new loading zone, exterior equipment area, and a parking lot.

In addition, the project proposes decorative stamped concrete at the driveway entrance, landscaping throughout the setback areas, and a new trash enclosure area within

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 6 of 21

the footprint of the existing warehouse building. Decorative screening is proposed along the southerly and northerly boundaries of the subject site.

- ***Business Operation***

On July 26, 2017, the applicant submitted a revised business operation plan (see Exhibit B). According to the business plan, the offices will operate Monday through Friday from 7:00 a.m. to 4:00 p.m. In addition, the warehouse facility would operate Monday through Saturday from 7:00 a.m. to 4:00 p.m. However, the ice-making equipment would operate Monday through Saturday from 7:00 a.m. to 8:00 p.m.

ANALYSIS:

- ***Business Operation***

The proposed ice manufacturing and storage facility will provide distribution services of ice to retail stores. The proposed days and hours of operation are consistent with other surrounding business operations. As a result, it is reasonable to assume that the surrounding neighborhood will not be impacted by noise associated with the proposed use.

- ***Proposed Improvements***

The project proposes tenant improvements for a change in use of an existing 2,400 square foot one-story warehouse building. The building is proposed to be used as an ice manufacturing and distribution facility.

The proposed tenant improvements will consist of installing exterior ice manufacturing equipment that will connect to the interior of the building. Staff has conditioned the project to provide decorative screening around the exterior equipment area. Pursuant to the Huntington Park Municipal Code (HPMC) Section 9-3.103(20), the exterior equipment shall be screened from public view. The screening design/construction shall be subject to the approval of the Director and shall blend with the design of the structure. A new trash storage area will be incorporated to the existing warehouse building to conceal trash containers and to maintain them accessible during pick-up times. Staff will require as a

condition of approval that the warehouse building be repainted on all sides with a color approved by the City.

The project also proposes tenant improvements for a change in use of an existing 1,214 square foot single-family dwelling. The non-conforming residence will be converted to new offices which will be used in conjunction with the ice manufacturing facility. The proposed change in use will bring the property use into compliance with current Code requirements. The proposed tenant improvements will consist of an interior remodel of the existing structure, façade remodel, and ADA accessibility improvements.

A new parking area with new light posts is proposed to accommodate required off-street parking, one designated loading space, and exterior lighting. Drought-tolerant landscaping is proposed along southerly boundaries of the site. Decorative stamped concrete is proposed along the southerly driveway entrance. A new decorative perforated metal fence is also proposed along the northerly and southerly boundaries of the subject site.

The allowable floor area ratio (FAR) within the MPD zone is 2:1, which allows 2 square feet of gross floor area per 1 square foot of lot area, therefore both existing one-story buildings are in compliance with FAR requirements of the Code.

ALLOWABLE FLOOR AREA RATIO (2:1)		
Lot Size	Allowable Floor Area Ratio	Proposed Floor Area Ratio
14,340 sq. ft.	2 sq. ft. of G.F.A : 1 sq. ft. of Lot Area = 28,680 sq. ft.	5,532 sq. ft./ 28,680 sq. ft. = .12 ≤ 2 = OK

- ***Architectural Design***

The proposed façade remodel of the office building will be contemporary in style. The contemporary design will consist of exterior stucco finish walls. As a condition of approval, the project will be required that the façade design incorporate at least two types of materials (i.e. stucco-finish walls with wood trims around door and window openings, reveals, or stone veneer siding, etc.).

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 8 of 21

- ***Landscaping***

Landscaping is proposed along the front setback area of the property fronting Randolph Street. The landscaping consists of shrubs and ground cover that will complement the proposed façade improvements of the office building. In addition, the proposed landscaping material will be drought tolerant. A condition of approval has been included requiring a maintenance plan (irrigation plan) for the proposed landscaping. Decorative stamped concrete is also proposed at the entrance of the driveway to enhance the site aesthetics along the landscape area.

- ***Floor Plan***

The new floor plan will be divided into a customer waiting area with a reception desk, three office rooms, an employee break room, and one restroom.

- ***Access/ Circulation***

The subject site is accessible from an existing driveway entrance along Randolph Street. The driveway will be utilized by standard vehicles and delivery trucks. Deliveries are proposed to be conducted within the site, adjacent to the existing public right-of-way (alley).

Commercial “bobtail” trucks are proposed to access the site in a reverse fashion and exit through the same driveway in a forward motion. A condition of approval has been added, requiring the business operator to provide a flagman for the back-up maneuver of the commercial trucks.

- ***Off-Street Parking***

Pursuant to HPMC Section 9-3.804, the parking requirement for “Industrial (general)” uses is one space for each 800 square feet of gross floor area; plus 1 space for each vehicle used in connection with the use.

Additional parking spaces are required for the proposed office use. Pursuant to HPMC Section 9-3.804, the parking requirement for “Offices (general)” uses is one space for each 400 square feet of gross floor area.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 9 of 21

In accordance with the City’s parking standards, it was determined that a total of 7 off-street parking spaces are required. The project proposes a total of 7 off-street parking spaces. As a result, there will be no surplus off-street parking spaces.

The proposed parking layout would also incorporate one new designate loading space adjacent to the exterior equipment area. The loading space is proposed to measure 10 feet in width and 25 feet in length. Pursuant to the HPMC, one loading space is required for a building measuring less than 10,000 square feet. As a result, the site will be in compliance with parking and loading space requirements.

The parking calculations are summarized in the following table:

STANDARD OFF-STREET PARKING CALCULATION		
Type	Required	Proposed
Industrial (General)	Ratio: 1/800 sf (2400 sf/800) = 3	
Offices (General)	Ratio: 1/400 sf (1,214 sf/400) = 3.04	
Total	6.04 ≈ 7 spaces	7 spaces
Surplus of 0 spaces / Deficiency of 0 spaces		

- ***Lot Line Adjustment/ Lot Merger***

According to the Los Angeles County Assessor’s Parcel Map, the subject site is comprised of two parcels. A condition of approval has been included requiring a Lot Line Adjustment/Lot Merger in order to consolidate the parcels into one.

- ***Comments from other Departments and/or Agencies***

The Planning Division received comments from the Huntington Park Building and Safety Division, and Code Enforcement Division. If the project is approved, the comments would be incorporated to Resolution 2017-03 (Exhibit A) as Conditions of Approval.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 10 of 21

- **Conditional Use Permit Analysis**

In granting a Conditional Use Permit to allow an ice manufacturing and storage facility in conjunction with offices, the Planning Commission must make findings in connection with the Conditional Use Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Conditional Use Permit may be approved only if all of the following findings are made:

1. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of this Code ***in that the proposed ice manufacturing and storage facility use is conditionally permitted within the subject zoning district. The subject zoning district is Manufacturing Planned Development (MPD) and the proposed project will not impair the integrity and character of the zoning district as it complies with all of the applicable provisions of the Huntington Park Municipal Code.***
2. The proposed use is consistent with the General Plan ***in that the proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General Plan by improving existing industry and providing for an expanded industrial base by creating new areas for compatible industrial uses through both redevelopment and private enterprise. The proposed project will expand the City's industrial base by providing ice manufacturing and distribution services to that will meet the City's needs.***
3. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines ***in that proposed use of ice manufacturing and storage is Categorically Exempt pursuant to Article 19, Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.***

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 11 of 21

4. The design, location, size and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience or welfare of the City ***in that the proposed project is located on a lot that measures approximately 14,340 square feet. The design, location, size, and operating characteristics of the proposed ice manufacturing and storage facility is not expected to be detrimental to the public health, safety and welfare of the City. The proposed project will be harmonious and compatible with the existing industrial uses presently located within the vicinity and zoning district. Additionally, the site has adequate vehicle circulation and access, as conditioned.***
5. The subject site is physically suitable for the type and density/intensity of use being proposed ***in that the proposed project is located on a lot that measures approximately 14,340 square feet. In addition, the subject site is currently developed with an existing 2,400 square foot warehouse building and an existing 1,214 square foot single-family dwelling to be converted into offices. The proposed tenant improvements to the buildings will comply with all development standards and adequate ingress and egress will exist on the site.***
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed use would not be detrimental to public health, safety and general welfare ***in that vehicular and pedestrian access to the site would be provided from Randolph Street. The proposed request for an ice manufacturing and storage facility will not significantly intensify public access, water, sanitation, and public utilities and services. The project will not require changes to existing public utilities. Given that the surrounding area is already completely developed with public access, water, sanitation, and other public utilities, the proposed***

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 12 of 21

project would not affect these infrastructures or require any types of modifications. In addition, the proposed project would not impede the accessibility to public access, water, sanitation, or other public utilities and services.

- ***Development Permit Analysis***

In granting a Development Permit for the change in use and tenant improvements to existing buildings, the Planning Commission must make findings in connection with the Development Permit, as set forth in the Huntington Park Municipal Code (HPMC). A Development Permit may be approved only if all of the following findings are made:

1. That the proposed development is one permitted within the subject zoning district and complies with all of the applicable provisions of this Code, including prescribed development/site standards ***in that the proposed ice manufacturing and storage facility is conditionally permitted within the subject zoning district. The subject zoning district is Manufacturing Planned Development (MPD) and the proposed project will not impair the integrity and character of the zoning district as it complies with all of the applicable provisions of the Huntington Park Municipal Code.***
2. The proposed development is consistent with the General Plan ***in that the proposed project is consistent with the General Plan, specifically, the proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General Plan by improving existing industry and providing for an expanded industrial base by creating new areas for compatible industrial uses through both redevelopment and private enterprise. The proposed project will expand the City's industrial base by providing ice manufacturing and distribution services to meet the City's needs.***
3. The proposed development would be harmonious and compatible with existing and planned future developments within the zoning district and general area, as well as with the land uses presently on the subject property ***in that subject site has historically been utilized for industrial purposes and has***

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 13 of 21

created no documented nuisances to the City or surrounding properties. The design, location, size, and operating characteristics of the proposed ice manufacturing and storage facility is not expected to be detrimental to the public health, safety and welfare of the City. The proposed request for an ice manufacturing and storage facility is harmonious and compatible with the existing industrial uses presently located within the vicinity and zoning district.

4. The approval of the Development Permit for the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines ***in that the proposed use of ice manufacturing and storage facility is Categorically Exempt pursuant to Article 19, Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.***
5. The subject site is physically suitable for the type and density/intensity of use being proposed ***in that the proposed project is located on a lot that measures approximately 14,430 square feet. In addition, the subject site is currently developed with an existing 2,400 square foot warehouse building and an existing 1,214 square foot single-family dwelling to be converted into offices. The proposed tenant improvements to the buildings will comply with all development standards and adequate ingress and egress will exist on the site, as conditioned.***
6. There are adequate provisions for public access, water, sanitation and public utilities and services to ensure that the proposed development would not be detrimental to public health, safety and general welfare ***in that vehicular and pedestrian access to the site would be provided from Randolph Street. The proposed request for an ice manufacturing and storage facility will not significantly intensify public access, water, sanitation, and public utilities and services. The project will not require changes to existing public utilities. Given that the surrounding area is already completely developed with public access, water, sanitation, and other public utilities, the proposed project would not affect these***

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 14 of 21

infrastructures or require any types of modifications. In addition, the proposed project would not impede the accessibility to public access.

7. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public health, safety, or welfare of the City ***in that the proposed project has been reviewed accordingly. Conditions of approval have been included to ensure that project does not create any issues of concern that would be detrimental to the public health, safety, or welfare of the City.***

- **Conclusion**

Based on the above analysis, staff has determined that with the recommended conditions of approval, the proposed project complies with the HPMC and all of the required findings in support of a Conditional Use Permit and Development Permit can be made.

RECOMMENDATION:

Based on the evidence presented, it is the recommendation of Planning Division Staff that the Planning Commission adopt the Categorical Exemption, make the required findings and requirements set forth in the Huntington Park Municipal Code, and **adopt PC Resolution No. 2017-03 CUP/DP**, subject to the following proposed conditions of approval and/or other conditions that the Planning Commission may wish to impose.

CONDITIONS OF APPROVAL:

PLANNING

1. That the property owner and applicant shall indemnify, protect, hold harmless and defend the City and any agency or instrumentality thereof, its officers, employees and agents from all claims, actions, or proceedings against the City to attack, set aside, void, annul, or seek damages arising out of an approval of the City, or any agency or commission thereof, concerning this project. City shall promptly notify both the property owner and applicant of any claim, action, or proceeding to which this condition is applicable. The City shall cooperate in the defense of the action, while reserving its right to act as it deems to be in the best interest of the City and the public. The property owner and applicant shall defend, indemnify and hold harmless the City for all costs and fees incurred in additional investigation or study, or for supplementing or revising any document, including, without limitation, environmental documents. If the City's legal counsel is required to enforce any

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 15 of 21

condition of approval, the applicant shall pay for all costs of enforcement, including legal fees.

2. Except as set forth in subsequent conditions, all-inclusive, and subject to department corrections and conditions, the property shall be developed substantially in accordance with the applications, environmental assessment, and plans submitted.
3. That all architectural detailing, including building materials, lighting, colors, façade improvements, finishes and other details be consistent with the submitted plans as approved by the Planning Division.
4. That the proposed project shall comply with all applicable codes, laws, rules, and regulations, including Health, Building and Safety, Fire, Sign, Zoning, and Business License Regulations of the City of Huntington Park.
5. That the use be conducted, and the property be maintained, in a clean, neat, quiet, and orderly manner at all times and comply with the property maintenance standards as set forth in Title 8, Chapter 9, and Section 9-3.103.18 of the Huntington Park Municipal Code.
6. That the Conditional Use Permit shall be subject to review for compliance with conditions of the issuance at such intervals as the City Planning Commission shall deem appropriate.
7. That any violation of the conditions of this entitlement may result in the revocation of the entitlement.
8. That the applicant be required to apply for a new entitlement if any alteration, modification, or expansion of the use is proposed.
9. That this entitlement expire in the event it is not exercised within one (1) year from the date of approval, unless an extension has been granted by the Planning Commission.
10. That if the use ceases to operate for a period of six (6) months the entitlement shall be null and void.
11. All proposed signage shall be reviewed and approved by the Planning Division under a separate permit. All proposed signage shall comply with the requirements of the Huntington Park Municipal Code and/or Master Sign Program of the subject site.
12. That all existing and/or proposed mechanical equipment and appurtenances, including satellite dishes, gutters etc., whether located on the rooftop, ground level or anywhere on the property shall be completely shielded/enclosed so as not to be visible from any public street and/or adjacent properties. Such shielding/enclosure of facilities shall be of compatible design related to the building structure for which such facilities are intended to serve and shall be installed prior to issuance of the Certificate of Occupancy.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 16 of 21

13. That any proposed on-site utilities, including electrical and telephone, be installed underground and be completely concealed from public view as required by the Planning Division.
14. That an anti-graffiti finish, as approved by the Planning Division, shall be applied to all exterior surfaces that are visible to the public and likely to attract graffiti prior to the issuance of the Certificate of Occupancy.
15. That any existing and/or future graffiti as defined by Huntington Park Municipal Code Section 5-27.02(d) shall be diligently removed within a reasonable time period.
16. That prior to the issuance of the Certificate of Occupancy, the property owner shall grant either by the covenants, conditions and restrictions for the subject property, or by a separate covenant recorded against the subject property, the right of entry for authorized City employees or agents for the purpose of removing or painting over graffiti from structures on the subject property.
17. That the property comply with the City's Standards for Exterior Colors, Section 9-3.103(3)(A) of the Huntington Park Municipal Code and obtain the Planning Division's approval prior, to the issuance of the Certificate of Occupancy.
18. That the parking area be constructed and striped as approved by the Planning Division.
19. That the proposed façade improvements to the office building shall incorporate at least two types of exterior architectural materials including, but not limited to, stucco, wood trims as accents, reveals, brick stone veneer, cornices, etc.
20. That the existing warehouse building be re-painted with a color approved by the City.
21. No outside storage shall be permitted.
22. The exterior equipment area shall be screened and shall not be visible from public view, pursuant to the Huntington Park Municipal Code (HPMC) Section 9-3.103(20).
23. That the office uses shall be ancillary to the primary ice manufacturing and storage facility use, pursuant to HPMC Section 9-4.302.
24. That the business shall be operated consistent with the Business Description dated May 25, 2017.
25. The business operator shall provide a flagman for the back-up maneuver of commercial trucks.
26. That the business be operated in compliance with the City of Huntington Park Noise Ordinance.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 17 of 21

27. That all required on-site parking and loading spaces comply with the minimum dimensions as set forth within the Huntington Park Municipal Code prior to issuance of the Certificate of Occupancy.
28. That a landscape plan design stamped by a licensed landscape architect be provided for the entire property, showing planter design, schedule of plant material, planter location and method of automatic permanent irrigation. The plan shall be submitted to and approved by the Planning Division, and such landscaping shall be installed and planted according to such approved plan, prior to being issued the certificate of occupancy, and shall thereafter be continuously and permanently maintained.
29. That landscape planters with 6" curbing and permanent irrigation be provided within the parking area, and that landscaping be provided in areas not used for vehicle parking, vehicle circulation or pedestrian access.
30. That a lighting plan be provided for all outdoor areas of the property. Such lighting shall be decorative and installed per approved plans to the satisfaction of the building official and Planning Division prior to issuing a Certificate of Occupancy.
31. That the applicant provide publicly visible art or pay art fees in accordance with the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of Occupancy.
32. That the applicant comply with all of the provisions of Title 7, Chapter 9 of the Huntington Park Municipal Code relating to Storm Water Management. The applicant shall also comply with all requirements of the National Pollutant Discharge Elimination System (NPDES), Model Programs, developed by the County of Los Angeles Regional Water Quality Board. This includes compliance with the City's Low Impact Development (LID) and the SUSUMP requirements when applicable.
33. That the Conditional Use permit may be subject to additional conditions after its original issuance. Such conditions shall be imposed by the City Planning Commission as deemed appropriate to address problems of land use compatibility, operations, aesthetics, security, noise, safety, crime control, or to promote the general welfare of the City.
34. That should the operation of this establishment be granted, deemed, conveyed, transferred, or should a change in management or proprietorship occur at any time, this Conditional Use Permit shall be reviewed.
35. That the Director of Community Development is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results, as would strict compliance with said plans and conditions.
36. That the operator shall obtain its City of Huntington Park Business License prior to commencing business operations.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 18 of 21

- 37. All requirements, as deemed necessary by the Department of Public Works during the Plan Check process, shall be complied with.
- 38. That a Lot Line Adjustment/Lot Merger shall be required in order to consolidate the two lots into one comprehensive lot. Lot Line Adjustment/Lot Merger shall be submitted to the Planning Division along with a completed application, submittal requirements, and all applicable fees shall be paid at the time of submittal.
- 39. That the applicant and property owner agree in writing to the above conditions.

BUILDING & SAFETY

- 40. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
- 41. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- 42. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- 43. Art fee shall be paid to the City prior to issuance of the building Permit.
- 44. Recycling deposit shall be filed prior to issuance of the building permit to the satisfaction of the recycling coordinator.
- 45. The office building shall be addressed as 2309 Randolph Street (front building); whereas the warehouse shall be addressed as 2315 Randolph Street (rear building). An application to assign unit numbers shall be filed with Building Division prior to plan check submittal.
- 46. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- 47. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- 48. Redevelopment project with land disturbing activity that would result in the replacement of 5,000 square feet or more of impervious surface area on an already developed site on Planning Priority Project categories shall comply with LID requirements per City Ordinance.
- 49. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 19 of 21

- a) Observation of cleared areas and benches prepared to receive fill;
- b) Observation of the removal of all unsuitable soils and other materials;
- c) The approval of soils to be used as fill material;
- d) Inspection of compaction and placement of fill;
- e) The testing of compacted fills; and
- f) The inspection of review of drainage devices.

50. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by the Public Works Department, a new Preliminary Soils and/or Geotechnical Investigation.

51. Prior to permit issuance the pdf copy of the soils report shall be provided by the applicant.

52. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.

53. The repair, alteration, change of occupancy of all existing buildings shall comply with one of the methods listed in Section 301.1.1 through 301.1.3 of the California Existing Building Code as selected by the applicant.

54. The seismic evaluation and design shall be based on the procedures of the California Building Code or ASCE 41 per Section 301.1.4 of the California Existing Building Code.

55. When prescriptive compliance method is selected, except as provided by Section 403.2 or Section 403.1 of the California Existing Building Code, alterations to any building or structure shall comply with the requirements of the California Building Code.

56. No change shall be made in the use or occupancy of any building that would place the building in a different division of the same group of occupancies or in a different group of occupancies, unless such building is made to comply with the requirements of the California Building Code for such division or group of occupancies per Section 407 of the California Existing Building Code.

57. The building height and area shall not exceed the limits specified in Table 504.3, 504.4 and 506.2 based on the type of construction as determined by Section 602 and the occupancies as determined by Section 302 except as modified hereafter.

58. Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 5 to 10 feet shall comply with Table 705.8 of the Building Code.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 20 of 21

59. All State of California disability access regulations for accessibility shall comply with Chapter 11B of the California Building Code.
60. Electrical plan check is required.
61. Mechanical plan check is required.
62. Plumbing plan check is required.
63. Energy calculations are required for new lighting or mechanical equipment.
64. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
65. Project shall comply with the CalGreen Non-Residential mandatory requirements.
66. Demolition permit is required for any existing buildings which are to be demolished.
67. All fire sprinkler hangers must be designed and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250 pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
68. Separate permit is required for Fire Sprinklers.
69. The building permit will not be issued until the property has been surveyed and the boundaries marked by a land surveyor licensed by the State of California.
70. City records indicate the proposed site is a combination of lots under common ownership. A parcel merger by document shall be obtained or a parcel/tract map shall be processed prior to issuance of the building permit.
71. City of Huntington Park, Preliminary MS4 Project Application completed by Engineer of Record and approved by Environmental Division shall be copied on the first sheet of Building Plans and on the first sheet of Grading Plans.

CODE ENFORCEMENT

72. Trash enclosure shall be secured at all times.
73. That "NO TRESPASSING" signs be installed on the exterior of the property as approved by the City.

PLANNING COMMISSION AGENDA REPORT

PC CASE NO. 2017-03 CUP DP: 2309-2315 Randolph Street

August 9, 2017

Page 21 of 21

COUNTY OF LOS ANGELES FIRE DEPARTMENT

74. Review and approval by the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit shall be required for this project prior to building permit issuance.

EXHIBITS:

- A: PC Resolution No. 2017-03
- B: Business Description dated July 26, 2017
- C: Vicinity Map
- D: Assessor's Parcel Map
- E: Site Plan
- F: Floor Plan (Warehouse Building)
- G: Elevations (Warehouse Building)
- H: Floor Plan (Office Building)
- I: Elevations (Office Building)
- J: Applications and Environmental Assessment Checklist

PC RESOLUTION NO. 2017-03

EXHIBIT A

CASE NO. 2017-03 CUP/DP

1 **WHEREAS**, the Planning Commission is required to announce its findings and
2 recommendations.

3 **NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF**
4 **HUNTINGTON PARK DOES FIND, DETERMINE, RECOMMEND AND RESOLVES AS**
5 **FOLLOWS:**

6 **SECTION 1:** Based on the evidence in the Environmental Assessment
7 Questionnaire, the Planning Commission adopts the findings in said Questionnaire and
8 determines that the project, as proposed, will have no significant adverse effect on the
9 environment and adopts an Environmental Categorical Exemption (CEQA Guidelines,
10 Article 19, Section 15301), Existing Facilities.

11 **SECTION 2:** The Planning Commission hereby makes the following findings in
12 connection with the proposed Conditional Use Permit:

- 13 1. The proposed use is conditionally permitted within, and would not impair the
14 integrity and character of, the subject zoning district and complies with all of the
15 applicable provisions of this Code ***in that the proposed ice manufacturing and***
16 ***storage facility use is conditionally permitted within the subject zoning***
17 ***district. The subject zoning district is Manufacturing Planned Development***
18 ***(MPD) and the proposed project will not impair the integrity and character of***
19 ***the zoning district as it complies with all of the applicable provisions of the***
20 ***Huntington Park Municipal Code.***
- 21 2. The proposed use is consistent with the General Plan ***in that the proposed***
22 ***project is consistent with the General Plan, specifically, the proposed use is***
23 ***consistent with Goal 1.0; Policy 1.3 of the Land Use Element of the General***
24 ***Plan by improving existing industry and providing for an expanded***
25 ***industrial base by creating new areas for compatible industrial uses through***
26 ***both redevelopment and private enterprise. The proposed project will***
27 ***expand the City's industrial base by providing ice manufacturing and***
28 ***distribution services to that will meet the City's needs.***

- 1 3. The approval of the Conditional Use Permit for the proposed use is in compliance
2 with the requirements of the California Environmental Quality Act (CEQA) and the
3 City's Guidelines ***in that proposed use of ice manufacturing and storage is***
4 ***Categorically Exempt pursuant to Article 19, Section 15301 (Existing***
5 ***Facilities) of the California Environmental Quality Act (CEQA) Guidelines.***
- 6 4. The design, location, size and operating characteristics of the proposed use are
7 compatible with the existing and planned future land uses within the general area
8 in which the proposed use is to be located and will not create significant noise,
9 traffic or other conditions or situations that may be objectionable or detrimental to
10 other permitted uses operating nearby or adverse to the public interest, health,
11 safety, convenience or welfare of the City ***in that the proposed project is***
12 ***located on a lot that measures approximately 14,340 square feet. The***
13 ***design, location, size, and operating characteristics of the proposed ice***
14 ***manufacturing and storage facility is not expected to be detrimental to the***
15 ***public health, safety and welfare of the City. The proposed project will be***
16 ***harmonious and compatible with the existing industrial uses presently***
17 ***located within the vicinity and zoning district. Additionally, the site has***
18 ***adequate vehicle circulation and access, as conditioned.***
- 19 5. The subject site is physically suitable for the type and density/intensity of use
20 being proposed ***in that the proposed project is located on a lot that measures***
21 ***approximately 14,340 square feet. In addition, the subject site is currently***
22 ***developed with an existing 2,400 square foot warehouse building and an***
23 ***existing 1,214 square foot single-family dwelling to be converted into***
24 ***offices. The proposed tenant improvements to the buildings will comply***
25 ***with all development standards and adequate ingress and egress will exist***
26 ***on the site.***
- 27 6. There are adequate provisions for public access, water, sanitation and public
28 utilities and services to ensure that the proposed use would not be detrimental to

1 public health, safety and general welfare ***in that vehicular and pedestrian***
2 ***access to the site would be provided from Randolph Street. The proposed***
3 ***request for an ice manufacturing and storage facility will not significantly***
4 ***intensify public access, water, sanitation, and public utilities and services.***
5 ***The project will not require changes to existing public utilities. Given that***
6 ***the surrounding area is already completely developed with public access,***
7 ***water, sanitation, and other public utilities, the proposed project would not***
8 ***affect these infrastructures or require any types of modifications. In***
9 ***addition, the proposed project would not impede the accessibility to public***
10 ***access, water, sanitation, or other public utilities and services.***

11 **SECTION 3:** The Planning Commission hereby makes the following findings in
12 connection with the proposed Development Permit:

- 13 1. The proposed development is one permitted within the subject zoning district and
14 complies with all of the applicable provisions of this Code, including prescribed
15 development/site standards ***in that the proposed ice manufacturing and***
16 ***storage facility is conditionally permitted within the subject zoning district.***
17 ***The subject zoning district is Manufacturing Planned Development (MPD)***
18 ***and the proposed project will not impair the integrity and character of the***
19 ***zoning district as it complies with all of the applicable provisions of the***
20 ***Huntington Park Municipal Code.***
- 21 2. The proposed development is consistent with the General Plan ***in that the***
22 ***proposed project is consistent with the General Plan, specifically, the***
23 ***proposed use is consistent with Goal 1.0; Policy 1.3 of the Land Use***
24 ***Element of the General Plan by improving existing industry and providing***
25 ***for an expanded industrial base by creating new areas for compatible***
26 ***industrial uses through both redevelopment and private enterprise. The***
27 ***proposed project will expand the City's industrial base by providing ice***
28 ***manufacturing and distribution services to meet the City's needs.***

- 1 3. The proposed development would be harmonious and compatible with existing
2 and planned future developments within the zoning district and general area, as
3 well as with the land uses presently on the subject property ***in that subject site***
4 ***has historically been utilized for industrial purposes and has created no***
5 ***documented nuisances to the City or surrounding properties. The design,***
6 ***location, size, and operating characteristics of the proposed ice***
7 ***manufacturing and storage facility is not expected to be detrimental to the***
8 ***public health, safety and welfare of the City. The proposed request for an ice***
9 ***manufacturing and storage facility is harmonious and compatible with the***
10 ***existing industrial uses presently located within the vicinity and zoning***
11 ***district.***
- 12 4. The approval of the Development Permit for the proposed project is in compliance
13 with the requirements of the California Environmental Quality Act (CEQA) and the
14 City's Guidelines ***in that the proposed use of ice manufacturing and storage***
15 ***facility is Categorically Exempt pursuant to Article 19, Section 15301***
16 ***(Existing Facilities) of the California Environmental Quality Act (CEQA)***
17 ***Guidelines.***
- 18 5. The subject site is physically suitable for the type and density/intensity of use
19 being proposed ***in that the proposed project is located on a lot that measures***
20 ***approximately 14,430 square feet. In addition, the subject site is currently***
21 ***developed with an existing 2,400 square foot warehouse building and an***
22 ***existing 1,214 square foot single-family dwelling to be converted into***
23 ***offices. The proposed tenant improvements to the buildings will comply***
24 ***with all development standards and adequate ingress and egress will exist***
25 ***on the site, as conditioned.***
- 26 6. There are adequate provisions for public access, water, sanitation and public
27 utilities and services to ensure that the proposed development would not be
28 detrimental to public health, safety and general welfare ***in that vehicular and***

1 *pedestrian access to the site would be provided from Randolph Street. The*
2 *proposed request for an ice manufacturing and storage facility will not*
3 *significantly intensify public access, water, sanitation, and public utilities*
4 *and services. The project will not require changes to existing public utilities.*
5 *Given that the surrounding area is already completely developed with public*
6 *access, water, sanitation, and other public utilities, the proposed project*
7 *would not affect these infrastructures or require any types of modifications.*
8 *In addition, the proposed project would not impede the accessibility to*
9 *public access.*

- 10 7. The design, location, size and operating characteristics of the proposed
11 development would not be detrimental to the public health, safety, or welfare of
12 the City *in that the proposed project has been reviewed accordingly.*
13 *Conditions of approval have been included to ensure that project does not*
14 *create any issues of concern that would be detrimental to the public health,*
15 *safety, or welfare of the City.*

16 **SECTION 4:** The Planning Commission hereby approves Resolution No. 2017-03
17 CUP/DP, subject to the execution and fulfillment of the following conditions:

18 **Planning Division**

- 19 1. That the property owner and applicant shall indemnify, protect, hold harmless and
20 defend the City and any agency or instrumentality thereof, its officers, employees
21 and agents from all claims, actions, or proceedings against the City to attack, set
22 aside, void, annul, or seek damages arising out of an approval of the City, or any
23 agency or commission thereof, concerning this project. City shall promptly notify
24 both the property owner and applicant of any claim, action, or proceeding to which
25 this condition is applicable. The City shall cooperate in the defense of the action,
26 while reserving its right to act as it deems to be in the best interest of the City and
27 the public. The property owner and applicant shall defend, indemnify and hold
28 harmless the City for all costs and fees incurred in additional investigation or
study, or for supplementing or revising any document, including, without limitation,
environmental documents. If the City's legal counsel is required to enforce any
condition of approval, the applicant shall pay for all costs of enforcement,
including legal fees.
2. Except as set forth in subsequent conditions, all-inclusive, and subject to
department corrections and conditions, the property shall be developed

1 substantially in accordance with the applications, environmental assessment, and
2 plans submitted.

- 3 3. That all architectural detailing, including building materials, lighting, colors, façade
4 improvements, finishes and other details be consistent with the submitted plans
5 as approved by the Planning Division.
- 6 4. That the proposed project shall comply with all applicable codes, laws, rules, and
7 regulations, including Health, Building and Safety, Fire, Sign, Zoning, and
8 Business License Regulations of the City of Huntington Park.
- 9 5. That the use be conducted, and the property be maintained, in a clean, neat,
10 quiet, and orderly manner at all times and comply with the property maintenance
11 standards as set forth in Title 8, Chapter 9, and Section 9-3.103.18 of the
12 Huntington Park Municipal Code.
- 13 6. That the Conditional Use Permit shall be subject to review for compliance with
14 conditions of the issuance at such intervals as the City Planning Commission shall
15 deem appropriate.
- 16 7. That any violation of the conditions of this entitlement may result in the revocation
17 of the entitlement.
- 18 8. That the applicant be required to apply for a new entitlement if any alteration,
19 modification, or expansion of the use is proposed.
- 20 9. That this entitlement expire in the event it is not exercised within one (1) year from
21 the date of approval, unless an extension has been granted by the Planning
22 Commission.
- 23 10. That if the use ceases to operate for a period of six (6) months the entitlement
24 shall be null and void.
- 25 11. All proposed signage shall be reviewed and approved by the Planning Division
26 under a separate permit. All proposed signage shall comply with the
27 requirements of the Huntington Park Municipal Code and/or Master Sign Program
28 of the subject site.
12. That all existing and/or proposed mechanical equipment and appurtenances,
including satellite dishes, gutters etc., whether located on the rooftop, ground level
or anywhere on the property shall be completely shielded/enclosed so as not to
be visible from any public street and/or adjacent properties. Such
shielding/enclosure of facilities shall be of compatible design related to the
building structure for which such facilities are intended to serve and shall be
installed prior to issuance of the Certificate of Occupancy.
13. That any proposed on-site utilities, including electrical and telephone, be installed
underground and be completely concealed from public view as required by the
Planning Division.

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14. That an anti-graffiti finish, as approved by the Planning Division, shall be applied to all exterior surfaces that are visible to the public and likely to attract graffiti prior to the issuance of the Certificate of Occupancy.
15. That any existing and/or future graffiti as defined by Huntington Park Municipal Code Section 5-27.02(d) shall be diligently removed within a reasonable time period.
16. That prior to the issuance of the Certificate of Occupancy, the property owner shall grant either by the covenants, conditions and restrictions for the subject property, or by a separate covenant recorded against the subject property, the right of entry for authorized City employees or agents for the purpose of removing or painting over graffiti from structures on the subject property.
17. That the property comply with the City's Standards for Exterior Colors, Section 9-3.103(3)(A) of the Huntington Park Municipal Code and obtain the Planning Division's approval prior, to the issuance of the Certificate of Occupancy.
18. That the parking area be constructed and striped as approved by the Planning Division.
19. That the proposed façade improvements to the office building shall incorporate at least two types of exterior architectural materials including, but not limited to, stucco, wood trims as accents, reveals, brick stone veneer, cornices, etc.
20. That the existing warehouse building be re-painted with a color approved by the City.
21. No outside storage shall be permitted.
22. The exterior equipment area shall be screened and shall not be visible from public view, pursuant to the Huntington Park Municipal Code (HPMC) Section 9-3.103(20).
23. That the office uses shall be ancillary to the primary ice manufacturing and storage facility use, pursuant to HPMC Section 9-4.302.
24. That the business shall be operated consistent with the Business Description dated May 25, 2017.
25. The business operator shall provide a flagman for the back-up maneuver of commercial trucks.
26. That the business be operated in compliance with the City of Huntington Park Noise Ordinance.

- 1 27. That all required on-site parking and loading spaces comply with the minimum
2 dimensions as set forth within the Huntington Park Municipal Code prior to
3 issuance of the Certificate of Occupancy.
- 4 28. That a landscape plan design stamped by a licensed landscape architect be
5 provided for the entire property, showing planter design, schedule of plant
6 material, planter location and method of automatic permanent irrigation. The plan
7 shall be submitted to and approved by the Planning Division, and such
8 landscaping shall be installed and planted according to such approved plan, prior
9 to being issued the certificate of occupancy, and shall thereafter be continuously
10 and permanently maintained.
- 11 29. That landscape planters with 6" curbing and permanent irrigation be provided
12 within the parking area, and that landscaping be provided in areas not used for
13 vehicle parking, vehicle circulation or pedestrian access.
- 14 30. That a lighting plan be provided for all outdoor areas of the property. Such lighting
15 shall be decorative and installed per approved plans to the satisfaction of the
16 building official and Planning Division prior to issuing a Certificate of Occupancy.
- 17 31. That the applicant provide publicly visible art or pay art fees in accordance with
18 the HPMC Title 9, Chapter 3, Article 17, prior to the issuance of the Certificate of
19 Occupancy.
- 20 32. That the applicant comply with all of the provisions of Title 7, Chapter 9 of the
21 Huntington Park Municipal Code relating to Storm Water Management. The
22 applicant shall also comply with all requirements of the National Pollutant
23 Discharge Elimination System (NPDES), Model Programs, developed by the
24 County of Los Angeles Regional Water Quality Board. This includes compliance
25 with the City's Low Impact Development (LID) and the SUSUMP requirements
26 when applicable.
- 27 33. That the Conditional Use permit may be subject to additional conditions after its
28 original issuance. Such conditions shall be imposed by the City Planning
Commission as deemed appropriate to address problems of land use
compatibility, operations, aesthetics, security, noise, safety, crime control, or to
promote the general welfare of the City.
34. That should the operation of this establishment be granted, deemed, conveyed,
transferred, or should a change in management or proprietorship occur at any
time, this Conditional Use Permit shall be reviewed.
35. That the Director of Community Development is authorized to make minor
modifications to the approved preliminary plans or any of the conditions if such
modifications shall achieve substantially the same results, as would strict
compliance with said plans and conditions.
36. That the operator shall obtain its City of Huntington Park Business License prior to
commencing business operations.

1 37. All requirements, as deemed necessary by the Department of Public Works during
2 the Plan Check process, shall be complied with.

3 38. That a Lot Line Adjustment/Lot Merger shall be required in order to consolidate
4 the two lots into one comprehensive lot. Lot Line Adjustment/Lot Merger shall be
5 submitted to the Planning Division along with a completed application, submittal
6 requirements, and all applicable fees shall be paid at the time of submittal.

7 39. That the applicant and property owner agree in writing to the above conditions.

8 **Building and Safety**

9 40. The initial plan check fee will cover the initial plan check and one recheck only.
10 Additional review required beyond the first recheck shall be paid for on an hourly
11 basis in accordance with the current fee schedule.

12 41. The second sheet of building plans is to list all conditions of approval and to
13 include a copy of the Planning Commission Decision letter. This information shall
14 be incorporated into the plans prior to the first submittal for plan check.

15 42. Fees shall be paid to the County of Los Angeles Sanitation District prior to
16 issuance of the building permit.

17 43. Art fee shall be paid to the City prior to issuance of the building Permit.

18 44. Recycling deposit shall be filed prior to issuance of the building permit to the
19 satisfaction of the recycling coordinator.

20 45. The office building shall be addressed as 2309 Randolph Street (front building);
21 whereas the warehouse shall be addressed as 2315 Randolph Street (rear
22 building). An application to assign unit numbers shall be filed with Building
23 Division prior to plan check submittal.

24 46. In accordance with paragraph 5538(b) of the California Business and Professions
25 Code, plans are to be prepared and stamped by a licensed architect.

26 47. Structural calculations prepared under the direction of an architect, civil engineer
27 or structural engineer shall be provided.

28 48. Redevelopment project with land disturbing activity that would result in the
replacement of 5,000 square feet or more of impervious surface area on an
already developed site on Planning Priority Project categories shall comply with
LID requirements per City Ordinance.

49. A geotechnical and soils investigation report is required, the duties of the soils
engineer of record, as indicated on the first sheet of the approved plans, shall
include the following:

- a) Observation of cleared areas and benches prepared to receive fill;

- b) Observation of the removal of all unsuitable soils and other materials;
- c) The approval of soils to be used as fill material;
- d) Inspection of compaction and placement of fill;
- e) The testing of compacted fills; and
- f) The inspection of review of drainage devices.

50. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by the Public Works Department, a new Preliminary Soils and/or Geotechnical Investigation.

51. Prior to permit issuance the pdf copy of the soils report shall be provided by the applicant.

52. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.

53. The repair, alteration, change of occupancy of all existing buildings shall comply with one of the methods listed in Section 301.1.1 through 301.1.3 of the California Existing Building Code as selected by the applicant.

54. The seismic evaluation and design shall be based on the procedures of the California Building Code or ASCE 41 per Section 301.1.4 of the California Existing Building Code.

55. When prescriptive compliance method is selected, except as provided by Section 403.2 or Section 403.1 of the California Existing Building Code, alterations to any building or structure shall comply with the requirements of the California Building Code.

56. No change shall be made in the use or occupancy of any building that would place the building in a different division of the same group of occupancies or in a different group of occupancies, unless such building is made to comply with the requirements of the California Building Code for such division or group of occupancies per Section 407 of the California Existing Building Code.

57. The building height and area shall not exceed the limits specified in Table 504.3, 504.4 and 506.2 based on the type of construction as determined by Section 602 and the occupancies as determined by Section 302 except as modified hereafter.

58. Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 5 to 10 feet shall comply with Table 705.8 of the Building Code.

1 59. All State of California disability access regulations for accessibility shall comply
2 with Chapter 11B of the California Building Code.

3 60. Electrical plan check is required.

4 61. Mechanical plan check is required.

5 62. Plumbing plan check is required.

6 63. Energy calculations are required for new lighting or mechanical equipment.

7 64. Plumbing fixtures shall be provided as required by the Chapter 4 of the California
8 Plumbing Code. Additional fixtures may be required if not in compliance.

9 65. Project shall comply with the CalGreen Non-Residential mandatory requirements.

10 66. Demolition permit is required for any existing buildings which are to be
11 demolished.

12 67. All fire sprinkler hangers must be designed and their location approved by an
13 engineer or an architect. Calculations must be provided indicating that the
14 hangers are designed to carry the tributary weight of the water filled pipe plus a
15 250 pound point load. A plan indication this information must be stamped by the
16 engineer or the architect and submitted for approval prior to issuance of the
17 building permit.

18 68. Separate permit is required for Fire Sprinklers.

19 69. The building permit will not be issued until the property has been surveyed and
20 the boundaries marked by a land surveyor licensed by the State of California.

21 70. City records indicate the proposed site is a combination of lots under common
22 ownership. A parcel merger by document shall be obtained or a parcel/tract map
23 shall be processed prior to issuance of the building permit.

24 71. City of Huntington Park, Preliminary MS4 Project Application completed by
25 Engineer of Record and approved by Environmental Division shall be copied on
26 the first sheet of Building Plans and on the first sheet of Grading Plans.

27 **Code Enforcement**

28 72. Trash enclosure shall be secured at all times.

73. That "NO TRESPASSING" signs be installed on the exterior of the property as
approved by the City.

County of Los Angeles Fire Department

1 74. Review and approval by the County of Los Angeles Fire Department Fire
2 Prevention Engineering Section Building Plan Check Unit shall be required for this
3 project prior to building permit issuance.

4 **SECTION 6:** This resolution shall not become effective until 15 days after the date of
5 decision rendered by the Planning Commission, unless within that period of time it is
6 appealed to the City Council. The decision of the Planning Commission shall be stayed until
7 final determination of the appeal has been effected by the City Council.

8 **SECTION 7:** The Secretary of the Planning Commission shall certify to the adoption
9 of this resolution and a copy thereof shall be filed with the City Clerk.

10 **PASSED, APPROVED, AND ADOPTED this 9th day of August, 2017 by the**
11 **following vote:**

12 AYES:

13 NOES:

14 ABSENT:

15
16 HUNTINGTON PARK PLANNING COMMISSION

17
18
19 _____
Efren Martinez, Chairperson

20 ATTEST:

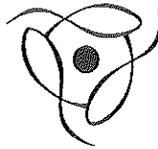
21
22 _____
Carlos Luis, Secretary

BUSINESS DESCRIPTION
DATED JULY 26, 2017

EXHIBIT B

CASE NO. 2017-03 CUP/DP

**CENTRAL
LOS ANGELES
TRADING, INC.**



Importers • Exporters • Brokers

1525 Industrial Street, Los Angeles, CA 90021 • (213) 623-4810 • telex: 67-4455 • cable: CENTLALSA

July 26, 2017



Business Schedule for Central Los Angeles Trading, Inc.

Hours of Operation for Office: Central Los Angeles Trading, Inc. will operate Monday through Friday. From 7:00a.m. to 4:00p.m will handle clerical and problems with customers.

Hours of Operation for Warehouse: Central Los Angeles Trading, Inc. will operate Monday through Saturday. From 7:00a.m. to 4:00p.m for sales.

Hours of Operation for Ice Machines: Central Los Angeles Trading, Inc. will operate Monday through Saturday. From 7:00a.m. to 8:00p.m in making shaved ice.

Employees: Central Los Angeles Trading, Inc. will have 4 employees on premise. 2 employees in the office building and 2 employees at warehouse building.

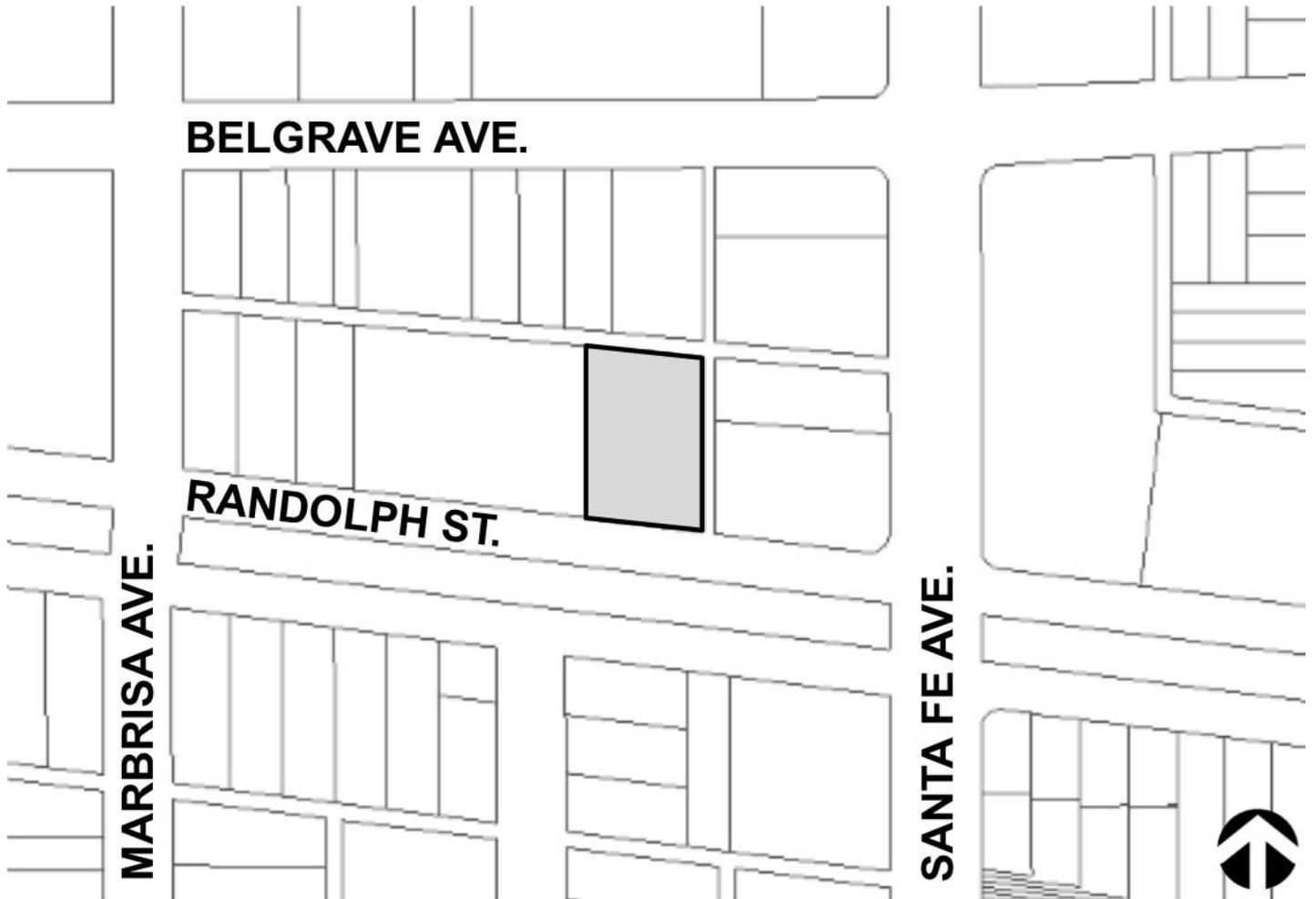
Number of Working Shifts per Day. Central Los Angeles Trading, Inc. will only have 1 shift.

Hours of Delivery and Pick Ups per Day: Central Los Angeles Trading, Inc. will have 1 delivery per and 2 pick ups per day.

Alarm System: Central Los Angeles Trading, Inc. will have a 24-hour alarm system from Monday through Sunday. Alarm Monitor Service will be connected to the Police Department and to the Fire Department.

Sincerely,

Esther Skuzman
Secretary/Treasury



VICINITY MAP

EXHIBIT C

CASE NO. 2017-03 CUP/DP

ASSESSOR'S PARCEL MAP

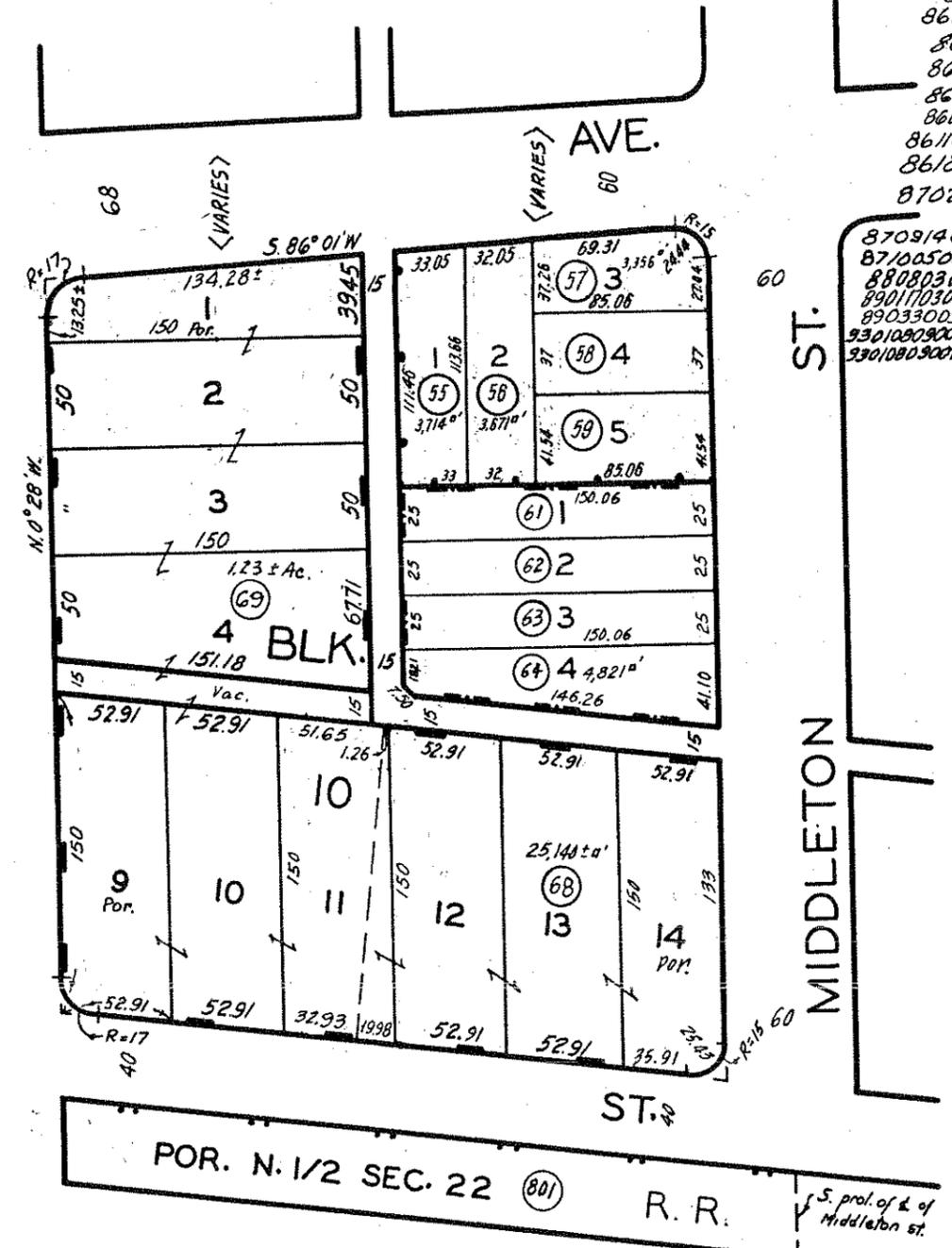
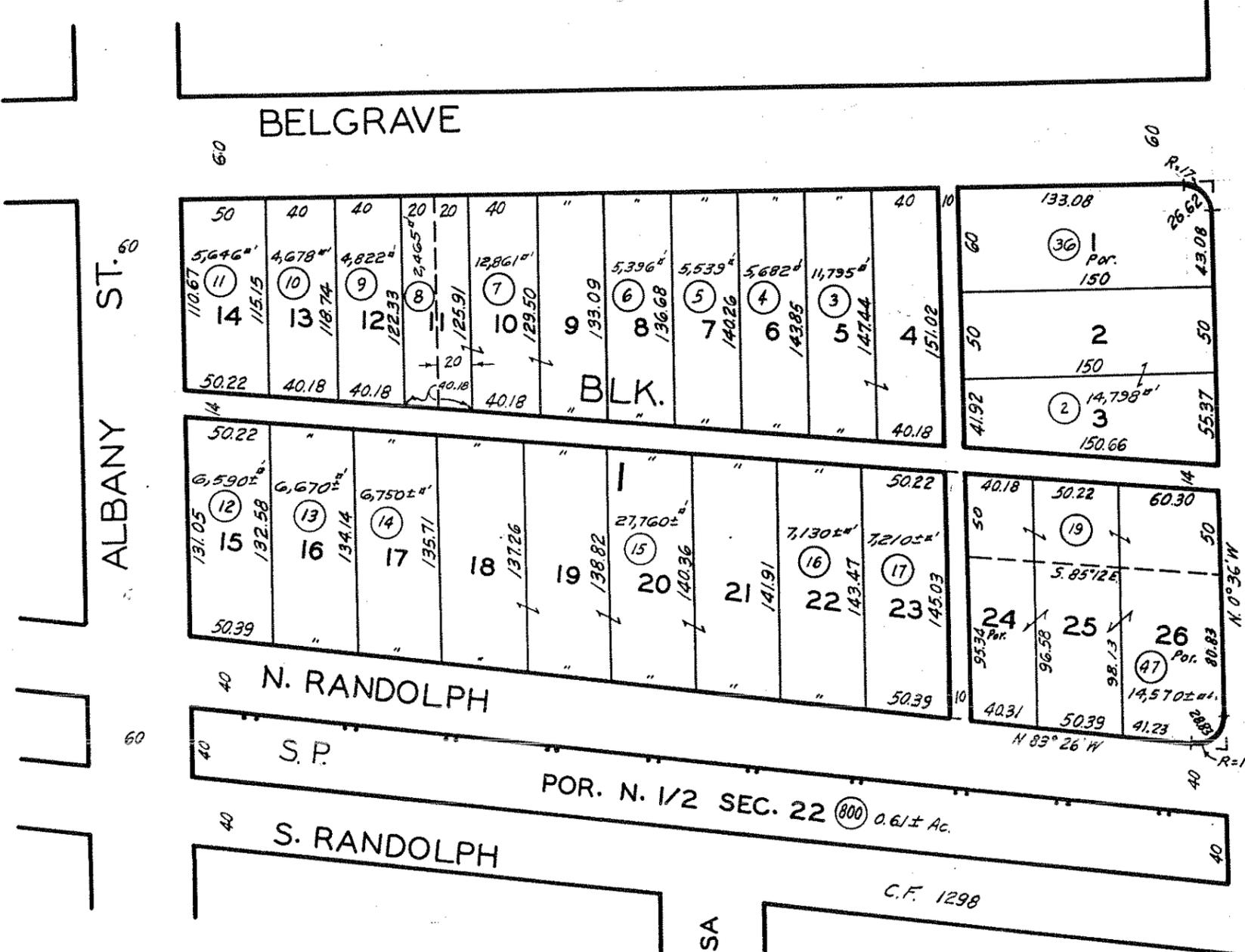
EXHIBIT D

CASE NO. 2017-03 CUP/DP

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 95012005002001-12 770915

REVI
 9-21
 80102
 851198
 86010680
 8602276
 8603200
 8606026
 86082500
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 87021960
 87091408020
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 880803040130
 8901103029003
 8903300301200
 93010809002001-12
 93010809002002-12



TRACT NO. 45727

M.B. 1111-35-36

TRACT NO. 2510

M.B. 27-26

TRACT NO. 45887

M.B. 1125-21-22

T. 2S., R. 13 W.

REPLAT OF PART OF BLOCKS 10 & 27
 OF HUNTINGTON PARK INCLUDING LOT 153
 OF NADEAU VINEYARD TRACT NO. 2

M.B. 4-47

CODE
 594
 590

FOR PREV. ASSM'T. SEE: 395-23, 32 & 34

SITE PLAN

EXHIBIT E

CASE NO. 2017-03 CUP/DP

**FLOOR PLAN
(WAREHOUSE BUILDING)**

EXHIBIT F

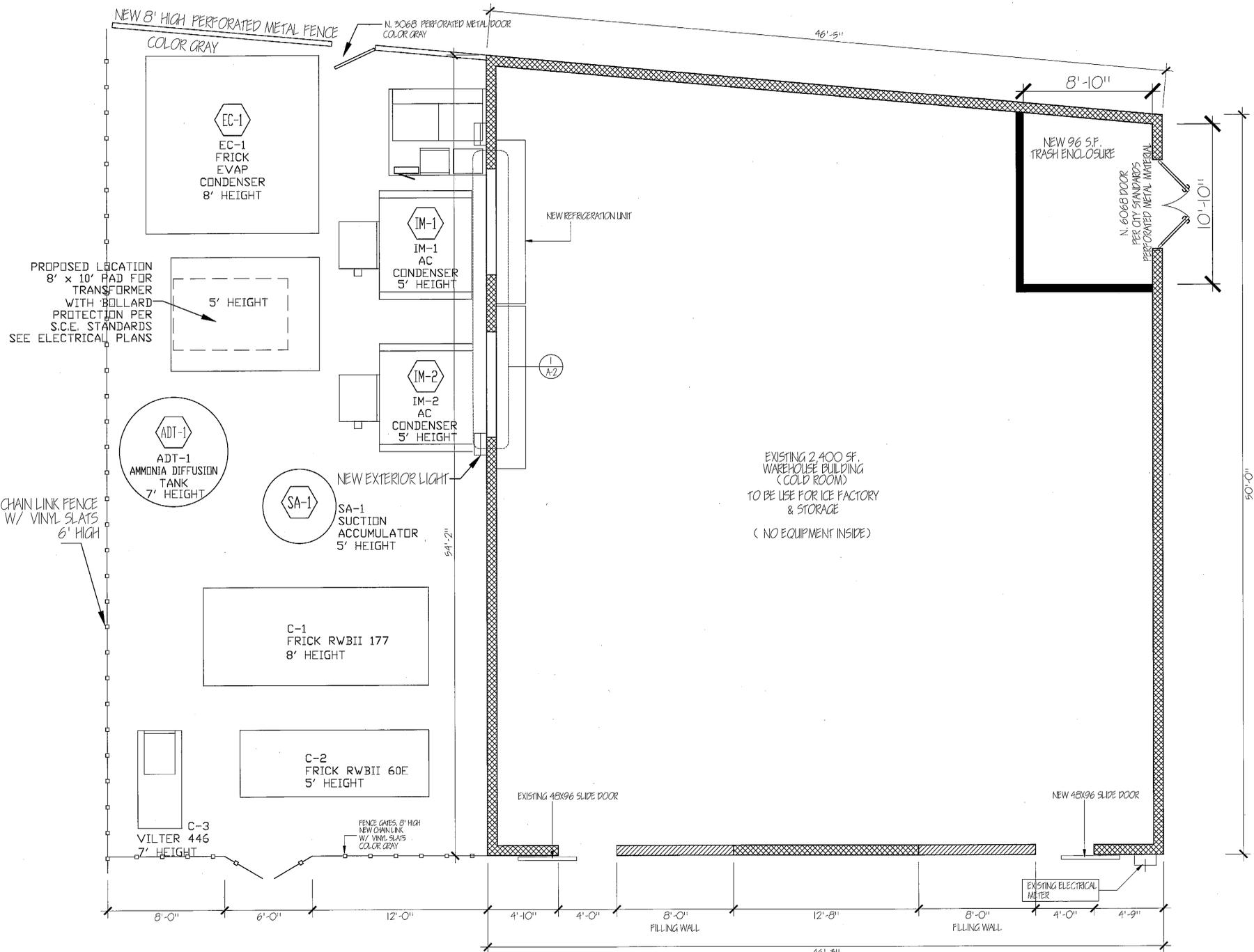
CASE NO. 2017-03 CUP/DP

BATH NOTE

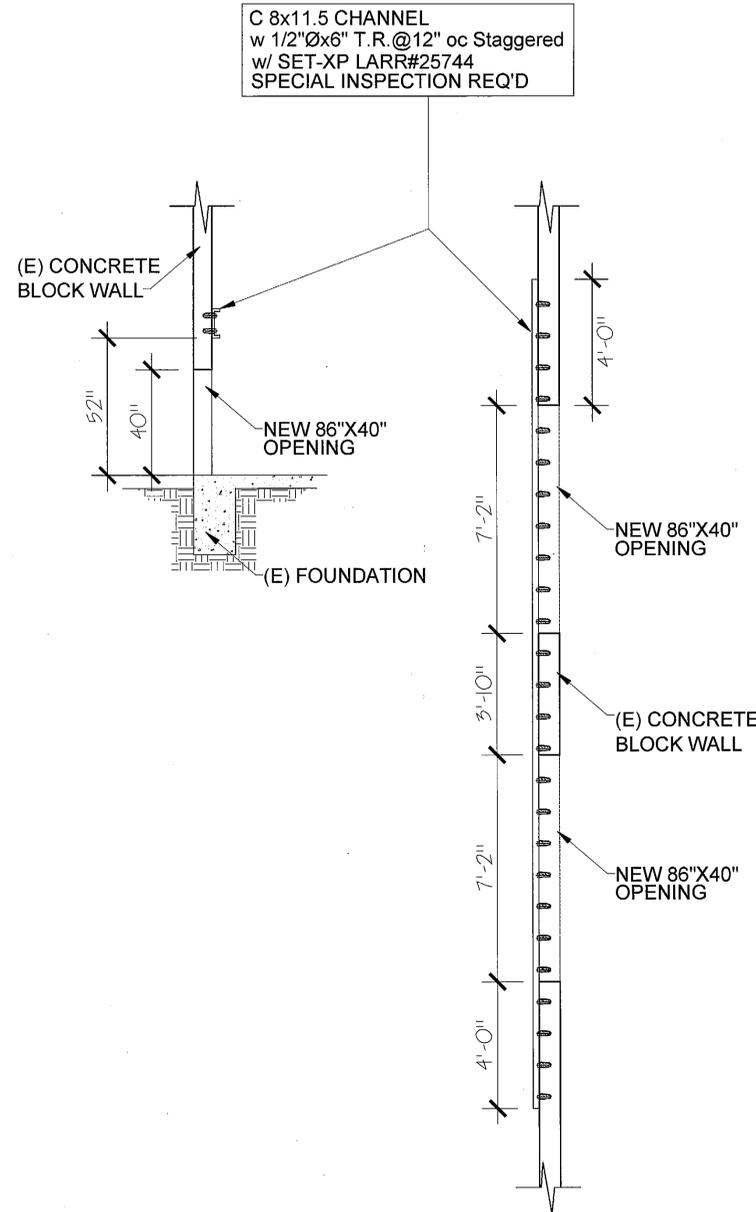
PLUMBING FIXTURES SHALL COMPLY WITH WATER CONSERVATION REQUIREMENTS.
 LAVATORY FAUCET: 0.4 gpm
 WATER CLOSURE: 1.28 gpm per flush

WALL LEGEND

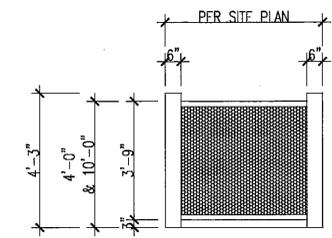
	EXISTING CONCRETE BLOCK WALLS
	NEW CONCRETE BLOCK IN EXISTING OPENINGS



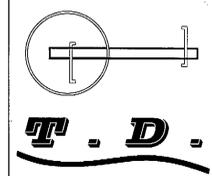
E. STORAGE FLOOR PLAN
 SCALE: 1/4" = 1'-0"



DETAIL I
 SCALE: 3/8" = 1'-0"



PERFORATED METAL DETAIL
 SCALE: N.T.S.



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5003 Telegraph Rd. Los Angeles CA. 90022
 tdesigninfo@gmail.com
 Tel (562) 479-5805
 Fax (800) 878 8275

CORONA
 CONSTRUCTIONS

Tel (323) 216-1160
 Fax (323) 584-3202

5/31/2017 11:04:53 PM

DATE	
1 REVISIONS:	
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OWNER: FRED BADER
 ADDRESS: 550 S. ORANGE GROVE CR. PASADENA CA. 91105
 PH: (213) 999-0079

ASSESSOR #: 6321-004-017
 EXISTING BLDG. T.I. & CHANGE OF USE

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
 HUNTINGTON PARK, CA 90255

PROPOSED FLOOR PLAN

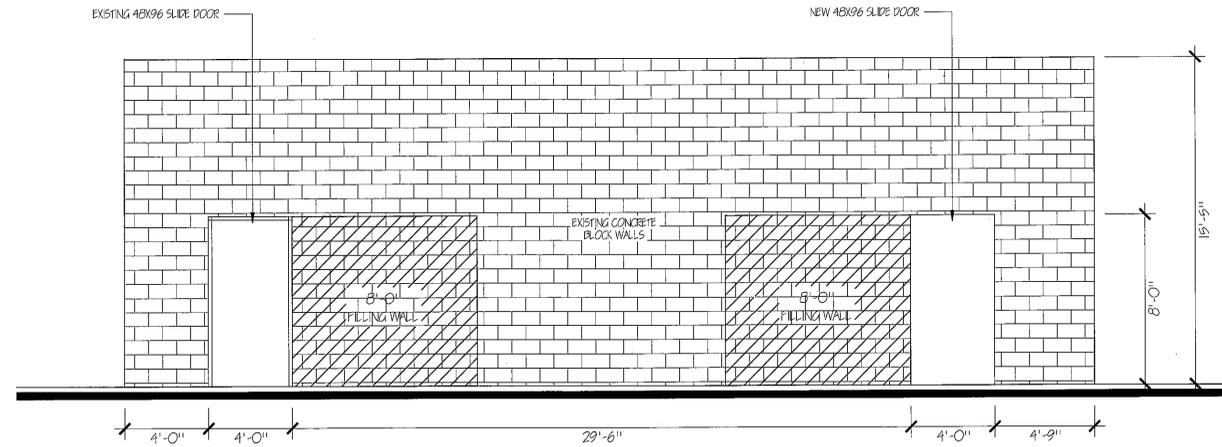
JOB NO. 16-049
 DRAWN BY: I.R.
 DATE: Oct. 2016

A-2.1a

**ELEVATIONS
(WAREHOUSE BUILDING)**

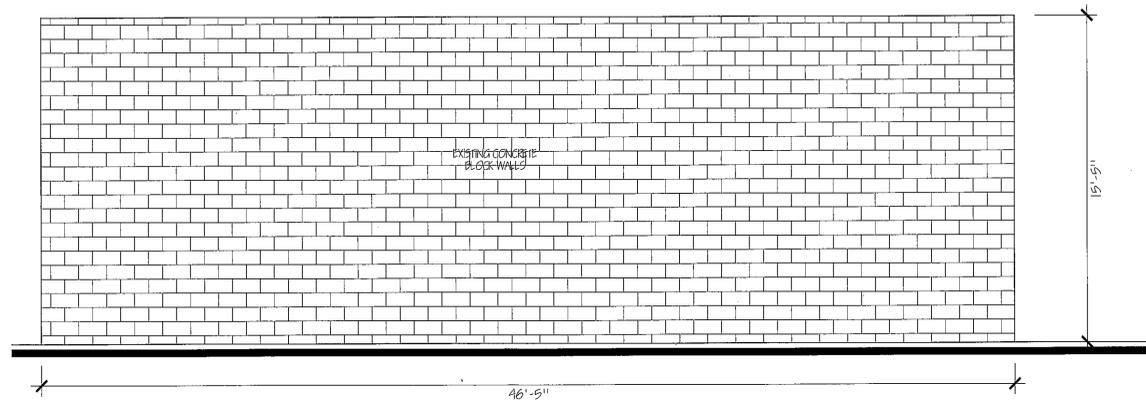
EXHIBIT G

CASE NO. 2017-03 CUP/DP



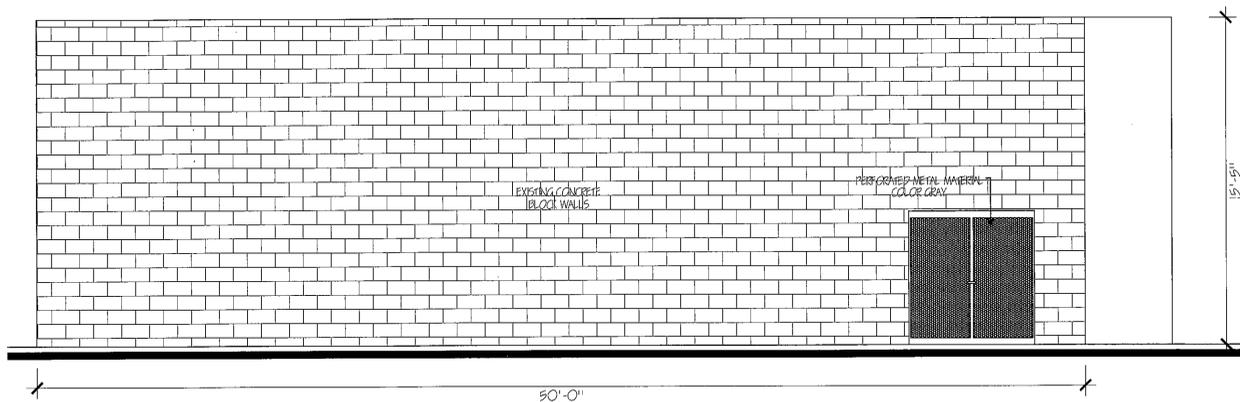
N. SOUTH ELEVATION (MFG/ WAREHOUSE BLDG)

SCALE : 1/4" = 1'-0"



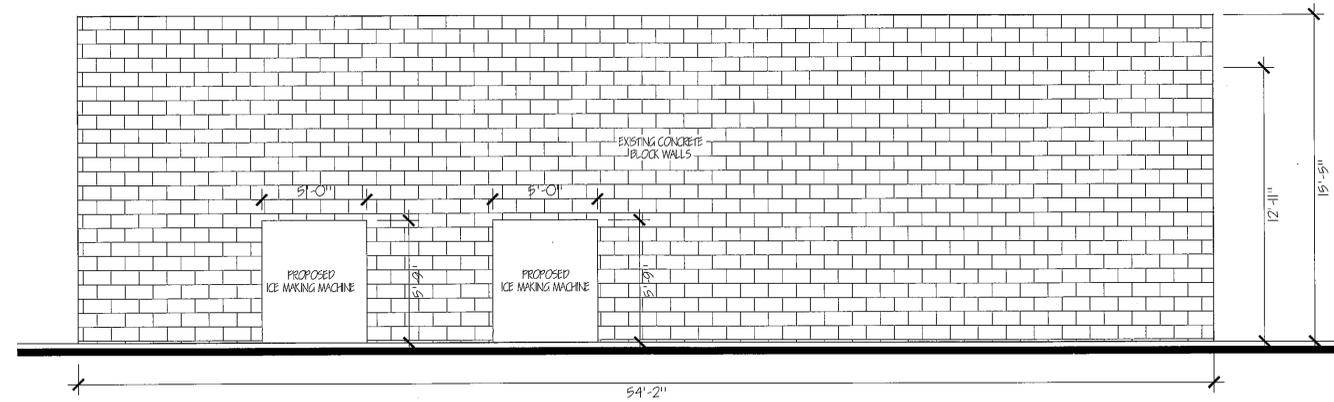
N. NORTH ELEVATION (MFG/ WAREHOUSE BLDG)

SCALE : 1/4" = 1'-0"



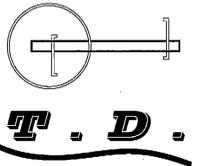
N. EAST ELEVATION (MFG/ WAREHOUSE BLDG)

SCALE : 1/4" = 1'-0"



N. WEST ELEVATION (MFG/ WAREHOUSE BLDG)

SCALE : 1/4" = 1'-0"



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tdesigninfo@gmail.com
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Fax (800) 878-8275

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CONSTRUCTIONS

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Fax (323) 564-3202

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DATE

REVISIONS:

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OWNER: FRED RADER
ADDRESS: 550 S. ORANGE GROVE CR. PASADENA CA. 91105
PH: (213) 999-0079

ASSESSOR #: 6321 - 004 - 017

EXISTING BLDG. T.I. & CHANGE OF USE

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
HUNTINGTON PARK, CA 90255

(MFG/WAREHOUSE BLDG) ELEVATIONS

JOB NO. 16-049

DRAWN BY: I.R.

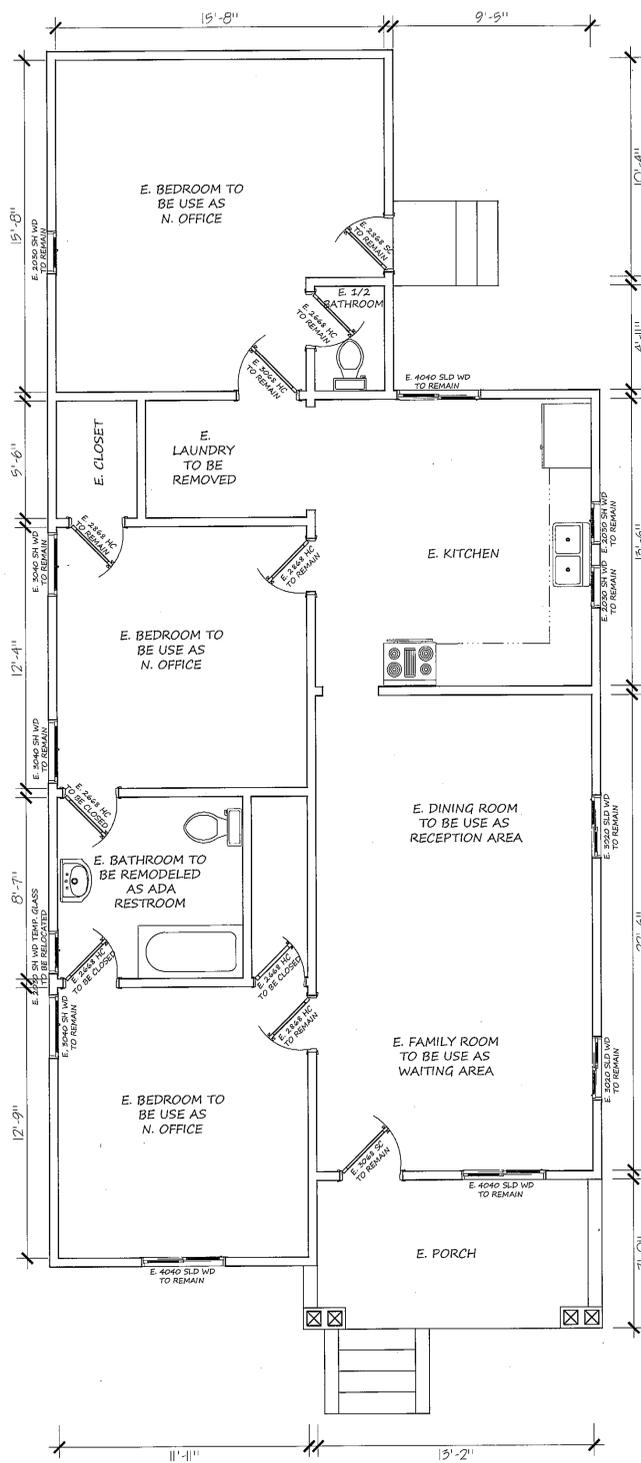
DATE: Oct. 2016

A-2.1b

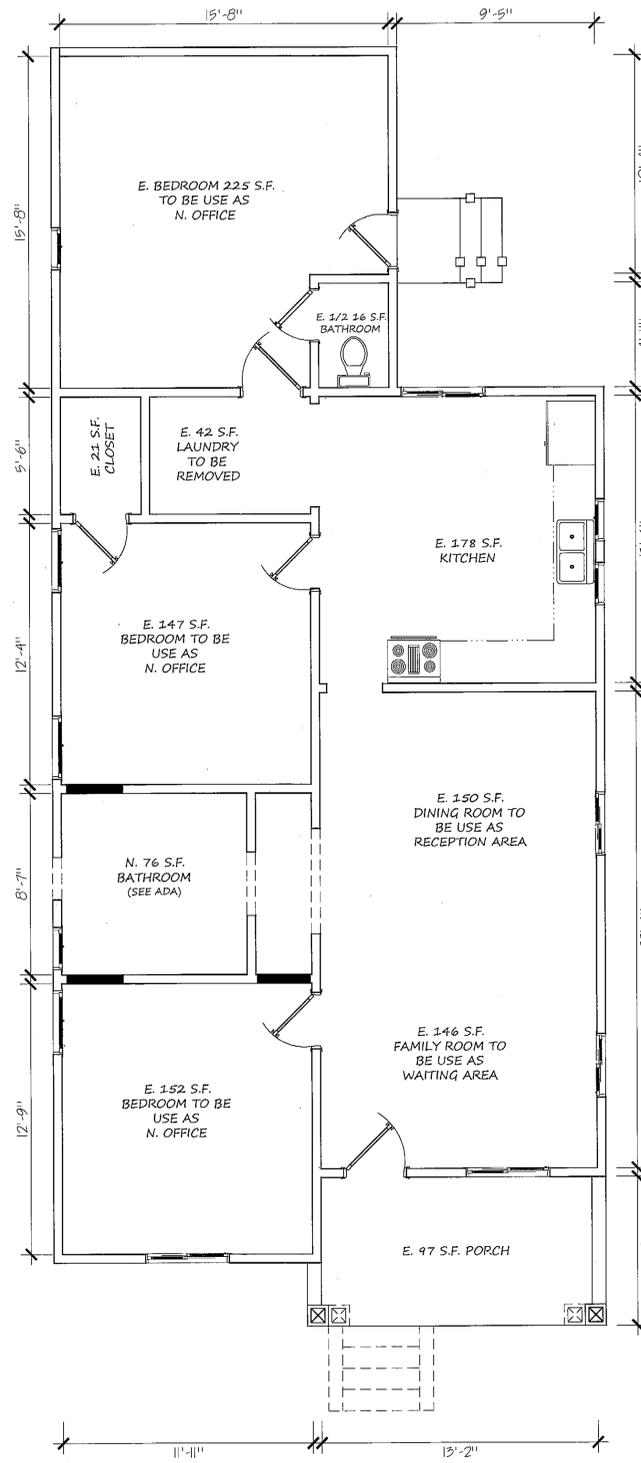
**FLOOR PLAN
(OFFICE BUILDING)**

EXHIBIT H

CASE NO. 2017-03 CUP/DP

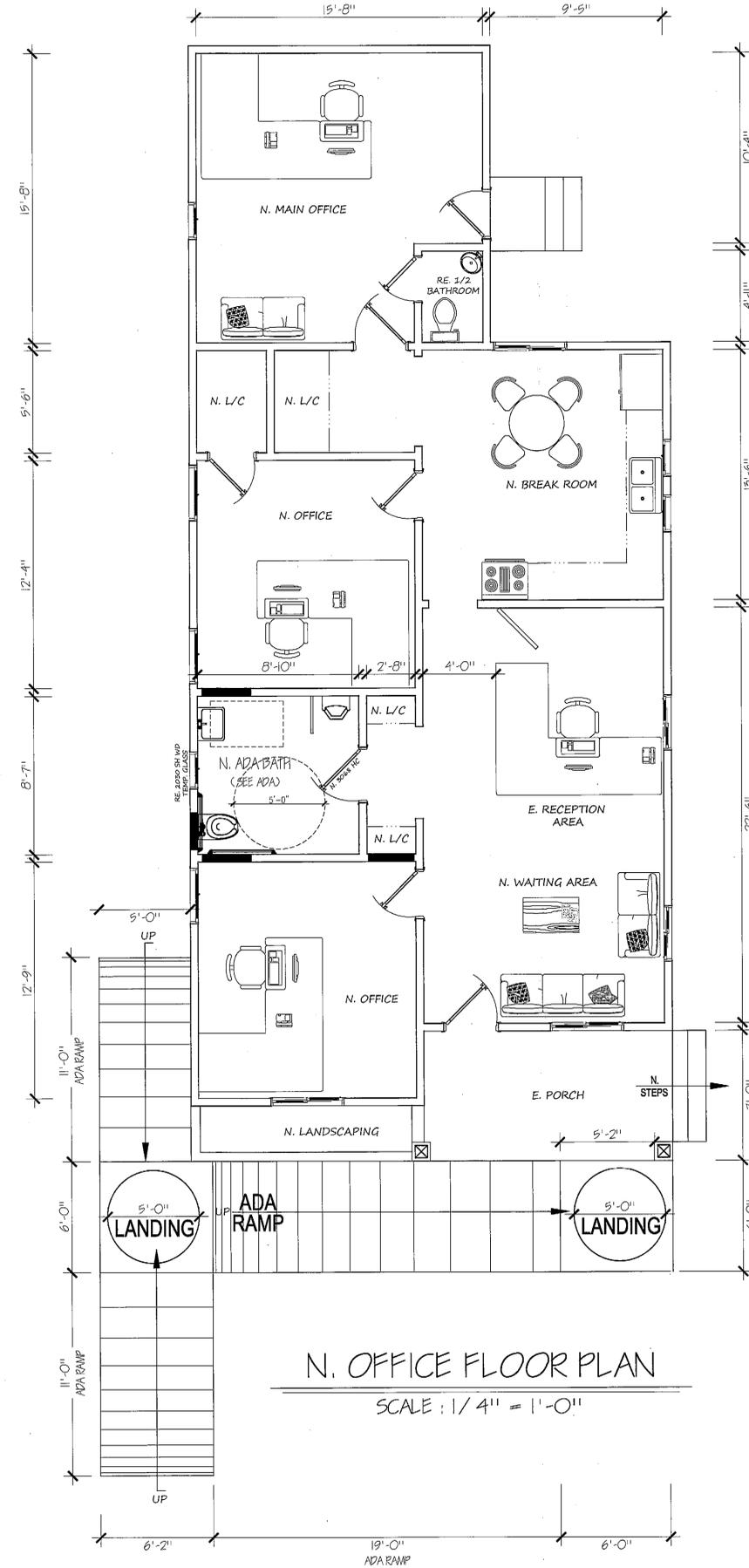


E. S.F.R. FLOOR PLAN
SCALE: 1/4" = 1'-0"

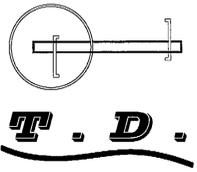


S.F.R. DEMO PLAN
SCALE: 1/4" = 1'-0"

N. = NEW
E. = EXISTING
RE = RELOCATED



N. OFFICE FLOOR PLAN
SCALE: 1/4" = 1'-0"



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Fax (323) 584-3202

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OWNERS: FRED RADER
ADDRESS: 550 S. ORANGE GROVE CR. PASADENA CA. 91105
PH: (213) 999-0079

ASSESSOR #: 6321 - 004 - 017
EXISTING BLDG. T.I. & CHANGE OF USE

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
HUNTINGTON PARK, CA 90255

EXISTING EMPLOYEE BUILDING FLOOR PLAN

JOB NO. 16-049

DRAWN BY: I.R.

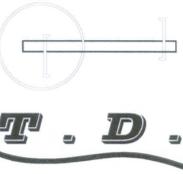
DATE: Oct. 2016

A-2.2a

**ELEVATIONS
(OFFICE BUILDING)**

EXHIBIT I

CASE NO. 2017-03 CUP/DP



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 ldesigninfo@gmail.com
 Tel (562) 479-5805
 Fax (800) 878 8275

CORONA
 Tel (323) 216-1160
 Fax (323) 584-3202

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DATE	
NO.	REVISIONS:
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OWNER: FRED RADIER
 ADDRESS: 550 S. ORANGE GROVE CR. PASADENA CA, 91105
 PH: (213) 999-0079

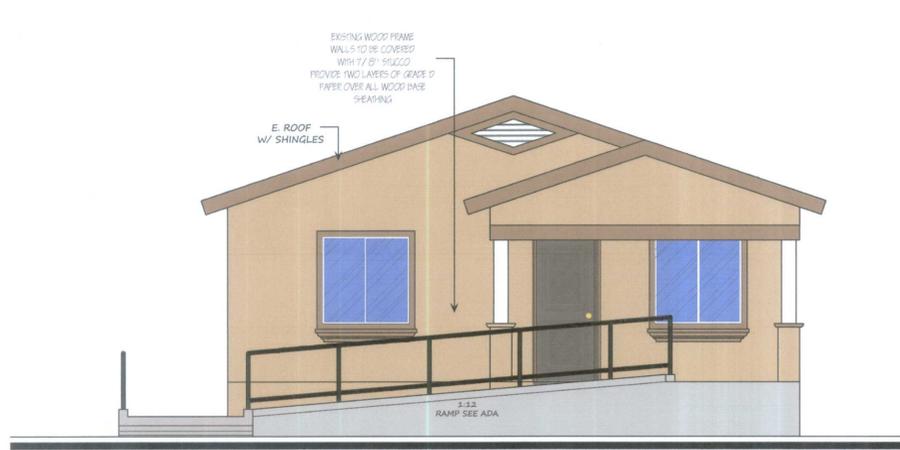
ASSESSOR #: 6321 - 004 - 017
 EXISTING BLDG. T.I. & CHANGE OF USE

JOB ADDRESS: 2309 & 2315 RANDOLPH ST
 HUNTINGTON PARK, CA 90255

NEW OFFICE ELEVATIONS

JOB NO. 16-049
 DRAWN BY: I.R.
 DATE: Oct. 2016

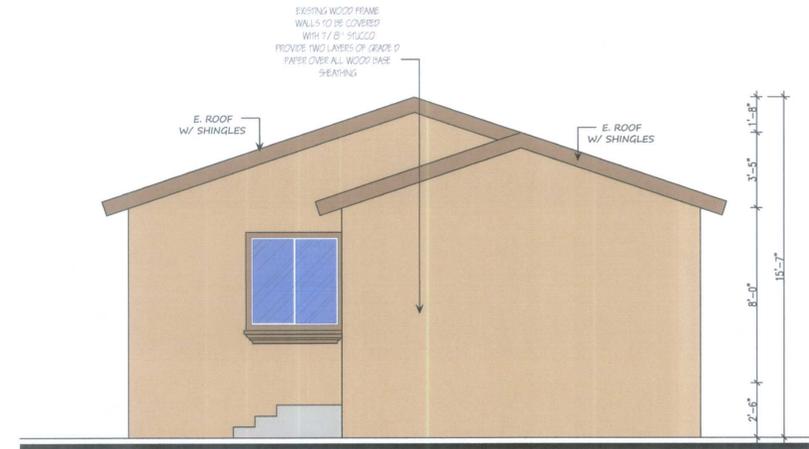
A-2.2c



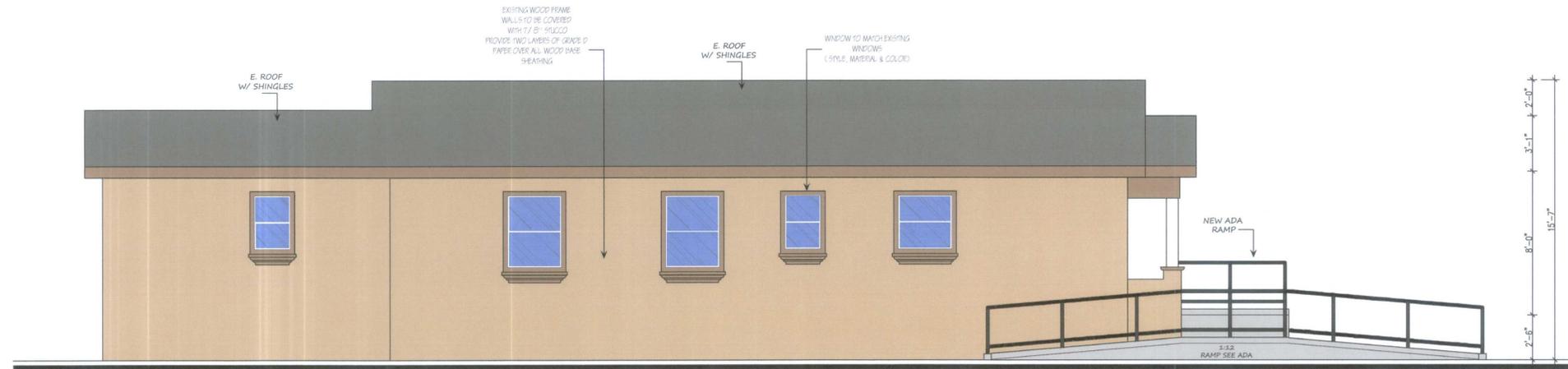
N. SOUTH ELEVATION



N. EAST ELEVATION



N. NORTH ELEVATION



N. WEST ELEVATION

**APPLICATION AND ENVIORNMENTAL
ASSESSMENT CHECKLIST**

EXHIBIT J

CASE NO. 2017-03 CUP/DP



CITY OF HUNTINGTON PARK
 Community Development Dept. • Planning Division
 6550 Miles Avenue, Huntington Park, CA 90255
 Tel. (323) 584-6210 • planning@hpca.gov

CONDITIONAL USE PERMIT APPLICATION

FOR OFFICE USE ONLY

Date Filed: 7/12/17 File No.: 2017-03 Fee/Receipt No.: \$2,225.00 Initials: RP

PROJECT INFORMATION

Project Address: 2309-2315 RANDOLPH STREET
 General Location: NORTH WEST CORNER OF RANDOLPH STREET AND SANTA FE
 Assessor's Parcel Number (APN): 6321-004-047

APPLICANT'S INFORMATION

Applicant: LEO CORONA
 Mailing Address: [REDACTED] AVE HUNTINGTON PARK 90255
 Phone 1: [REDACTED] Phone 2: _____ Email: _____

PROPERTY OWNER'S INFORMATION

Property Owner: FRED RADER
 Mailing Address: [REDACTED] PASADENA CA 91105
 Phone 1: (213) [REDACTED] Phone 2: _____ Email: _____

REQUEST

I/We hereby request a Conditional Use Permit (CUP) for the following purpose:

APPROVAL OF A CONDITIONAL USE PERMIT TO ESTABLISH AND OPERATE AN ICE MANUFACTURING COMPANY - LOCATED AT 2309-2315 RANDOLPH STREET IN THE MPD (MANUFACTURING PLANNED DEVELOPMENT) ZONE

In order for the Planning Commission to approve a CUP, the Huntington Park Municipal Code requires that all of the following findings be made:

- A. The proposed use is conditionally permitted within, and would not impair the integrity and character of, the subject zoning district and complies with all of the applicable provisions of the Zoning Code;
- B. The proposed use is consistent with the General Plan;
- C. The approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and the City's Guidelines;
- D. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and planned future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;
- E. The subject site is physically suitable for the type and density/intensity of use being proposed; and
- F. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

In order for the Planning Commission to determine if these findings are present in your case, the following questions must be answered by the applicant:

1. The site for this proposed use is adequate in size and shape. (Explain)

THE PROPOSED SITE FOR THE ICE MANUFACTURING AND STORAGE IS ADEQUATE FOR IN SIZE AND SHAPE. THE LOT SIZE IS 14,340 SQ FT. THE SHAPE OF THE LOT IS RECTANGULAR AND THE SITE IS CURRENTLY HAS AN APPROXIMATELY 2400 SQ FT STRUCTURE THAT WILL BE USE FOR STORAGE AND 1214 SQ FT EXISTING BUILDING TO BE USED FOR OFFICES.

2. The site has sufficient access to street and highways that are adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed use. (Explain)

THE SITE HAS SUFFICIENT ACCESS TO STREETS THAT ARE ADEQUATE TO CARRY THE TRAFFIC ASSOCIATED TO THE PROPOSED ICE MANUFACTURING AND STORAGE THE PROPERTY IS LOCATED AT THE NW INTERSECTION OF SANTA FE AND RANDOLPH STREET. ADDITIONALLY TO THE PROPERTY IS BOUNDED TO THE WEST BY 10' FT PUBLIC ALLEY. WAY THERE IS AN ADDITIONAL 15' FT ALLEY TO THE NORTH

CUP APPLICATION - PAGE 2

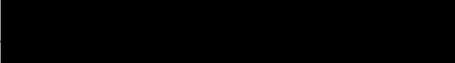
OF THE PROPERTY. SANTA FE AVENUE IS CONSIDERED A PRIMARY ARTERIAL RUNNING NORTH AND SOUTH THROUGH THE CITY RANDOLPH IS A TWO WAY LANE.

3. The proposed use will not be materially detrimental, nor have an adverse effect upon adjacent uses, buildings, or structures. (Explain) THE PROPOSED ICE MANUFACTURING AND STORAGE STORE WILL NO BE MATERIALLY DETRIMENTAL NOR HAVE ANY ADVERSE IMPACTS ON SURROUNDING USES OR STRUCTURES THE SITE OF THE PROPOSED USE WAS FORMELY USED FOR INDUSTRIAL PURPOSES. THE SITE HAS BEN ABANDONED / VACANT FOR MANY YEARS. THE PROPOSED USE WILL IMPROBE THE VISUAL APPARANCE OF THE DILAPIDATED BUILDING. THE PROPERTY OWNER IS ALSO PROPOSING TO MAKE SEVERAL SITE IMPROUMENTS

4. The proposed Conditional Use Permit will not be in conflict with the General Plan. (Explain)

THE PROPOSED USE IS CONDITIONALLY PERMITTED WITH THE M.P.D ZONE. THE PROPOSED ICE FACTORY MANUFACTURING AND STORAGE PROJECT COMPLIES WITH THE PROVICIONS OF THE GENERAL PLAN AND H.P.M.C.

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.


Applicant Signature (Required)

Date 7/12/2017

LEONARDO CORONA
Print Name

Note: If the applicant is not the property owner, the owner of the property must sign the application or a written authorization must be submitted so that the applicant may file the application.

FRED RAIDER
Property Owner Signature (Required)

Date 7/12/2017

FRED RAIDER
Print Name



CITY OF HUNTINGTON PARK
 Community Development Dept. • Planning Division
 6550 Miles Avenue, Huntington Park, CA 90255
 Tel. (323) 584-6210 • planning@hpca.gov

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY

Date Filed: 7/12/17 File No.: 2017-03 Fee/Receipt No.: \$1,630.00 Initials: ED

PROJECT INFORMATION

Project Address: 2309 - 2315 - RANDOLPH STREET
 General Location: NORTHWEST CORNER OF RANDOLPH ST AND STAFFE AV.
 Assessor's Parcel Number (APN): 6321-004-017 6321-004-016

APPLICANT'S INFORMATION

Applicant: CORONA CONSTRUCTION
 Mailing Address: [REDACTED] AVE HUNTINGTON PARK CA 90255
 Phone 1: [REDACTED] Phone 2: _____ Email: _____

PROPERTY OWNER'S INFORMATION

Property Owner: FRED RADER
 Mailing Address: [REDACTED] PASADENA CA 91105
 Phone 1: [REDACTED] Phone 2: _____ Email: _____

PROJECT DESCRIPTION (Check as Appropriate):

Interior Improvement(s) Only Addition to Existing Structure New Structure

Other Improvements (Describe): (E) 2400 BUILDING TO BE USE FOR ICE FACTORY STORAGE MANUFACTURING. A 1214 SQFT. TO BE USE AS OFFICES.
 Describe in detail the proposed development: APPROVAL OF CUP AND DP TO ESTABLISH TO AND OPERATE 2400 SQ FT BUILDING TO BE USED FOR ICE STORAGE AND MANUFACTURING LOCATED AT 2309-2315 (MANUFACTURING PLANNED DEVELOPMENT) ZONE

TYPE OF USE (Check as Appropriate):

Residential Retail/Office Commercial Restaurant Industrial/ Manufacturing

Other (Describe): _____

Square Footage of New Development/Addition: _____

Total Square Footage: LOT 14,340 SQFT OF (E) STORAGE 2400 SQFT (E) SINGLE

Lot Coverage: 25% Off-Street Parking Spaces Provided: 7 No. of Floors: 1

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.

[REDACTED]
 Signature of Applicant

7/12/2017
 Date



CITY OF HUNTINGTON PARK
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ENVIRONMENTAL INFORMATION FORM

FOR OFFICE USE ONLY

Date Filed: 7/12/17 File No.: 2017-03 CUP/DP Fee/Receipt No.: _____ Initials: RF

1. Applicant: Owner Leasee Purchaser Representative

Name: LEONARDO CORONA

Address: [REDACTED] AVE HUNTINGTON PARK CA 90255

Telephone: [REDACTED] Email: CORONA CONSTRUCTION A@GMAIL.COM

2. Contact Person concerning this project:

Name: CORONA CONSTRUCTION

Address: [REDACTED] HUNTINGTON PARK CA

Telephone: [REDACTED] Email: _____

3. Address of project: 2309-2315 RANDOLPH ST H.P. CA 90255

4. Assessor's Parcel Number (APN): 6321-004-0416-6321-004-017

5. Indicate type of permit application(s) (i.e. Conditional Use Permit, Development Permit, Variance, etc.) for the project to which this form pertains:

CONDITIONAL USE PERMIT
DEVELOPMENT PERMIT

6. List any other permits and/or other public agency approvals required for this project, including those required by City, County, State and/or Federal agencies:

BUILDING AND SAFETY, HEALTH DEPARTMENT

7. Existing Zone: MANUFACTURING, PLANNED DEVELOPMENT

8. Proposed use of site: ICE MANUFACTURING AND ICE STORAGE OF ICE

9. Site size (lot dimensions and square footage): 14,340

10. Project size:

Square feet to be added/constructed to structure(s): PROPOSE TENENT SPACE 3614 SQ FT
 Total square footage of structure(s): EXISTING CONSTRUCTION NO NEW SQUARE FOOTAGE
3614 SQUARE FEET

11. Number of floors of construction:

Existing: 1

Proposed: 1

12. Parking:

Amount required: 7

Amount provided: 7

13. Anticipated time scheduling of project: 7 SPACES

14. Proposed phasing of development: ONE PHASE

15. If residential, include number of units, schedule of unit sizes, range of sale/rent prices, and type of household size expected:

N/A

16. If commercial, indicate the type of commercial use, estimated employment per shift, proposed hours of operations, indicate whether neighborhood, City or Regionally oriented, square footage of sales area, and loading locations:

N/A

17. If industrial, indicate type of industrial or manufacturing use, estimated employment per shift, proposed hours of operations, and loading locations:

OPERATIONS 7AM TO 5PM 7 DAYS - ICE

STORAGE

18. If institutional, indicate type of institutional use, estimated employment per shift, proposed hours of operations, estimated occupancy, loading locations, and community benefits to be derived from the project:

N/A

Please complete numbers 19 through 33 by marking "A" through "D" and briefly discuss any items marked "A" "B" or "C" (attach additional sheets as necessary). Items marked "D" do not need discussion.

A) Potentially Significant Impact

B) Potentially Significant Impact Unless Mitigation Incorporated

C) Less than Significant Impact

D) No Impact

AESTHETICS

19. Would the proposed project:

- a. Affect a scenic vista?
- b. Have a demonstrable negative aesthetic effect?
- c. Create light or glare?

D
D
D

AIR QUALITY

20. Would the proposed project:

- a. Affect air quality or contribute to an existing or projected air quality violation?
- b. Create or cause smoke, ash, or fumes in the vicinity?
- c. Create objectionable odors?

D
D
D

BIOLOGICAL RESOURCES

21. Would the proposed project:

- a. Require removal of any existing trees or landscaping?

D

CULTURAL RESOURCES

22. Would the proposed project:

- a. Affect historical resources?
- b. Have the potential to cause a significant physical change which would affect unique ethnic cultural values?

D
D

GEOLOGY AND SOILS

23. Would the proposed project:

- a. Result in erosion, changes in topography or unstable soil conditions from excavation, grading or fill?
- b. Be located on expansive soils?
- c. Result in unique geologic or physical features?

D
D
D

HAZARDS

24. Would the proposed project:

- a. Create a risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)?
- b. The use or disposal of potentially hazardous materials (i.e. toxic or flammable substances)?
- c. The creation of any health hazard or potential health hazard?
- d. Exposure of people to existing sources of potential health hazards?

D
D
D
D

HYDROLOGY AND WATER QUALITY

25. Would the proposed project:

- a. Change water drainage patterns?
- b. Change the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capabilities?
- c. Impact groundwater quality?
- d. Substantially reduce the amount of groundwater otherwise available for public water supplies?

D
D
D
D

LAND USE AND PLANNING

26. Would the proposed project:

- a. Conflict with the Zoning or General Plan designation?
- b. Be incompatible with existing land use in the vicinity?
- c. Disrupt or divide the physical arrangement of an established community?

D
D
D

MINERAL AND ENERGY RESOURCES

27. Would the proposed project:

- a. Conflict with the conservation of water?
- b. Use non-renewable resources in a wasteful and/or inefficient manner?
- c. Substantially increase energy consumption (i.e. electricity, oil, natural gas, etc.)?

D
D
D

NOISE

28. Would the proposed project result in:

- a. Increase to existing noise levels?
- b. Exposure of people to severe noise levels?

D
D

POPULATION AND HOUSING

29. Would the proposed project:

- a. Induce substantial growth in an area either directly or indirectly (i.e. through population growth or infrastructure use)?
- b. Displace existing housing, especially affordable housing?

D
D

PUBLIC SERVICES

30. Would the proposal result in a need for new or altered government services for any of the following public services:

- a. Fire protection?
- b. Police protection?
- c. Schools?
- d. Maintenance of public facilities, including roads?
- e. Other governmental services?

D
D
D
D
D

RECREATION

31. Would the proposed project:

- a. Increase the demand for neighborhood or regional parks or other recreational facilities?
- b. Affect existing recreational opportunities?

D
D

TRANSPORTATION AND TRAFFIC

32. Would the proposed project result in:

- a. Increase vehicle trips or traffic congestion?
- b. Increase hazards to safety from design features (i.e. sharp curves or dangerous intersections)?
- c. Inadequate access to nearby uses?
- d. Insufficient on-site parking capacity?
- e. Hazards or barriers for pedestrians or bicyclists?

D
D
D
D
D

UTILITIES AND SERVICE SYSTEMS

33. Would the proposed project result in a need for new systems or supplies, or alterations to the following utilities:

- a. Power or natural gas?
- b. Communications systems?
- c. Local or regional water treatment or distribution facilities?
- d. Sewer or septic tanks?
- e. Storm water drainage?

D
D
D
D
D

UTILITIES AND SERVICE SYSTEMS (CONTINUED)

f. Solid waste disposal?

D

g. Local or regional water supplies?

D

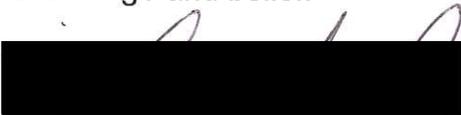
34. Describe the project site as it exists before the project, including any existing structures on the site, and the use of the structures (i.e. residential, commercial, industrial, etc.) Attach photographs of the site and of the surrounding land uses.

THE LOT SIZE OF THE PROPOSED SITE IS 14,340 SQFT THE
SHAPE OF LOT IS RECTANGULAR THE SITE HAS AN APPROXIMATELY
5200 SQFT THE SITE HAS 2 EXISTING BUILDINGS THE STORAGE
BUILDING HAVE 2400 SQFT WILL BE USE TO STORAGE ICE AND THE
EXISTING HOUSE WILL BE CONVERTED IN TO OFFICES 1214 SQFT

35. Describe the intensity of land use (i.e. single-family, apartment dwellings, shopping center, etc.), and specifications of development (i.e. height, primary frontage, secondary frontage, setbacks, rear yard, etc.).

THE PROPOSED LAND USE MEETS THE MPD AND
THE PROPOSAL IS FOR THE ICE MANUFACTURING AND
ICE STORAGE

CERTIFICATION: I hereby certify that the statements furnished above and in the attached plans present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.


Applicant (Signature)

7/12/2017
Date